

Varsha Kalange

From: Varsha Kalange
Sent: 27 May 2024 16:35
To: eccompliance-mh@gov.in; ec-rdw.cpcb@gov.in
Subject: EC Compliance for October 2023-March 2024 Of [M/s. K. Raheja Private Ltd. proposed Residential Building & Commercial Building with Multi Storied Public Parking Lot at Lower Parel, Worli, G/South Ward, Mumbai Maharashtra]
Attachments: EC Compliance Report Oct 2023 to Mar 2024.pdf

Respected Sir/Madam,

As per MoEF&CC notification vide No. SO 5845(E) Dated-26.11.2018 AND as informed by Central Pollution Control Board, Regional Directorate (West), Vadodara regarding digital transaction of EC Compliance report under Government of India initiatives for promoting e-office through digital transaction of activities, we are submitting herewith six-monthly EC compliance status report for period October 2023-March 2024 of proposed Residential Building & Commercial Building with Multi Storied Public Parking Lot at C.S. Nos. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 And 249 A, 248 B of Worli Estate Scheme No. 52, G/South Ward, Mumbai, Maharashtra by M/s. K. Raheja Private Ltd. in pdf format with signed and stamped by authorized signatory of the project.

Documents enclosed herewith are as listed below:

1. Cover letter
2. Datasheet
3. EC compliance status report
4. List of annexures
5. Documents as per list of annexures

Hope above is to your satisfaction.

Thanks & Regards,
Varsha Yogesh Kalange



Aditya Environmental Services Pvt. Ltd.

Head Office | 107/110, Hiren Light Industrial Estate, Mogul Lane, Mahim, Mumbai 400016

Laboratory | Plot P-1, MIDC Commercial Plots, Mohopada, P.O. Rasayani, Tal. Khalapur, Dist. Raigad 410222

022-42127500 | contact@aespl.co.in

o/c

K. Raheja Private Limited



Date: 15th April 2024

To,
The Chief Conservator of Forest,
Ministry of Environment, Forests & Climate
Regional Office (WCZ), Ground Floor, East Wing,
New Secretariat Building, Civil Lines, Nagpur- 440001

Sub: Submission of Six-Monthly Environmental Clearance Compliance Status Report for the period of October 2023 to March 2024.

Ref.: Environmental Clearance Letter granted for a Proposed Residential tower building, Multi Storied Public Parking Lot building, Office Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no 52, Worli Mumbai by MOEF vide Clearance Letter No.21-413/2006-IA.III Dated - 6th Feb 2007 & Amendment in Environmental Clearance by Environment Department, Government of Maharashtra vide clearance letter No. SEAC 2010/CR.323/TC.2 Dated: 22nd July 2011 & Dated 11th June 2014 & No. SEAC-2016/C.R.424/TC-1 Dated 12th May, 2017, Expansion in Environmental Clearance is granted vide letter SEIAA-EC-0000001926 dated 3rd August 2019 & letter No. SIA/MH/MIS/42830/2018 dated 31st March 2020 and Expansion in Environmental Clearance vide letter EC23B039MH123060 dated 26th May 2023.

Dear Sir,

With reference to the above, we are submitting six monthly Environmental Clearance Compliance Status Report for the months October 2023 to March 2024 along with the relevant document needed for the submission as mentioned below:

- Data sheet
- Compliance Status report
- Post Monitoring Report (October 2023 to March 2024)

Hope the above is in compliance with your requirement.

Thanking You,
Yours faithfully,
For M/s. K Raheja Private Ltd.

N. R. Mehta

Nikhil Mehta

CC to:

- The Member Secretary, Maharashtra Pollution Control Board, 3rd Floor, Kalpataru Point, Sion, Mumbai- 400 022.
- Central Pollution Control Board, Parivesh Bhavan, Opp. VNC word office No. 10, Subhanpura, Vadodara.

Maharashtra Pollution Control Board
Kalpataru Point, 2nd Floor, Sion Circle,
Opp. Cine Planet, Sion (East),
Mumbai - 400 022.
Tel. 24010437 / 24020781.
Website : www.mpcb.gov.in

28/5/24

CIN : U45200MH1973PTC017018

Regd. Off. : Raheja Tower, Plot No.C-30, Block 'G', Next to Bank of Baroda, Bandra Kurla Complex, Bandra (E), Mumbai - 400 051.

Phone : +91-22-2656 4000 Website : www.krahejacorp.com

Your (**Environment Clearance**) application has been **Submitted** with following details

Proposal No	SIA/MH/INFRA2/417166/2023
Compliance ID	72081771
Compliance Number(For Tracking)	EC/COMPLIANCE/72081771/2024
Reporting Year	2024
Reporting Period	01 Jun(01 Oct - 31 Mar)
Submission Date	30-05-2024
IRO Name	V Geroge Jenner
IRO Email	tr025@ifs.nic.in
State	MAHARASHTRA
IRO Office Address	Integrated Regional Offices, Nagpur

Note:- SMS and E-Mail has been sent to V Geroge Jenner, MAHARASHTRA with Notification to Project Proponent.

K. Raheja Private Limited



Date: 15th April 2024

To,
The Chief Conservator of Forest,
Ministry of Environment, Forests & Climate
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Phone : +91-22-2656 4000 Website : www.krahejacorp.com

MONITORING THE IMPLEMENTATION OF ENVIRONMENTAL SAFEGUARDS**MINISTRY OF ENVIRONMENT & FORESTS****REGIONAL OFFICE (W), NAGPUR****Monitoring Report****PART - I****DATA SHEET**

1.	Project type: River -Valley/ Mining/ Industry/ Thermal/ Nuclear/ other (specify)	:	Others - Construction project (Residential & Commercial Building with PPL)
2.	Name of the project	:	Proposed Residential tower building, Multi Storied Public Parking Lot building, Office Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no 52, Worli Mumbai.
3.	Clearance letter (s)/OM no. and date	:	<ul style="list-style-type: none"> • EC Letter No. 21-413/2006-IA.III dated 6th February 2007 • Amended letter SEAC 2010/CR.323/TC.2 dated 22nd July 2011 • Amended letter SEAC 2010/CR.323/TC.2 dated 11th June 2014 • Amendment letter SEAC-2016/CR124/TC 1 dated 12th May 2017 • Expansion in Environmental Clearance vide letter SEIAA-EC-0000001926 dated 3rd August 2019 • Expansion in Environmental Clearance vide letter SIA/MH/MIS/42830/2018 dated 31st March 2020. • Expansion in Environmental Clearance vide letter EC23B039MH123060 dated 26th May 2023.
4.	Location		
	(a) District	:	Mumbai
	(b) State	:	Maharashtra
	(c) Latitude / Longitude	:	19°00'29.13 N 72°49'17.70E
5.	(a) Address for correspondence		



	(b) Address of Executive Project Engineer/ Manager (with pin code / Fax)	:	Mr. Nikhil Mehta M/s. K Raheja Private Ltd. Raheja Tower, Block 'G', Plot No. C-30, Bandra Kurla Complex, Bandra (E), Mumbai- 400051. Tel: 09167755350
6.	Salient Features		
	(a) Of the project	:	<ul style="list-style-type: none"> • Proposed Residential tower building, Multi Storied Public Parking Lot building, Office Building & Residential Building. • Residential Tower: 2B+G+5 parking floors + stilt + 6 structural/service floors+ 3 fire check floors+ 46 habitable floors. The 5th parking floor above the public parking lot will be for residential parking. • PPL: 2B+G+4 parking floors . • Office building (wing A) -3B+ G + 10 office floors. • Residential Bldg (Wing B) - Stilt + 6 habitable floors + part terrace + 4 upper office floors.
	(b) Of Environmental Management Plans	:	<ol style="list-style-type: none"> 1) Implementation of Rainwater harvesting. 2) OWC is installed on site 3) Fly Ash is proposed to be used in the Ready-Mix Concrete. 4) Implementation of Sewage Treatment Plant. 5) Development of Recreational Ground.
7.	Break-up of the project area		Plot Area: 20117.24 m ² FSI Area: 90,812.59 m ² Non- FSI area: 1,33,587.90 m ² Total BUA: 2,24,400.49 m ²
	(a) Submergence area: forest & non forest.	:	Nil
	(b) Others	:	The entire project area is non-agricultural land.
8.	Breakup of the project affected population with enumeration of those losing houses /dwelling units only, agricultural land only, both dwelling units & agricultural land & landless labourers /artisan.	:	Nil

	(a) SC, ST /Adivasis	:	Nil
	(b) Others (Please indicate whether these figures are based on any scientific and systematic survey carried out or only provisional figures, if a survey is carried out give details and years of survey)	:	Nil
9.	Financial details		
	(a) Project cost as originally planned and sub-sequent revised estimates and the year of price reference.	:	Estimated Cost of Project- Rs. 979 Cr.
	(b) Allocation made for environmental management plans with item wise and year wise break-up.	:	EMP Cost: Setting-up Cost-1431.5 Lakhs, Operational Cost- 139.91 Lakhs.
	(c) Benefit cost ratio/Internal rate of Return and the year of assessment	:	Yet to finalize
	(d) Whether (c) include the cost of environmental management as shown in the above.	:	Not applicable since (c) is yet to finalize.
	(e) Actual expenditure incurred on the project so far	:	Rs. 880.17 Cr (Construction Cost)
	(f) Actual expenditure incurred on the environmental management plans so far	:	Rs. 3.97 Cr
10.	Forest land requirement.	:	The land is a non-forest land
	(a) The status of approval for diversion of forest land for non-forestry use	:	Not applicable
	(b) The status of clearing felling	:	Not applicable
	(c) The status of compensatory afforestation, if any	:	Not applicable
	(d) Comments on the viability & sustainability of compensatory afforestation programme in the light of actual field experience so far	:	Not applicable
11.	The status of clear felling in non-forest areas (such as submergence area of reservoir, approach roads), if any with quantitative information	:	Nil

12.	Status of construction.	:	PPL-Handed over to BMC, (Deed of transfer dated 10.07.17) Residential Tower- Full Occupancy certificate up to 46th floors received. Residential B wing & Commercial Awing : RCC work completed, MEP & Finishes work in Progress
	a) Date of commencement (Actual and / or planned)	:	Date of Commencement-02/03/2008
	b) Date of completion (Actual and/ or planned)	:	Planned Date of Completion -Aug'2024
13.	Reason for the delay if the project is yet to start.	:	Not applicable
14.	Dates of site visits		
	(a) The dates on which the project was monitored by the Regional Office on previous occasions, if any	:	Nil
	(b) Date of site visit for this monitoring report	:	October 2023 – March 2024 (Environmental Monitoring report is enclosed.)
15.	Details of correspondence with project authorities for obtaining action plans / information on status of compliance to safeguards other than the routine letters for logistic support for site visits. The first monitoring report may contain the details of all the letters issued so far, but the later reports may cover only the letters issued subsequently.	:	<ul style="list-style-type: none"> • EC Letter No. 21-413/2006-IA.III dated 6th February 2007 • Amended letter SEAC 2010/CR.323/TC.2 dated 22nd July 2011 • Amended letter SEAC 2010/CR.323/TC.2 dated 11th June 2014 • Amendment letter SEAC-2016/CR424/TC-1 dated 12th May 2017 • Expansion in Environmental Clearance vide letter SEIAA-EC-0000001926 dated 3rd August 2019 • Expansion in Environmental Clearance vide letter SIA/MH/MIS/42830/2018 dated 31st March 2020. • Expansion in Environmental Clearance vide letter EC23B039MH123060 dated 26th May 2023.

HALF YEARLY COMPLIANCE STATUS REPORT**October 2023 to March 2024**

Ref	<ol style="list-style-type: none"> 1. EC Letter no. 21-413/2006-IA.III Dated - 6th February 2007. Annexure II (A). 2. Amendment in Environmental Clearance granted vide letter no. SEAC 2010/CR.323/TC.2 Dated: 22nd July 2011 Annexure II (B). 3. Amendment in Environmental Clearance is granted vide letter dated: 11th June 2014. Annexure II (C). 4. Amendment in Environmental Clearance is granted vide letter SEAC-2016/C.R.424/TC-1 dated: 12th May 2017. Annexure II (D). 5. Expansion in Environmental Clearance is granted vide letter SEIAA-EC-0000001926 dated: 3rd August 2019. Annexure II (E). 6. Expansion in Environmental Clearance is granted vide letter SIA/MH/MIS/42830/2018 dated 31st March 2020. Annexure II (F). 7. Expansion in Environmental Clearance vide letter EC23B039MH123060 dated 26th May 2023. Annexure (G).
To	M/s. K Raheja Private Ltd.
For	Proposed Residential tower building, Multi Storied Public Parking Lot building, Office Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no 52, Worli Mumbai.
Status	<ul style="list-style-type: none"> • PPL-Handed over to BMC, (Deed of transfer dated 10.07.17) • Residential Tower- Full OC up to 46th floor habitable floor & clubhouse received, copy of Occupation Certificate is enclosed as Annexure III(A) & Annexure III(B). • Residential B wing & Commercial A Wing: : RCC work completed, MEP & Finishes work in Progress.

SEAC Conditions-

Sr. No.	Condition	Compliance
1.	PP to submit IOD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions as per the Circular dated 30.01.2014 issued by the Environment Department, Govt. of Maharashtra.	Yes, approval from MCGM has been granted for Total Construction Area 224400.49 sq.m. (FSI area 90812.59 sq.m. + Non-FSI Area 133587.9 sq.m.) Approved Plan is enclosed as Annexure IV .
2.	PP to obtain following NOCs & remarks as per amended	Yes we have obtained HE Remarks on 10.06.2022 and 24.01.2022 (Annexure V),



A handwritten signature in blue ink, appearing to be "dk".

	planning: a)Water supply; b) Sewer connection; c) CFO NOC.	Drainage Completion Certificate (Residential tower) on 27.06.2019 (Annexure VI), Internal Drainage remarks (Wing A & Wing B) on 19.03.2020 (Annexure VII) and CFO NOC on 05.08.2022 (Annexure VIII). Copy of Civil Aviation NOC dated 08.07.2022 enclosed as Annexure IX .
3.	PP to either explore to increase saving in energy up to 5% from renewable sources or submit registered equivalent/pro-rata green power purchase agreement.	We have submitted LOR to BEST to provide green power for commercial project with additional tariff as applicable. Since the project is under construction, a phase agreement with BEST cannot take place right now for Commercial A wing. 25kWp Solar PV is installed in Residential Tower & 60kWp Solar PV is planned for Commercial A wing & Residential B wing.
4.	PP to provide 1.5 Mtr. RG strip all around the plot as per DCPR-2034 provisions & accordingly submit revised landscape layout.	1.5 m strip of RG will be provided in plot C. S. No. 1A/1629 as per approved plan. Photos showing 1.5 m strip of RG enclosed as Annexure X .
5.	PP to submit revised tree list by providing shrubs on podium instead of proposed trees; PP to count trees planted on ground only for calculation of nos. of trees to be planted as per norms & revise tree list accordingly.	Noted.
6.	PP to use advanced technologies for dust suppression in addition to sprinkling of water in construction phase & revisit the monetary provision for various activities in EMP of construction phase and submit revised EMP.	EMP Cost is estimated to be Rs. 1413 Lakhs as capital cost and Rs. 139.91 Lakhs per Annum of O & M cost. Cost of Dust suppressing machine is included in the EMP costing for the construction phase. Photograph of dust suppressing equipment employed in project enclosed as Annexure- XI

7.	PP to paid balance scrutiny fee as per government resolution dated 18/06/2018.	We have paid 20 lakhs dated 10.09.2018 and additional 10 Lakhs are now paid dated 18.04.2023 Transaction No. CMS1082350887429. The total scrutiny fees paid is 30 lakhs against the total project of Rs. 979 Cr
8.	PP to correct quantity of sewage generation & capacities of STPs provided earlier ECs obtained in 2018 & 2020 to the project.	In 31.03.2020 EC the Sewage generation was wrongly mentioned as STP capacity. We have requested Hon'ble authority to grant us EC with STP capacity i.e. Residential-160KLD, MPPL-10 KLD, Commercial Wing A & Residential wing B - 150 KLD
9.	PP to reduce discharge of treated water up to 35%; PP to submit undertaking from concerned authority/ agency/third party for use of excess treated water generated in the project.	We are discharging only 30% of excess treated water. The project is achieving 30% by virtue of using the treated water in landscaping and flushing .
B. SEIAA Conditions-		
Sr. No.	Condition	Compliance
1.	This EC is restricted for residential building Wing B up to 24.00 m height only as per CFO NOC.	As per CFO NOC dated 5.08.2022, Residential B wing proposed till for 24 m Office bldg. (Awing) floor area of 7th to 10th floor above Wing B is extended as per approved plan & CFO NOC.
2.	PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement.	1.5 mtr wide unpaved strip as per approved plan will be provided as per approved plan to ensure permeability of water in to ground
3.	PP to achieve at least 5% of total energy requirement from solar/other renewable sources.	We have submitted LOR to BEST to provide green power for commercial project with additional tariff as applicable.

		<p>Since the project is under construction, a phase agreement with BEST cannot take place right now for Commercial A wing.</p> <p>25kWp Solar PV is installed in Residential Tower & 60kWp Solar PV is planned for Commercial A wing & Residential B wing.</p>
4.	PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.	Noted.
5.	SEIAA after deliberation decided to grant EC for — FSI — 90812.59 133587.90 m ² , Non FSI-133587.90 m ² , Total BUA-224400.49 m ² . (Plan approval No.EB/1105/GS/A/337/14/Ame nd, dated 10.01.2023) (Restricted as per approval)	Noted.
	General Conditions: Construction Phase :-	
Sr. No.	Condition	Compliance
I.	The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.	<p>Solid waste generated within site during construction phase will be properly collected and segregated. Bins have been provided to dispose of the municipal solid waste generated from labour camps.</p> <p>Please refer Annexure enclosed for Photographs of facilities provided for labours as Annexure XII.</p>
II.	Disposal of muck, Construction spoils, including bituminous material during construction phase should not create any adverse effect on the neighbouring communities and be disposed taking the necessary precautions for general safety	<p>The quantity of sub-stratum removed during excavation for building foundation is disposed to backfill as per approval received from MCGM & SWM. SWM NOC is enclosed as Annexure XIII.</p> <p>Proper debris management plan was in place during excavation.</p>

	and health aspects of people, only in the approved sites with the approval of competent authority.	
III.	Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.	No hazardous waste is generated at site till date and if generated will be disposed off as per MPCB norms. Hazardous Waste Returns for year 2022-2023 enclosed as Annexure XIV .
IV.	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.	Adequate drinking water facilities are provided for the workers at the site during the construction phase. Adequate numbers of toilets for Labour to maintain sanitary and hygienic measures are taken. Photographs of facilities provided for labours are enclosed as Annexure XII .
V.	Arrangement shall be made that wastewater and storm water do not get mixed.	The storm water collected through the storm water drains of adequate capacity will be discharged into the municipal storm line along the DP existing roads which is towards north. Separate drainage lines will be provided to prevent mixing of wastewater and storm water.
VI.	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.	The measures such as, use of ready-mix concrete, admixture is being used to reduce water demand during construction phase.
VII.	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.	There is no ground water source at the site. Hence, monitoring ground water is not possible.
VIII.	Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to	Not applicable as tanker water / BMC water will be used during construction phase & operation Phase.

	construction/operation of the project.	
IX.	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor-based control.	Yes, low flow rate fixtures and low flush W.C & urinals will be used during operation phase.
X.	The Energy Conservation Building code shall be strictly adhered to.	Yes we will adhere to Energy Conservation Building code.
XI.	All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.	Since there was existing structure at site therefore there is no fertile topsoil generated from the project.
XII.	Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.	Natural drainage pattern of site was maintained. Additional soil required to maintain site ground level was generated within site.
XIII.	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.	Regular monitoring of soil is carried out at site. Please refer to the Post Monitoring Reports enclosed as Annexure I . There is no ground water source at site.
XIV.	PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act 1975 as amended during the validity of Environment Clearance.	Yes we will adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act 1975.
XV.	The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to	Yes, DG Set will be used only as power back up & have provided with enclosure. The diesel generating set is of low Sulphur diesel type as

	Environments (Protection) Rules prescribed for air and noise emission standards.	per environments (Protection) Rules prescribed for air and noise emission standards.
XVI.	Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.	The vehicles hired for bringing construction material at site are thoroughly checked with a valid PUC certificate. PUC register maintained at site. Photographs of PUC register is enclosed as Annexure XV .
XVII.	Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by C PC B/MPCB.	Quarterly Noise monitoring is done. Environmental monitoring report is enclosed Annexure I .
XVIII	Diesel power generating sets proposed as source of backup power for elevators and common area illumination during construction phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.	DG sets will be used as backup, care is taken that adequate acoustic will be provided to prevent noise and should conform to rules made under the Environment (Protection) Act 1986, prescribed for air and noise emission standards. Operation Phase: <ul style="list-style-type: none"> • 2250 kVA X 1 Nos. • 1500 kVA X 2 Nos. DG of 500 KVA with acoustic enclosure provided in PPL. DG of 2250 KVA x 1 No. with acoustic enclosure provided for Residential Tower. Photograph of DG Set installed at site are enclosed as Annexure XVI .

XIX.	Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environment cell /designated person.	Regular supervision of the above and other measures for monitoring is being ensured through company officials. Monitoring is carried out throughout construction phase to avoid disturbance to the surroundings.
	B) Operation phase:-	
Sr. No.	Condition	Compliance
I.	a) The solid waste generated should be properly collected and segregated. b) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And no wet garbage will be disposed outside the premises. c) Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.	<p>Disposal of Solid Waste - Dry waste & wet waste chute is provided in Residential tower for waste segregation.</p> <p>The solid waste generated is properly collected, segregated and stored separately in the Garbage room.</p> <p>Dry waste such as Cardboard, paper, plastic, glass is segregated and handed over to a recycler.</p> <p>Non-Biodegradable wet waste Handed over to Municipal Waste collector.</p> <p>Biodegradable wet waste is processed by using OWC.</p> <p>Photographs of OWC enclosed as Annexure XVII.</p>
II.	E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.	There is no generation of E-Waste, If any, will be disposed of through an authorized vendor. E-Waste Returns for the year 2022-2023 has been submitted. Copy of the same is enclosed as Annexure XVIII.
III.	a) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB	<p>Details of the STP are as under:</p> <p>The wastewater will be treated to tertiary level and after treatment reused for flushing of toilets and gardening. There will be no discharge of</p>

	<p>and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP. b) PP to give 100 % treatment to sewage /Liquid waste and explore the possibility to recycle at least 50 % of water, Local authority should ensure this.</p>	<p>treated water and if any, shall conform to the norms and standards prescribed by Maharashtra State Pollution Control Board. STP of 160 KLD of SBR is provided in Residential Tower. STP of 10 KLD of MBBR is provided in PPL</p> <p>Photograph of STP installed at site is enclosed as Annexure XIX.</p>
IV.	<p>Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.</p>	<p>Yes, all the facilities will be in place prior to occupation of Office A & Residential B wing.</p> <p>STP, MSW disposal facility, green belt development in place for Residential Tower .</p> <p>Photographs of green belt development is enclosed as Annexure XX.</p>
V.	<p>The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.</p>	<p>Yes, all the facilities will be in place prior to application for OC. Copy of Occupation Certificate (Part) is enclosed as Annexure III(A).</p> <p>Copy of occupation cum building completion certificate enclosed as Annexure III(B).</p>
VI.	<p>Traffic congestion near the entry and exit points from the roads</p>	<p>The site is accessible from 18.30 mt. wide Natvarya Baburao Pendarkar Marg on north</p>

	adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.	side and 18.30 mt wide Sudam Kalu Ahire Marg on west side, both off Anne Besant Road. Parking is planned in such a way that there will not be any congestion issue. Parking will be fully internalized.
VII.	PP to provide adequate electric charging points for electric vehicles (EVs).	Yes we will provide adequate electric charging points for electric vehicles (EVs).
VIII.	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.	<ul style="list-style-type: none"> • A combination of native evergreen trees and ornamental flowering trees, shrubs and palms are planned in the complex. • Nos. of trees to be planted: 291 Nos. • Tree plantation is in progress Photographs of green belt development is enclosed as Annexure XX .
IX.	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.	Yes, a separate environmental management cell with qualified staff is in place.
X	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.	Noted, Expenditure incurred on the environmental management plans so far is 3.97 Cr.
XI.	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded	Yes, we had published advertisement in two local newspapers, copy of same is enclosed as Annexure XXI .

	environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at parivesh.nic.in	
XII.	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.	Yes, said condition is complied. Environmental Clearance is also uploaded on company webpage, refer link: environmental-clearance.pdf (krahejacorphomes.com)
XIII.	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO ₂ , NO _x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.	Yes, said condition is noted and will be complied with. Monitoring report along with EC compliance is uploaded on company webpage, refer link: https://www.krahejacorphomes.com/project/wp-content/uploads/download/artesia-apr23-oct23-compliance.pdf
	C) General EC Conditions:-	
Sr. No.	Condition	Compliance
I.	PP has to strictly abide by the conditions stipulated by SEAC& SEIAA.	



<p>II. If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.</p>	<p>Consent to Establish & Operate obtained vide letter No. –</p> <ol style="list-style-type: none"> 1. Consent No. BO/RO (P&P)/648 dated 28/09/2006. Annexure XXII (A). 2. Consent No. BO/RO(HQ)/CO/CAC-323 dated 28/02/2012. Annexure XXII (B). 3. BO/CAC-cell/CE (Reval)/CAC-1702000695 dated 14/02/2017. Annexure XXII (C). 4. Consent to Establish for Expansion and amalgamation with existing consent to establish vide no. Format. 1.0/BO/CAC-cell/UAN No. 0000028220/CE(Exp) & Amalgamation/CAC-1808000657 dated 16.08.2018. Annexure XXII (D). 5. Consent to Establish for Expansion of Residential & commercial Bldg with PPL vide no. Format. 1.0/CAC-cell/UAN No. 0000076911/CE 1912000103 dated 04.12.2019. Annexure XXII (E). 6. 1st Consent to Operate (Part II) vide no. Format. 1.0/CAC-CELL/UAN No. 0000083236/CO-2007000074 dated 01.07.2020. Annexure XXII (F). 7. Consent to Establish Expansion vide no. Format. 1.0/CAC-CELL/UAN No. 0000092970/CE – 2011000702 dated 11.11.2020. Annexure XXII (G). 8. Consent to Operate (Part) including BUA of existing Consent to Operate (Part-II) vide No. Format 1.0/CAC-CELL/UAN No.0000109931/CO-2111000812 dated. 22.11.2021. Annexure XXII (H). 9. We have obtained renewal of Consent to Operate (Part I) including BUA of existing Consent to Operate (Part-II) vide no. Format1.0/CAC-CELL/UAN No. 0000132222/ CR/2310000492 dated 08.10.2023. Annexure XXII (I). 10. We have obtained Consent to Establish for Expansion vide no. Format1.0/CAC-CELL/UAN No. 0000180774/ CE/ 2401001498 dated 11/01/2024. Annexure XXII (J).
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		11. We have applied for Consent to Operate for complete residential tower vide UAN No. MPCB-CONSENT-0000197389 dated 05.02.2024. copy of the application enclosed as Annexure XXII (K) .
III.	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.	Yes, environmental clearance has been obtained.
IV.	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.	We are regularly submitting Six monthly compliance reports and monitoring data to the concerned authorities. artesia-ec-compliance-oct-2023.pdf (krahejacorphomes.com)
V.	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.	Yes, latest Environmental Statement submitted for year 2022 - 2023 is enclosed as Annexure - XXIII and the same is uploaded on company webpage, refer link- Environment Statement (krahejacorphomes.com)
VI.	No further Expansion or modifications, other than mentioned in the EIA Notification,	Noted & agreed.



	2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.	
VII.	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.	As the site is not within any radius as defined, hence NOC from Forestry & Wildlife angle including clearance from the standing committee of the National Board for Wildlife is not applicable for our project.
4.	The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.	Noted.
5.	This Environment Clearance is issued purely from an	Noted.



	environment point of view without prejudice to any court cases and all other applicable permissions/ NOCs shall be obtained before starting proposed work at site.	
6.	In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.	Noted.
7.	Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, amended from time to time.	Noted.
8.	The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.	Noted.
9.	Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1 st Floor, D-Wing, Opposite Council	Noted.

	Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.	
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LIST OF ANNEXURES

Sr. No.	Annexure	Details
1.	Annexure I	Post Monitoring Reports
2.	Annexure II	Environment Clearance Copies
3.	Annexure III	Occupation Certificate
4.	Annexure IV	Approved Layout Plan
5.	Annexure V	High Rise NOC
6.	Annexure VI	Drainage Completion Certificate
7.	Annexure VII	Internal Drainage remarks (Wing A & Wing B)
8.	Annexure VIII	CFO NOC
9.	Annexure IX	Civil Aviation NOC
10.	Annexure X	Photos showing 1.5 m strip of RG
11.	Annexure XI	Photograph of dust suppressing equipment employed in project
12.	Annexure XII	Photographs of Labour Colony
13.	Annexure XIII	SWM NOC
14.	Annexure XIV	Hazardous Waste Returns
15.	Annexure XV	PUC Register
16.	Annexure XVI	Photograph of DG Set
17.	Annexure XVII	Details & Photographs of OWC
18.	Annexure XVIII	E-Waste Return
19.	Annexure XIX	Photographs of STP
20.	Annexure XX	Photographs of trees plantation
21.	Annexure XXI	Advertisement copies
22.	Annexure XXII	Consent Copies / Consent Application
23.	Annexure XXIII	Environmental Statement



ADITYA ENVIRONMENTAL SERVICES PVT. LTD.

Testing Laboratory is certified by ISO 9001:2015&ISO 45001:2018

Recognized by MoEFCC as "Environmental Laboratory" valid up to 24.04.2024

Laboratory: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in

Tel:9112844844, CIN: U74999MH2001PTC132091 UDYAM-MH-19-0029787



TC-7085

Test Report (Ambient Air)

Ref. No.: AESPL/LAB/C/ A-23/11/81

Issue Date: 25/11/2023

Name of Customer & Contact Details	: K. Raheja Corp Pvt. Ltd. Plot C-30, Block G Oppo. SIDBI, BKC Bandra(E), Mumbai-400081. Mr. Deepaklal Yadav, ☎ 920751304. ✉ deepaklaly@kraheja.com				
Name of Site	: KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli, Mumbai-400025				
Discipline & Group	: Chemical: Atmospheric Pollution				
Description of Sample	: Ambient Air				
Location of Sampling	: Near Gate no.1				
Date of Sampling	: 17/11/2023				
Sampling Time	: 09:15 to 17:15 hr.	Duration	: 08 Hr.		
Sample Drawn By	: AESPL Consultancy Division	Transported By	: AESPL Consultancy Division		
Date of Sample Receipt	: 18/11/2023	Sample Identification	: A-23/11/81		
Sample Quantity & Container	: SO ₂ :1 Bottle; NO _x :1 Bottle; PM ₁₀ -1; Bladder:1.				
Date of Sample Analysis	: 20/11/2023 to 23/11/2023				
Sampling Environmental Conditions	: Temperature:28-33°C; Rain fall: No; P _{bar} : 755 mmHg.				
Transportation Condition	: Bottles < 5°C	Filter papers in plastic container	Bladders, charcoal tubes at ambient temp.		
Sampling Equipment	: RDS-I-12 & FDS-12				
Calibration Status	: Calibration on 25/05/2023 due on 25/05/2024				
Project/ Job number	: 4800153955 dtd 28 Mar 2022				
Reference of Sampling	: AESPL/LAB/QR/7.3.3/R-02				
Method of Sampling & Preservation	: AESPL/LAB/SOP/7.3.1/A-01				
Environmental Condition while Testing	: Temperature: 27°C				
Sr. No.	Parameter	Result	Limits #	Unit	Method of Analysis
1.	Sulphur dioxide as SO ₂	30.54	80 *	µg/m ³	IS 5182 (Part 2) RA2017
2.	Nitrogen dioxide as NO ₂	51.04	80 *	µg/m ³	IS 5182 (Part 6) RA2022
3.	PM ₁₀	120.80	100 *	µg/m ³	IS 5182 (Part 23) RA2022
4.	PM _{2.5}	42.50	60 *	µg/m ³	IS 5182 (Part 24) RA2022
5.	Carbon monoxide as CO	0.88	04 **	mg/m ³	IS 5182 (part 10) RA2019

[#] Specified under National Ambient Air Quality Standards by CPCB:

[*] 24 hourly monitoring values; [**] 1 hourly monitoring values.

Conformity Statement: The monitoring undertaken indicates that Ambient Air Quality Values for monitored parameters except PM₁₀ are within the levels stipulated under National Ambient Air Quality Standards 2009.

Note:

1. The test report shall not be reproduced except in full, without written approval of laboratory.
2. Results relate only to the items tested.
3. Any query related to this report will be entertained within 15 days of the report issue date only.
4. The results apply to the sample as received.
5. Decision Rule is applied.



Anjan Pramanik
(Authorized Signatory)

-End of Test Report-



ADITYA ENVIRONMENTAL SERVICES PVT. LTD.

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Laboratory: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in

Tel: 9112844844, CIN: U74999MH2001PTC132091 UDYAM-MH-19-0029787



TC-7085

Test Report (Stack Emission)

Ref. No.: AESPL/LAB/C/ ST- 23/11/55

Issue Date: 25/11/2023

Name of Customer & Contact Details	:	K. Raheja Corp Pvt. Ltd Plot C-30, Block G Oppo. SIDBI, BKC Bandra(E), Mumbai-400051 Mr. Deepaklal Yadav, ☎ 9920751304 ✉ deepaklaly@kraheja.com		
Name of Site	:	KRPL# RESIDENTIAL BLDG., METAL BOX, WORLI,		
Discipline & Group	:	Chemical: Atmospheric Pollution		
Description of sample	:	Stack Emission		
Sample Identification number	:	ST- 23/11/55		
Sample Quantity	:	SO ₂ :1Bottle; NO _x :1 Bottle; Thimble-1.		
Date & Time of sampling	:	17/11/2023, 12:30-13:10 hr.		
Sampling Environmental Conditions	:	Temp.:32°C; Rain fall: No; P _{bar} : 755 mmHg.		
Transportation Condition	:	Bottles < 5°C	Thimbles in plastic container	Bladders at ambient temp.
Sample Monitored & Transported by	:	AESPL Consultancy Division		
Date of sample receipt	:	18/11/2023		
Date of sample analysis	:	20/11/2023 to 24/11/2023		
Sampling Equipment Used	:	ST-I-04		
Calibration status	:	22/02/2023 to 22/02/2024		
Project/ Job number	:	4800153955 dtd 28 Mar 2022		
Reference of sampling	:	AESPL/LAB/QR/7.3.3/R-02		
Method of sampling & preservation	:	AESPL/LAB/SOP/7.3.1/ST-01		
Environmental Condition while Testing	:	Temperature: 27°C; RH-40%		
A. General Information About Stack:				
Stack Connected to	:	DG-2250 KVA		
Emission due to	:	Combustion of HSD		
Material of construction of stack	:	MS		
Shape of stack	:	Circular		
Whether stack is provided with permanent platform	:	Yes		
B. Physical Characteristics of Stack:				
Height of stack from ground level (m)	:	22		
Height of sampling point from ground level (m)	:	--		
Diameter of Stack at sampling point (m)	:	0.45		
Area of stack (m ²)	:	0.16		
C. Analysis/ Characteristic of Stack:				
Fuel used	:	Diesel		
Fuel consumption (liter/hr.)	:	440		
Details of pollution control devices attached with the stack:	:	60		



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Tel: 9112844844, CIN: U74999MH2001PTC132091 UDYAM-MH-19-0029787



TC-7085

Test Report (Stack Emission)

Ref. No.: AESPL/LAB/C/ST- 23/11/55

Issue Date: 25/11/2023

D. Result of Sampling & Analysis of Gaseous Emission:

SL. No.	Parameter	Result	MPCB. Limits	Unit	Method of analysis
1.	Gas Temperature	105	--	°C	IS-11255, (part- 1,3) 2018-19
2.	Gas velocity	13.11	--	m/s	IS-11255, (part- 1,3) 2018-19
3.	Gas flow rate	10536	--	Nm ³ /hr.	IS-11255, (part- 1,3) 2018-19
4.	Particulate Matter	46.78	75*	mg/Nm ³	IS-11255, (part- 1,3) 2018-19
5.	Sulphur Dioxide (as SO ₂)	40.00	--	mg/Nm ³	IS-11255, (part-2) 2019
6.	Sulphur Dioxide (as SO ₂)	10.12	--	Kg/day	IS-11255, (part-2) 2019

(*) - (Emission Standards for Diesel Engines (Engine Rating more than 0.8 MW (800 KW) were notified by the Environment (Protection) Third Amendment Rules 2002, vide G.S.R. 489 (E), dated 9th July, 2002 at serial no. 96, under the Environment (Protection) Act, 1986.)

Conformity Statement: The monitoring undertaken indicates that Stack Air Quality Values for Monitoring parameter is within the levels stipulated as per MPCB Consent.

Note:

1. The test report shall not be reproduced except in full, without written approval of laboratory.
2. Results relate only to the items tested.
3. Any query related to this report will be entertained within 15 days of the report issue date only and the sample will also be retained for the same period.
4. Decision Rule is applied.



Anjan Pramanik
(Authorized Signatory)

-End of Test Report-



ADITYA ENVIRONMENTAL SERVICES PVT. LTD.

Testing Laboratory is certified by ISO 9001:2015 & ISO 45001:2018

Recognized by MoEFCC as "Environmental Laboratory" valid up to 24.04.2024

Laboratory: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in

Tel: 9112844844, CIN: U74999MH2001PTC132091 UDYAM-MH-19-00-29787



TC-7085

Test Report (Noise)

Ref. No.: AESPL/LAB/C/N-23/11/47

Issue Date: 22/11/2023.

Name of Customer & Contact Details	: K. Raheja Corp Pvt. Ltd Plot C-30, Block G Oppo. SIDBI, BKC Bandra(E), Mumbai-400051 Mr. Deepaklal Yadav, 9920751304; E-Mail: - deepaklaly@kraheja.com						
Name of Site	: KRPL# RESIDENTIAL BLDG., METAL BOX, WORLI,						
Discipline & Group	: Chemical: Atmospheric Pollution						
Description of Sample	: DG Noise						
Location Details	: DG 2250KVA						
Date of Sampling	: 17/11/2023	Period of Sampling	: DG Spot				
Start Time of Sampling	: 11.25Hr	End Time of Sampling	: 11.40Hr				
Monitored By	: AESPL Consultancy Division	Transported By	: AESPL Consultancy Division				
Date of Data Receipt	: 18/11/2023	Sample Identification	: N-23/11/47				
Environmental Condition	: Climate: Rainy	Ambient Temp: 32°C					
Transportation Condition	: Noise Data sheet is kept in folder and safely transported to laboratory along with Noise meter.						
Sampling Equipment	: Noise meter - Centre C-390 SL-I-10						
Calibration Status	: Calibrated on 02/01/2023; calibration due on 01/01/2024						
Project/ Job Number	: IND0001627913 dtd 24Jan2023						
Reference of Sampling	: AESPL/LAB/QR/7.3.3/R-02						
Method of Sampling	: IS 4758 RA:2017						
Sr No.	Location	Sound Pressure Level dB(A)				Avg.	Difference
		Readings from 0.5 m away from DG					
1.	DG -2250KVA	East	West	South	North	Avg.	26.7
	Door closed	72.8	72.5	73.1	73.3	72.9	
	Door opened	99.8	99.7	99.4	99.5	99.6	

Limits:

- Insertion loss of 25dBA as per consent

Conformity Statement: The monitoring undertaken indicates that DG Noise Quality value for insertion loss is within consent limit.

Note:

1. The test report shall not be reproduced except in full, without written approval of laboratory.
2. Results relate only to the items tested.
3. DG set Sound Pressure Level measured at 0.5m from the enclosure.
4. Any query related to this report will be entertained within 15 days of the report issue date only.
5. Decision Rule is applied.



Anjan Pramanik.
(Authorized Signatory)

-End of Test Report-

**Test Report
(Water)**

Ref. No.: AESPL/LAB/C/W-23/11/117

Issue Date: 22/11/2023

Name of Customer & Contact Details	: K. Raheja Corp Pvt. Ltd Plot C-30, Block G Oppo. SIDBI, BKC Bandra(E), Mumbai-400051 Mr. Deepaklal Yadav, 9920751304 E-Mail: - deepaklaly@kraheja.com				
Name of Site	: KRPL# RESIDENTIAL BLDG., METAL BOX, WORLI,				
Nature of Sample	: Drinking water	Location of Sample	: HSBC Plot labour colony		
Date of Sample Drawn	: 17/11/2023	Time of Sample Drawn	: 2.10 pm		
Sample Drawn By	: AESPL Consultancy Division	Transported By	: AESPL Consultancy Division		
Date of Sample Receipt	: 18/11/2023	Sample Identification	: W- 23/11/117		
Sample Quantity & Container	: F-1 lit; Plastic can.				
Date of Sample Analysis	: 18/11/2023 to 20/11/2023				
Environmental Conditions at site	: Water Temperature: 25°C, Air Temperature: 32°C, Water Cooler and surrounding was clean.				
Transportation Condition	: Water Temperature: < 6°C, Cold storage.				
Project/ Job number	: 4800153955 dtd 28 Mar 2022				
Reference of Sampling	: AESPL/LAB/QR/7.3.3/R-02				
Method of Sampling & Preservation	: AESPL/LAB/SOP/7.3.1/W-01				
Environmental Condition while Testing	: Ambient Temperature: 29.6°C and Humidity: 58%				
Sr. No.	Parameter	Result	Limits (IS 10500:RA2018)		Method of Analysis
			Acceptable	Permissible	
1.	Colour, Hazen	<5.0	5 Max	15 Max	IS-3025(P- 4) RA2021
2.	Turbidity, NTU	< 2.0	1 Max	5 Max	IS-3025(P-10) RA2017
3.	pH@25°C	7.12	6.5 - 8.5	No relaxation	IS-3025(P-11) 2022
4.	Residual Chlorine, mg/l	< 0.56	0.2 Min	1.0 Min	IS-3025(P-26) RA2019
5.	Hardness as CaCO ₃ , mg/l	34	200 Max	600 Max	IS-3025(P-21) RA2019
6.	Iron as Fe, mg/l	0.030	1.0 Max	No relaxation	IS-3025(P-11) RA2019
7.	Chloride as Cl ⁻ , mg/l	11	250 Max	1000 Max	IS-3025(P-53) RA2019
8.	Fluoride as F ⁻ , mg/l	0.32	1.0 Max	1.5 Max	IS-3025(P-60) RA2019
9.	Odour	Agreeable	Agreeable	Agreeable	IS-3025(P-5) 2022

Conformity Statement: Water sample is **pass** as per IS 10500:RA2018 w.r.t. above mentioned tests.**Note:**

1. The test report shall not be reproduced except in full, without written approval of laboratory.
2. Results relate only to the items tested.
3. Any query related to this report will be entertained within 15 days of the report issue date only and the sample will also be retained for the same period.
4. Decision Rule is applied.

**Reshma S. Patil
(Authorized Signatory)**

-End of Test Report-

**ADITYA ENVIRONMENTAL SERVICES PVT. LTD.**Testing Laboratory is certified by **ISO 9001:2015 & ISO 45001:2018**Recognized by **MoEFCC** as “**Environmental Laboratory**” valid up to 24.04.2024**Laboratory:** P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.inTel: 9112844844, **CIN:** U74999MH2001PTC132091, **UDYAM-MH-19-00-29787**

TC-7085

**Test Report
(Microbiology - Water)****Ref. No.:** AESPL/LAB/B/Mw-23/11/147**Issue Date:** 22/11/2023

Name of Customer & Contact Details	:	K. Raheja Corp Pvt. Ltd Plot C-30, Block G Oppo. SIDBI, BKC Bandra(E), Mumbai-400051 Mr. Deepaklal Yadav, 9920751304 E-Mail: - deepaklaly@kraheja.com		
Name of Site	:	KRPL# Residential Bldg., Metal Box, Worli,		
Nature of Sample	:	Drinking water	Location of Sample	: Labour campus B-1
Date of Sample Drawn	:	17/11/2023	Time of Sample Drawn	: 02:10 Pm
Sample Drawn By	:	AESPL Consultancy Division	Transported By	: AESPL Consultancy Division
Date of Sample Receipt	:	18/11/2023	Sample Identification	: Mw- 23/11/147
Sample Quantity & Container	:	250 ml; Glass bottle.		
Date of Sample Analysis	:	18/11/2023 to 20/11/2023		
Environmental Conditions at site	:	Surrounding area is clean.		
Transportation Condition	:	Water Temperature: < 6°C, Cold storage.		
Project/ Job number	:	4800153955 dtd 28 Mar 2022		
Reference of Sampling	:	AESPL/LAB/QR/7.3.3/R-02		
Method of Sampling & Preservation	:	AESPL/LAB/SOP/7.3.1/M-01		
Environmental Condition while Testing	:	Ambient Temperature: 21.6°C and Humidity: 54 %		
Sr. No.	Parameter, Unit	Result	Limits as per: IS 10500 RA 2018	Method of Analysis
1.	Coliform/100ml	Absent /100ml	Absent /100ml	IS:15185 : 2016
2.	E-coli/100ml	Absent /100ml	Absent/100ml	IS:15185 : 2016

Conformity Statement: Water sample is **Pass** as per IS 10500: RA2018 w. r. t. above mentioned tests.**Note:**

1. The test report shall not be reproduced except in full, without written approval of laboratory.
2. Results relate only to the items tested.
3. The results apply to the sample as received

**Pranali N. Patil
(Authorized Signatory)**

-End of Test Report-

**ADITYA ENVIRONMENTAL SERVICES PVT. LTD.**Testing Laboratory is certified by **ISO 9001:2015 & ISO 45001:2018**Recognized by **MoEFCC** as "Environmental Laboratory" valid up to 24.04.2024Laboratory: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in

Tel: 9112844844, CIN: U74999MH2001PTC132091 UDYAM-MH-19-00-29787



TC-7085

**Test Report
(Wastewater)**

Ref. No.: AESPL/LAB/C/W-24/01/80

Issue Date: 19/01/2024

Name of Customer & Contact Details		: K.RAHEJA PVT.LTD. Raheja Tower, Plot No.C-30, Block G , Next to Bank of Baroda, BKC, Bandra (E),Mumbai-400051 Mr. Deepaklal Yadav, 9920751304 E-Mail: - deepaklaly@kraheja.com	
Name of Site		: KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli, Mumbai-400025	
Nature of Sample	: Sewage Water	Location of Sample	: STP Inlet
Date of Sample Drawn	: 10/01/2024	Time of Sample Drawn	: 3.30 pm
Sample Drawn By	: AESPL Consultancy Division	Transported By	: AESPL Consultancy Division
Date of Sample Receipt	: 12/01/2024	Sample Identification	: W-24/01/80
Sample Quantity & Container	: F-1lit, Plastic can		
Date of Sample Analysis	: 12/01/2024 to 17/01/2024		
Environmental Conditions at site	: Water Temperature: 25°C, Air Temperature: 30°C, Surrounding was clean.		
Transportation Condition	: Water Temperature: < 6°C, Cold storage.		
Project/ Job number	: 4800153955 dtd 28 Mar 2022		
Reference of Sampling	: AESPL/LAB/QR/7.3.3/R-02		
Method of Sampling & Preservation	: AESPL/LAB/SOP/7.3.1/W-01		
Environmental Condition while Testing	: Ambient Temperature: 28.6°C and Humidity: 52%		
Sr. No.	Parameter with Unit	Result	Method of analysis
1.	pH@25°C	6.68	APHA-2023(4500H ⁺ -B)
2.	Suspended Solids @103°C, mg/l	28	APHA-2023(2540-D)
3.	Chemical Oxygen Demand, mg/l	210	APHA-2023(5220-B)
4.	Biochemical Oxygen Demand @ 27°C for 3 days, mg/l	75	IS-3025 (P-44) RA2019
5.	Total Ammoniacal Nitrogen as NH ₃ , mg/l	18	APHA-2023(4500NH ₃ -B&C)
6.	Total Kjeldahl Nitrogen as N, mg/l	35	APHA-2023(4500N _{org} -C)

Note:

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**Reshma S. Patil
(Authorized Signatory)**

End of Test Report

**ADITYA ENVIRONMENTAL SERVICES PVT. LTD.**Testing Laboratory is certified by **ISO 9001:2015 & ISO 45001:2018**
Recognized by **MoEFCC** as "Environmental Laboratory" valid up to 24.04.2024Laboratory: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in

Tel: 9112844844, CIN: U74999MH2001PTC132091 UDYAM-MH-19-00-29787



TC-7085

**Test Report
(Wastewater)**

Ref. No.: AESPL/LAB/C/W-24/01/79

Issue Date: 19/01/2024

Name of Customer & Contact Details	: K.RAHEJA PVT.LTD. Raheja Tower, Plot No.C-30, Block G , Next to Bank of Baroda, BKC, Bandra (E),Mumbai-400051 Mr. Deepaklal Yadav, 9920751304 E-Mail: - deepaklaly@kraheja.com			
Name of Site	: KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli, Mumbai-400025			
Nature of Sample	: Sewage Water	Location of Sample	: STP Outlet	
Date of Sample Drawn	: 10/01/2024	Time of Sample Drawn	: 3.25 pm	
Sample Drawn By	: AESPL Consultancy Division	Transported By	: AESPL Consultancy Division	
Date of Sample Receipt	: 12/01/2024	Sample Identification	: W-24/01/79	
Sample Quantity & Container	: F-1lit, Plastic can			
Date of Sample Analysis	: 12/01/2024 to 17/01/2024			
Environmental Conditions at site	: Water Temperature: 25°C, Air Temperature: 30°C, Surrounding was clean.			
Transportation Condition	: Water Temperature: < 6°C, Cold storage.			
Project/ Job number	: 4800153955 dtd 28 Mar 2022			
Reference of Sampling	: AESPL/LAB/QR/7.3.3/R-02			
Method of Sampling & Preservation	: AESPL/LAB/SOP/7.3.1/W-01			
Environmental Condition while Testing	: Ambient Temperature: 28.6°C and Humidity: 52%			
Sr. No.	Parameter	Result	MPCB Consent limits	Method of analysis
1.	pH@25°C	6.55	5.5 to 9.0	APHA-2023(4500H ⁺ -B)
2.	Suspended Solids @103°C, mg/l	8.0	< 20	APHA-2023(2540-D)
3.	Chemical Oxygen Demand, mg/l	30	< 250	APHA-2023(5220-B)
4.	Biochemical Oxygen Demand @ 27°C for 3 days, mg/l	9.6	< 30	IS-3025 (P-44) 2023
5.	Total Ammoniacal Nitrogen as NH ₃ , mg/l	< 0.56	< 5.0	APHA-2023(4500NH ₃ -B&C)
6.	Total Kjeldahl Nitrogen as N, mg/l	< 0.56	< 10	APHA-2023(4500N _{org} -C)

Conformity Statement: Water sample is within permissible limits prescribed by MPCBw.r.t. above mentioned tests.**Note:**

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**Reshma S. Patil
(Authorized Signatory)**

-End of Test Report-

**ADITYA ENVIRONMENTAL SERVICES PVT. LTD.**Testing Laboratory is certified by **ISO 9001:2015 & ISO 45001:2018**Recognized by **MoEFCC** as “**Environmental Laboratory**” valid up to 24.04.2024**Laboratory:** P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.inTel: 9112844844, **CIN:** U74999MH2001PTC132091, **UDYAM-MH-19-00-29787**

TC-7085

**Test Report
(Microbiology - Wastewater)****Ref. No.:** AESPL/LAB/B/Mw-24/01/98**Issue Date:** 16/01/2024

Name of Customer & Contact Details	:	K.RAHEJA PVT.LTD. Raheja Tower, Plot No.C-30, Block G , Next to Bank of Baroda, BKC, Bandra (E),Mumbai-400051 Mr. Deepaklal Yadav, 9920751304 E-Mail: - deepaklaly@kraheja.com		
Name of Site	:	KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli, Mumbai-400025		
Nature of Sample	:	Sewage water	Location of Sample	: STP Outlet
Date of Sample Drawn	:	10/01/2024	Time of Sample Drawn	: 03:30 Pm
Sample Drawn By	:	AESPL Consultancy Division	Transported By	: AESPL Consultancy Division
Date of Sample Receipt	:	12/01/2024	Sample Identification	: Mw- 24/01/98
Sample Quantity & Container	:	250 ml; Glass bottle.		
Date of Sample Analysis	:	12/01/2024 to 13/01/2024		
Environmental Conditions at site	:	Surrounding area is clean.		
Transportation Condition	:	Water Temperature: < 6°C, Cold storage.		
Project/ Job number	:	4800153955 dtd 28 Mar 2022		
Reference of Sampling	:	AESPL/LAB/QR/7.3.3/R-02		
Method of Sampling & Preservation	:	AESPL/LAB/SOP/7.3.1/M-01		
Environmental Condition while Testing	:	Ambient Temperature: 21.3°C and Humidity: 59 %		
Sr. No.	Parameter, Unit	Result	Limits as per MPCB Consent	Method of Analysis
1.	Fecal Coliform MPN /100ml	12 MPN/100ml	100	APHA 24 TH Edi. 9221 E

Conformity Statement: Water sample is **Pass** w. r. t. MPCB Consent limit.**Note:**

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3. The results apply to the sample as received

**Pranali N. Patil
(Authorized Signatory)**

-End of Test Report-



ADITYA ENVIRONMENTAL SERVICES PVT. LTD.

Testing Laboratory is certified by ISO 9001:2015&ISO 45001:2018

Recognized by MoEFCC as "Environmental Laboratory" valid up to 24.04.2024

Laboratory: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in

Tel:9112844844, CIN: U74999MH2001PTC132091 UDYAM-MH-19-0029787



TC-7085

Test Report (Ambient Air)

Ref. No.: AESPL/LAB/C/ A-24/02/98

Issue Date: 01/03/2024

Name of Customer & Contact Details	: K. Raheja Corp Pvt. Ltd. Plot C-30, Block G Oppo. SIDBI, BKC Bandra(E), Mumbai-400081. Mr. Deepaklal Yadav, ☎ 920751304. ✉ deepaklaly@kraheja.com				
Name of Site	: KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli, Mumbai-400025				
Discipline & Group	: Chemical: Atmospheric Pollution				
Description of Sample	: Ambient Air				
Location of Sampling	: Near Gate no.1				
Date of Sampling	: 23/02/2024				
Sampling Time	: 09:00 to 17:00 hr.	Duration	: 08 Hr.		
Sample Drawn By	: AESPL Consultancy Division	Transported By	: AESPL Consultancy Division		
Date of Sample Receipt	: 24/02/2024	Sample Identification	: A-24/02/98		
Sample Quantity & Container	: SO ₂ :1 Bottle; NO _x :1 Bottle; PM ₁₀ -1; Bladder:1.				
Date of Sample Analysis	: 26/02/2024 to 29/02/2024				
Sampling Environmental Conditions	: Temperature:28-34°C; Rain fall: No; P _{bar} : 755 mmHg.				
Transportation Condition	: Bottles < 5°C	Filter papers in plastic container	Bladders, charcoal tubes at ambient temp.		
Sampling Equipment	: RDS-I-14 & FDS-10				
Calibration Status	: Calibration on 25/05/2023 due on 25/05/2024				
Project/ Job number	: 4800153955 dtd 28 Mar 2022				
Reference of Sampling	: AESPL/LAB/QR/7.3.3/R-02				
Method of Sampling & Preservation	: AESPL/LAB/SOP/7.3.1/A-01				
Environmental Condition while Testing	: Ambient Temperature: 27°C and Humidity: 43%				
Sr. No.	Parameter	Result	Limits #	Unit	Method of Analysis
1.	Sulphur dioxide as SO ₂	28.72	80 *	µg/m ³	IS 5182 (Part 2) RA2017
2.	Nitrogen dioxide as NO ₂	45.53	80 *	µg/m ³	IS 5182 (Part 6) RA2022
3.	PM ₁₀	108.20	100 *	µg/m ³	IS 5182 (Part 23) RA2022
4.	PM _{2.5}	36.25	60 *	µg/m ³	IS 5182 (Part 24) RA2022
5.	Carbon monoxide as CO	0.87	04 **	mg/m ³	IS 5182 (part 10) RA2019

[#] Specified under National Ambient Air Quality Standards by CPCB:

[*] 24 hourly monitoring values; [**] 1 hourly monitoring values.

Conformity Statement: The monitoring undertaken indicates that Ambient Air Quality Values for monitored parameters except PM₁₀ are within the levels stipulated under National Ambient Air Quality Standards 2009.

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4. The results apply to the sample as received.



Reshma S. Patil.
(Authorized Signatory)

-End of Test Report-



ADITYA ENVIRONMENTAL SERVICES PVT. LTD.

Testing Laboratory is certified by ISO 9001:2015 & ISO 45001:2018

Recognized by MoEFCC as "Environmental Laboratory" valid up to 24.04.2024.

Laboratory: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in

Tel: 9112844844, CIN: U74999MH2001PTC132091 UDYAM-MH-19-00-29787



TC-7085

Test Report (Noise)

Ref. No.: AESPL/LAB/C/N-24/02/86

Issue Date: 28/02/2024

Name of Customer & Contact Details	: K. Raheja Corp Pvt. Ltd Plot C-30, Block G Oppo. SIDBI, BKC Bandra(E), Mumbai-400051 Mr. Deepaklal Yadav, 9920751304 E-Mail: - deepaklaly@kraheja.com		
Name of Site	: KRPL# RESIDENTIAL BLDG., METAL BOX, WORLI,		
Discipline & Group	: Chemical: Atmospheric Pollution		
Description of Sample	: Ambient Noise		
Location Details	: At Periphery Of Site		
Date of Sampling	: 23/02/2024	Period of Sampling	: Spot
Start & End Time of Sampling (Daytime)	: 10.20 Hr. - 10.45Hr.	Start & End Time of Sampling (Nighttime)	: 20.05 Hr.-20.30Hr.
Monitored By	: AESPL Consultancy Division	Transported By	: AESPL Consultancy Division
Date of Data Receipt	: 24/02/2024	Sample Identification	: N-24/02/86
Environmental Condition	: Climate: Clear	Ambient Temp: 28°C to 32°C	
Transportation Condition	: Noise Data sheet is kept in folder and safely transported to laboratory along with Noise meter.		
Sampling Equipment	: Noise meter - Centre C-390 SL-I-01		
Calibration Status	: Calibrated on 28/11/2023; calibration due on 27/11/2024		
Project/ Job Number	: 4800153955 dtd 28 Mar 2022		
Reference of Sampling	: AESPL/LAB/QR/7.3.3/R-02		
Method of Sampling	: IS 9989 RA:2020		

Sr. No.	Location	Noise Day Time dB(A)	Noise Nighttime dB(A)
1.	Near Engineering Office P1 Level 1 st Floor (HSBC	64.3	53.4
2.	PPL Main Security Gate	64.1	54.1
3.	HSBC Plot	64.7	54.3
4.	P-5 Level Artesia	61.8	51.8
5.	Neelam Centre Corner-E (Back Side)-Artesia	64.5	51.3
6.	52-Chawl Corner-South East-(HSBC P 64)	64.1	52.6
7.	Ground Floor-North Side	62.6	52.1
8.	Near TV industrial (HSBC Plot)	61.3	53.6
9.	Labour Colony (HSBC Plot)	62.5	54.0
Limit as per EP Act for Commercial area		65	60

Conformity Statement: Noise Levels at all the locations are found to be below the stipulated limits.

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Reshma S. Patil.
(Authorized Signatory)

-End of Test Report-

**ADITYA ENVIRONMENTAL SERVICES PVT. LTD.**Testing Laboratory is certified by **ISO 9001:2015 & ISO 45001:2018**
Recognized by **MoEFCC** as “**Environmental Laboratory**” valid up to 24.04.2024**Laboratory:** P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel: 9112844844, **CIN:** U74999MH2001PTC132091 UDYAM-MH-19-00-29787

TC-7085

**Test Report
(Wastewater)****Ref. No.:** AESPL/LAB/C/W-24/02/218**Issue Date:** 02/03/2024

Name of Customer & Contact Details	: K.RAHEJA PVT.LTD. Raheja Tower, Plot No.C-30, Block G , Next to Bank of Baroda, BKC, Bandra (E),Mumbai-400051 Mr. Deepaklal Yadav, 9920751304 E-Mail: - deepaklaly@kraheja.com		
Name of Site	: KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli, Mumbai-400025		
Nature of Sample	: Sewage Water	Location of Sample	: STP Inlet
Date of Sample Drawn	: 23/02/2024	Time of Sample Drawn	: 10.35 am
Sample Drawn By	: AESPL Consultancy Division	Transported By	: AESPL Consultancy Division
Date of Sample Receipt	: 24/02/2024	Sample Identification	: W-24/02/218
Sample Quantity & Container	: F-1lit, Plastic can		
Date of Sample Analysis	: 24/02/2024 to 29/02/2024		
Environmental Conditions at site	: Water Temperature: 25°C, Air Temperature: 30°C, Surrounding was clean.		
Transportation Condition	: Water Temperature: < 6°C, Cold storage.		
Project/ Job number	: 4800153955 dtd 28 Mar 2022		
Reference of Sampling	: AESPL/LAB/QR/7.3.3/R-02		
Method of Sampling & Preservation	: AESPL/LAB/SOP/7.3.1/W-01		
Environmental Condition while Testing	: Ambient Temperature: 28.6°C and Humidity: 52%		
Sr. No.	Parameter with Unit	Result	Method of analysis
1.	pH@25°C	6.89	APHA-2023(4500H ⁺ -B)
2.	Suspended Solids @103°C, mg/l	32	APHA-2023(2540-D)
3.	Chemical Oxygen Demand, mg/l	250	APHA-2023(5220-B)
4.	Biochemical Oxygen Demand @ 27°C for 3 days, mg/l	80	IS-3025 (P-44) RA2019
5.	Total Ammoniacal Nitrogen as NH ₃ , mg/l	11	APHA-2023(4500NH ₃ -B&C)
6.	Total Kjeldahl Nitrogen as N, mg/l	24	APHA-2023(4500N _{org} -C)

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**Reshma S. Patil
(Authorized Signatory)**

-End of Test Report-

**ADITYA ENVIRONMENTAL SERVICES PVT. LTD.**Testing Laboratory is certified by **ISO 9001:2015** & **ISO 45001:2018**
Recognized by **MoEFCC** as "Environmental Laboratory" valid up to 24.04.2024Laboratory: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in

Tel: 9112844844, CIN: U74999MH2001PTC132091 UDYAM-MH-19-00-29787



TC-7085

**Test Report
(Wastewater)**

Ref. No.: AESPL/LAB/C/W-24/02/219

Issue Date: 02/03/2024

Name of Customer & Contact Details	: K.RAHEJA PVT.LTD. Raheja Tower, Plot No.C-30, Block G , Next to Bank of Baroda, BKC, Bandra (E),Mumbai-400051 Mr. Deepaklal Yadav, 9920751304 E-Mail: - deepaklaly@kraheja.com			
Name of Site	: KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli, Mumbai-400025			
Nature of Sample	: Sewage Water	Location of Sample	: STP Outlet	
Date of Sample Drawn	: 23/02/2024	Time of Sample Drawn	: 10.30 am	
Sample Drawn By	: AESPL Consultancy Division	Transported By	: AESPL Consultancy Division	
Date of Sample Receipt	: 24/02/2024	Sample Identification	: W-24/02/219	
Sample Quantity & Container	: F-1lit, Plastic can			
Date of Sample Analysis	: 24/02/2024 to 29/02/2024			
Environmental Conditions at site	: Water Temperature: 25°C, Air Temperature: 30°C, Surrounding was clean.			
Transportation Condition	: Water Temperature: < 6°C, Cold storage.			
Project/ Job number	: 4800153955 dtd 28 Mar 2022			
Reference of Sampling	: AESPL/LAB/QR/7.3.3/R-02			
Method of Sampling & Preservation	: AESPL/LAB/SOP/7.3.1/W-01			
Environmental Condition while Testing	: Ambient Temperature: 28.6°C and Humidity: 52%			
Sr. No.	Parameter	Result	MPCB Consent limits	Method of analysis
1.	pH@25°C	6.86	5.5 to 9.0	APHA-2023(4500H ⁺ -B)
2.	Suspended Solids @103°C, mg/l	8.0	< 20	APHA-2023(2540-D)
3.	Chemical Oxygen Demand, mg/l	50	< 250	APHA-2023(5220-B)
4.	Biochemical Oxygen Demand @ 27°C for 3 days, mg/l	18	< 30	IS-3025 (P-44) 2023
5.	Total Ammoniacal Nitrogen as NH ₃ , mg/l	< 0.56	< 5.0	APHA-2023(4500NH ₃ -B&C)
6.	Total Kjeldahl Nitrogen as N, mg/l	< 0.56	< 10	APHA-2023(4500N _{org} -C)

Conformity Statement: Water sample is within permissible limits prescribed by MPCBw.r.t. above mentioned tests.**Note:**

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**Reshma S. Patil
(Authorized Signatory)**

-End of Test Report-

**ADITYA ENVIRONMENTAL SERVICES PVT. LTD.**Testing Laboratory is certified by **ISO 9001:2015 & ISO 45001:2018**Recognized by **MoEFCC** as “**Environmental Laboratory**” valid up to 24.04.2024**Laboratory:** P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.inTel: 9112844844, **CIN:** U74999MH2001PTC132091, **UDYAM-MH-19-00-29787**

TC-7085

**Test Report
(Microbiology - Wastewater)****Ref. No.:** AESPL/LAB/B/Mw-24/02/204**Issue Date:** 29/02/2024

Name of Customer & Contact Details	:	K.RAHEJA PVT.LTD. Raheja Tower, Plot No.C-30, Block G , Next to Bank of Baroda, BKC, Bandra (E),Mumbai-400051 Mr. Deepaklal Yadav, 9920751304 E-Mail: - deepaklaly@kraheja.com		
Name of Site	:	KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli, Mumbai-400025		
Nature of Sample	:	Sewage water	Location of Sample	: STP Outlet
Date of Sample Drawn	:	23/02/2024	Time of Sample Drawn	: 10:30 Am
Sample Drawn By	:	AESPL Consultancy Division	Transported By	: AESPL Consultancy Division
Date of Sample Receipt	:	24/02/2024	Sample Identification	: Mw- 24/02/204
Sample Quantity & Container	:	250 ml; Glass bottle.		
Date of Sample Analysis	:	24/02/2024 to 26/02/2024		
Environmental Conditions at site	:	Surrounding area is clean.		
Transportation Condition	:	Water Temperature: < 6°C, Cold storage.		
Project/ Job number	:	4800153955 dtd 28 Mar 2022		
Reference of Sampling	:	AESPL/LAB/QR/7.3.3/R-02		
Method of Sampling & Preservation	:	AESPL/LAB/SOP/7.3.1/M-01		
Environmental Condition while Testing	:	Ambient Temperature: 22.2°C and Humidity: 60 %		
Sr. No.	Parameter, Unit	Result	Limits as per MPCB Consent	Method of Analysis
1.	Fecal Coliform MPN /100ml	47 MPN/100ml	100	APHA 24 TH Edi. 9221 E

Conformity Statement: Water sample is **Pass** w. r. t. MPCB Consent limit.**Note:**

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3. The results apply to the sample as received

**Pranali N. Patil
(Authorized Signatory)**

-End of Test Report-

By Speed Post

No. 21 413/2006-IA.III
Government of India
Ministry of Environment & Forests
(IA Division)

Patyavaran Bhawan,
CGO Complex, Lodhi Road
New Delhi-110003

Dated: February 6, 2007

To

✓ **Mr. Ravi Raheja, Director**
K. Raheja Pvt. Ltd.,
Construction House, A 24th Rd.
Khar (W), Mumbai - 400052

Subject: Environmental clearance for the construction of residential complex on plot bearing survey no. 2/1629 of Lower Parel division, Plot No. 249 & 249 A of Worli Scheme No. 52, G/South Ward, Mumbai by M/s K. Raheja Pvt. Ltd.

Sir,

I am directed to refer to your application seeking prior environmental clearance for the above said project under the EIA Notification 1994 as amended on July 2004. The proposal has been appraised as per prescribed procedure on the basis of the mandatory documents enclosed with the application, viz., the Questionnaire, EIA, EMP, Public Hearing proceedings and the additional clarifications furnished in response to the observations of the Additional Expert Appraisal Committee (AEAC) constituted by the competent authority in its meeting held on December 15-16, 2006 and provisions under EIA Notification dated 14.9.2006.

2. The project proponent is setting up a residential complex on plot bearing survey no. 2/1629 of Lower Parel division, Plot No. 249 & 249 A of Worli Scheme No. 52, G/South Ward, Mumbai. The proposal is for construction of 142 dwelling units in one residential building comprising of 2 levels podium plus stilts plus thirty five upper floors. The area of the plot is 14,638.91 sq. m. and built up area as indicated to be 42,094 m². The domestic water consumption is 117 m³/day and waste water generation is 90 m³/day. A sewage treatment plant will be provided to treat sewage. The solid waste generated (0.16/day) will be segregated and bio-degradable waste will be composted by invessel composting technology after recovering recyclable material. The inert material will be disposed of for land filling.

3. The EIA report submitted along with the application predicts that there will be insignificant impact on the ambient air quality during construction as well as operation phase. There will be minor negative impact near noise generation sources inside premises during construction phase. But there will be no significant impact on ambient noise levels at sensitive receptors outside the premises due to proper parking design and plantation. There will be positive impact on hydrology and natural drainage

due to adequate provision of storm water drainage. There will be minor negative impact on water availability. However, there will not be any negative impact on the water quality. There will be significant positive impact on the aesthetic due to extensive landscaping.

4. The EAC after due consideration of the relevant documents submitted by the project proponent, responses to the public concerns expressed during the public hearing and additional clarifications furnished in response to its observations have recommended the grant of environmental clearance for the project mentioned above subject to compliance with the EMP and other stipulated conditions. Accordingly, the Ministry hereby accords necessary environmental clearance for the project subject to the strict compliance with the specific and general conditions mentioned below:

PART A- SPECIFIC CONDITIONS

I. Construction Phase

- i. All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.
- ii. Soil and ground water samples will be tested to ascertain that there is no threat to groundwater quality by leaching of heavy metals and other toxic contaminants.
- iii. A First Aid Room will be provided in the project both during construction and operation of the project.
- iv. Adequate drinking water and sanitary facilities should be provided for construction workers at the site. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
- v. All the top soil excavated during construction activities should be stored for use in horticulture/landscape development within the project site.
- vi. Disposal of muck including excavated material during construction phase should not create any adverse effect on the neighboring communities and be disposed off taking the necessary precautions for general safety and health aspects of people.
- vii. Use of diesel power generating sets during construction phase should be enclosed type to prevent noise and should conform to rules made under Environment (Protection) Act-1986, prescribed for air and noise emission standards.
- viii. Vehicles hired for bringing construction material at site should be in good condition and should conform to applicable air and noise emission standards.
- ix. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase.
- x. Construction spoils including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dump sites for such material must be secured so that they should not leach into the ground water.

xi. Regular supervision of the above and other measures should be in place all through the construction phase so as to avoid disturbance to the surroundings.

xii. The movement of public and flow of traffic shall not be adversely affected due to dumping of either excavated soil or material, used in construction of the complex on public road.

xiii. Roads, pavement and public places shall not be used for storing building material, parking of vehicles, installation of construction machinery and DCI set etc.

xiv. During construction phase, arrangements shall be made to prevent spread of dust in surrounding areas.

II. Operation Phase

The environmental clearance recommended to the project is subject to the specific conditions as follows:

i. Adequate parking space shall be provided for cars and also for their movement at ground level.

ii. During night time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

iii. Oil & Grease trap shall be provided to remove oil and grease from the surface run off and suspended matter shall be removed in a settling tank before its utilization for rainwater harvesting.

iv. The leachate from vermi-composting shall be treated in sewage treatment plant.

v. The installation of sewage treatment plant (STP) should be certified by an independent expert for efficiency as well as adequacy and should submit a report in this regard to the Ministry before the project is commissioned for operation. The wastewater should be treated to tertiary level and after treatment reused for flushing of toilets and gardening. Discharge of treated sewage shall conform to the norms & standards prescribed by Maharashtra State Pollution Control Board.

vi. Water harvesting system and energy conservation measures like installation of solar panels for lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning.

vii. Noise barriers should be provided at appropriate locations so as to ensure that the noise levels do not exceed the prescribed standards.

viii. The solid waste should be properly collected & segregated. Wet garbage should be disposed by the vermi-culture composting method. The STP sludge shall be used as manure.

ix. Any hazardous waste including biomedical waste should be disposed of as per applicable Rules & norms with necessary approvals of the Maharashtra State Pollution Control Board.

x. Diesel power generating sets proposed as source of back up power for lifts and common area illumination should be of enclosed type and conform to Environment (Protection) Act Rules prescribed for air and noise emission standards as per CPCB guidelines. Exhausts should be discharged by stack, raised to 4 meters above the rooftop.

xi. The green belt design along the periphery of the plot shall achieve attenuation factor conforming to the day and night noise standards prescribed for residential land use. The open spaces inside the plot should be suitably landscaped and covered with vegetation of indigenous variety.

xii. Incremental pollution loads on the ambient air quality, noise and water quality should be periodically monitored after commissioning of the project.

xiii. The ground water levels and its quality should be monitored regularly in consultation with Central Ground Water Authority.

xiv. Adequate measure should be taken to avoid any traffic congestion near the entry and exit points from the roads adjoining the proposed project site.

xv. A Report on the energy conservation measures should be prepared incorporating details about building materials & technology, R & U factors etc and submitted to the Ministry in three months time.

xvi. The values of R & U for the building envelope should meet the requirements of the hot & humid climatic location. Details of the building envelope should be worked out and furnished in three months time.

xvii. Suitable insulation material should be provided in the roof structure to reduce the U value to about 0.35 Watts per sqm per degree Centigrade.

xviii. The operation & maintenance of assets created shall be ensured by signing contract with suppliers of equipment/machinery/system etc. for atleast three years.

PART - B. GENERAL CONDITIONS

i) The environmental safeguards contained in the EIA Report should be implemented in letter and spirit.

ii) Provision should be made for the supply of kerosene or cooking gas and pressure cooker to the laborers during construction phase.

iii) All the laborers to be engaged for construction works should be screened for health and adequately treated before the issue of work permits.

iv) 6 monthly monitoring reports should be submitted to the Ministry and its Regional Office.

5. Officials from the Regional Office of MOEF, Bhopal who would be monitoring the implementation of environmental safeguards should be given full cooperation, facilities and documents / data by the project proponents during their

inspection. A complete set of all the documents submitted to MOEF should be forwarded to the CCF, Regional office of MOEF, Bhopal.

6. In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Ministry.

7. The Ministry reserves the right to add additional safeguard measures, subsequently, if found necessary, and to take action including revoking of the environmental clearance under the provisions of the Environment (Protection) Act, 1986, to ensure effective implementation of the suggested safeguard measures in a time bound and satisfactory manner.

8. All other statutory clearances such as the approvals for storage of diesel from Chief Controller of Explosives, Fire Department, Civil Aviation Department (if required), CRZ Regulations, State Forests Department etc. shall be obtained by project proponents from the competent authorities.

9. A copy of the environmental clearance letter would be marked to the local NGO(s), if any, from whom suggestion/representation were received at the time of public hearing.

10. The project proponent should advertise in at least two local Newspapers widely circulated in the region, one of which shall be in the vernacular language informing that the project has been accorded environmental clearance and copies of clearance letters are available with the Maharashtra State Pollution Control Board and may also be seen on the website of the Ministry of Environment and Forests at <http://www.envfor.nic.in>. The advertisement should be made within 7 days from the day of issue of the clearance letter and a copy of the same should be forwarded to the Regional office of this Ministry at Bhopal.

11. These stipulations would be enforced among others under the provisions of the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and control of Pollution) act 1981, the Environment (Protection) Act, 1986 and the Public Liability (Insurance) Act, 1991.

K.C. Rathore

(K.C.RATHORE)
Additional Director (IA)
rathorc27@yahoo.com
Tel: 24360789

Copy to: -

1. The Secretary, Department of Environment, Government of Maharashtra, New Administrative Building, 15th Floor, Opp. Mantralaya, Mumbai.
2. The Member Secretary, Maharashtra State Pollution Control Board, Kalptaru Point, 3rd Floor, Near Sion Circle Opp. Cine Planet Cinema, Sion(E), Mumbai.
3. The CCF, Regional Office, Ministry of Environment & Forests, Bhopal.
4. IA - Division, MOEF, New Delhi - 110001.
5. Guard file

(K.C.RATHORE)
Additional Director (IA)

Government of Maharashtra

File No.: SEAC 2010/CR.323/TC.2
 Environment department,
 Room No. 217, 2nd floor,
 Mantralaya Annexe,
 Mumbai 400 032
 Date: 22nd July, 2011

To,
 M/s K. Raheja Private Ltd
 Construction house, "A",
 24th Road, Khar (W),
 Mumbai - 400 052
 Tel: 91-22-26002177
 Fax: 91-22-26005264
 E mail: krahejacorp@vsnl.com

Subject: - Proposed Composite Building with Residential Wing and a Municipal Public Parking Lot" at Lower Parel Division, G/S Ward, Worli, Mumbai by M/s K. Raheja Private Ltd. - Environmental clearance regarding.

Sir,

This has reference to your communication dated 26th February, 2010 on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee, Maharashtra in its 32nd, 37th & 40th meetings and decided to recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its 36th Meeting held on 28th March, 2011.

2. It is noted that the proposal is for grant of Environmental Clearance for Proposed Composite Building with Residential Wing and a Municipal Public Parking Lot" at Lower Parel Division, G/S Ward, Worli, Mumbai by M/s K. Raheja Private Ltd. SEAC considered the project under screening category 8 (a) as per EIA Notification 2006.

Brief Information of the project is summarized as below-

Name of the Project	: "Proposed Composite Building with Residential Wing and a Municipal Public Parking Lot"
Project Proponent	: M/s K. Raheja Private Ltd
Location of the project	: C.S. No. 2/1629 of Lower Parel Division, Plot No. 249 & 249A of Worli Scheme No. 52, G/S ward, Mumbai.
Type of Project	: Construction Project
Total Plot Area	: 14,638.91 Sq. m.
Proposed Total built up area	: Construction area of Residential building : <ul style="list-style-type: none"> ▪ As per FSI : 29,435.93 sq. m. ▪ Non FSI area : 57,403.74 sq. m. ▪ Total Construction area of residential building: 86,839.67 sq. m. Construction area of MCGM Parking lot : 33,289.50 sq. m.

Estimated cost of the project	:	₹ 496.82 Crores
No. of Buildings	:	One (Composite Building of Residential Wing and Municipal Public Parking Lot)
Maximum height of building		Residential Building - 195.00 mts Municipal Public Parking Lot - 28.95 mts

Water Requirement:

Residential Wing: Fresh water: 111 KLD, Recycled water: 73 KLD

Source: MCGM/STP

Wastewater generated: 81 KLD. Waste water generated from the proposed project will be treated by sewage treatment plant

Capacity of STP: 90 KLD

Treated wastewater will be utilized on site for landscaping and flushing. Excess treated water will be discharge to municipal sewer line.

Public Parking Lot Unit :

Total water requirement = 9.5 m³/day

Total sewage = 7.20 m³/day

STP Capacity = 10.00 m³/day

The treated water from the STP will be used for flushing in the said building and necessary arrangements will be made during construction.

Rain Water Harvesting (RWH)

- 2 Nos. of Tanks with 50 m³/day capacity will be provided for roof water collection. This will be equal to 1.5 day's fresh water requirement.
- 22 Nos. of Rain Water Harvesting pits of 1.5 mts dia. x 8.0 mts deep will be provided.

Storm water drainage

- Natural water drainage pattern: There is no water drain/natural nallah passing through the plot. Hence the development will not affect the natural drainage system

Solid Waste Generation:

229.5 Kg/day (@ 425g/ person) of solid waste will be generated from the proposed building. The waste is proposed to be segregated right at the site in separate bins so that biodegradable and non-biodegradable wastes are separated. Recyclable materials from non-biodegradable waste will be disposed by selling the same to the scrap dealers. The remaining inert waste along with biodegradable waste is proposed to be disposed off through the Municipal Solid Waste Department of the Municipal Corporation of Greater Mumbai.

Energy:

Total Connected Load : 5015.69 KW (for 108 Flats, Common Services and Residential Parking lots). Max Demand = 2690.54 KW

2 DG sets of 1010 KVA each will be provided for Residential Building as follows:

- 1 D.G set for common area lighting, Lift lobby, entrance lobby, external lighting and other common services like Fire Fighting services, lift, and water pump.
- 1 D.G set for emergency light and fan provision in each flat.

In addition 1 D.G set of 200 KVA DG Set to be provided for the Public Parking Lot.

Rakher -2-

Energy Conservation:

- Energy efficient fluorescent LED Tube Lights & CFL lamps are proposed whereby approx. 30% more light output is likely to be achieved for the same watts consumed and therefore reducing the power consumption and thereby reducing the need to provide more fixtures and wiring.
- All fluorescent light fixtures are planned with electronic chokes, to provide less wattage-loss, compared to electromagnetic chokes, resulting in superior operating power factor and to improve the life of the fluorescent lamps.
- The UPS is proposed with high input power factor (close to unity) so that input KVA is restricted.
- UPS system is proposed with harmonic distortion restricted to less than 5% compared to far greater than 10% in many conventional UPS systems.
- Bus bars in all distribution panels are specified as copper bus bars to reduce losses and improve reliability.
- Copper conductor cables will be specified for sizes of 16 Sq.m and below, this will reduce losses and improve reliability. All cables will be de-rated to avoid heating during use to indirectly reduce losses and improve reliability.
- Variable frequency drives will be incorporated on motor feeders accordingly to viability, which will save considerable energy.
- Power factor of the complete electrical system will be maintained close to unity. This will reduce electrical power distribution losses.
- An APFC relay based on thyristor switching will be proposed to effect the power factor correction / improvement within a few cycles of deviation from the setting & also to reduce inrush currents.
- Solar operated pole lights will be proposed to power pathway lights at a few strategic locations.
- Presence sensors & daylight sensors will be provided where ever feasible. If not possible centralized control point is provided from which security or using Daily timer switching of light is scheduled to optimum level.
- Water Pumps are planned to be integrated with level controllers to minimized water loss due to over flow

Green Belt Development: Total R.G Area Provided - 3,573.50 Sq. mts

Area of R.G (Additional) on Ground - 1,930.50

35 nos. of trees are existing at the site, and all the trees are proposed to be retained. In addition 183 nos. of trees are proposed to be planted to improve the environment in the site. On completion of the project 218 nos. of trees are planned on site as required under the MCGM norms.

Traffic Management: The Car parking for Residential Wing proposed is 279 nos.

Built up Area for Car Park for Residential Wing - 10,845.90 sq.mts

Environmental Management Plan:

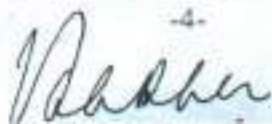
Construction Phase: Total capital cost for EMP shall ₹ 0.50 Lac Lakhs and O & M for EMP shall be ₹ 47.00 Lac lakhs;

Operation Phase : Total capital cost for EMP shall ₹ 11.0 Lac Lakhs and O & M for EMP shall be ₹ 7.00 Lac lakhs

3. The proposal has been considered by SEIAA in its 36th meeting & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions :-



- (i) This environmental clearance is issued subject to land use verification. Local authority / planning authority should ensure this with request to Rules, Regulations, Notifications, Government Resolutions, Circulars, etc. issued if any. This environmental clearance issued with respect to the environmental consideration and it does not mean that State Level Impact Assessment Authority (SEIAA) approved the proposed land use.
- (ii) The proposed height of the building requires NOC from High Rise Committee (HRC). If there is any change in the plans suggested by HRC, Project proponent should approach SEIAA with corrected building plans.
- (iii) Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.
- (iv) The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. ULB should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
- (v) "Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
- (vi) All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.
- (vii) Provision shall be made for the housing of construction labour within the site with all necessary infrastructure and facilities such as fuel for cooking, mobile toilets, mobile STP, safe drinking water, medical health care, crèche and First Aid Room etc.
- (viii) Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
- (ix) The solid waste generated should be properly collected and segregated. dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material
- (x) Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
- (xi) Arrangement shall be made that waste water and storm water do not get mixed.
- (xii) All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- (xiii) Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- (xiv) Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
- (xv) Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
- (xvi) Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.



- (xvii) Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.
- (xviii) Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
- (xix) The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- (xx) The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.
- (xxi) Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- (xxii) Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- (xxiii) Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).
- (xxiv) Ready mixed concrete must be used in building construction.
- (xxv) The approval of competent authority shall be obtained for structural safety of the buildings due to any possible earthquake, adequacy of fire fighting equipments etc. as per National Building Code including measures from lighting.
- (xxvi) Storm water control and its re-use as per CGWB and BIS standards for various applications.
- (xxvii) Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
- (xxviii) The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- (xxix) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the Ministry before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Treatment of 100% gray water by decentralized treatment should be done. Discharge of unused treated affluent shall conform to the norms and standards of the Maharashtra Pollution Control Board. Necessary measures should be made to mitigate the odour problem from STP.
- (xxx) Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
- (xxxi) Permission to draw ground water shall be obtained from the competent Authority prior to construction/operation of the project.
- (xxxii) Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.
- (xxxiii) Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.



- (xxxiv) Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.
- (xxxv) Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement
- (xxxvi) Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non conventional energy source as source of energy.
- (xxxvii) Diesel power generating sets proposed as source of back up power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- (xxxviii) Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.
- (xxxix) Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
- xl) Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspirational for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement
- xli) The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation
- xlii) Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.
- xliii) Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
- xliv) Six monthly monitoring reports should be submitted to the Department and MPCB.
- xlv) A complete set of all the documents submitted to Department should be forwarded to the MPCB
- xlvi) In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
- xlvii) No land development / construction work preliminary or otherwise relating to the project shall be taken up without obtaining due clearance from respective authorities.
- xlviii) A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
- xlix) Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.

Radhika

- (i) The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at <http://envis.maharashtra.gov.in>.
 - (ii) Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
 - (iii) A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
 - (iii) The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO₂, NO_x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
 - (liv) The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
 - (lv) The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
 5. This environmental clearance is issued as per EIA Notification, 2006. If any part of the plot is affected by CRZ then project proponent should obtain NOC from MCZMA as per FSI applicability. If there is change in building plan accordingly, project proponent should approach SEIAA with corrected plans.
 6. In case of submission of false document and non compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environmental Clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
 7. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.



8. **Validity of Environment Clearance:** The environmental clearance accorded shall be valid for a period of 5 years.
9. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.
10. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.
11. Any appeal against this environmental clearance shall lie with the National Green Tribunal, Van Vigyan Bhawan, Sec- 5, R.K. Puram, New Dehli - 110 022, if preferred, within 60 days as prescribed under Section 35 of the National Green Tribunal Act, 2010.



(Valsa R Nair Singh)
Secretary, Environment
department & MS, SEIAA

Copy to:

1. Shri. Ashok Basak, IAS (Retd.), Chairman, SEIAA, 502, Charleville, 'A' Road, Church gate, Mumbai- 400 020, Maharashtra.
2. Shri. P.M.A Hakeem, IAS (Retd.), Chairman, SEAC, 'Jugnu' Kottaram Road, Calicut- 673 006 Kerla.
3. Additional Secretary, MOEF, 'Paryavaran Bhawan' CGO Complex, Lodhi Road, New Delhi - 110510
4. Member Secretary, Maharashtra Pollution Control Board, with request to display a copy of the clearance.
5. The CCF, Regional Office, Ministry of Environment and Forest (Regional Office, Western Region, Kendriya Paryavaran Bhavan, Link Road No- 3, E-5, Ravi-Shankar Nagar, Bhopal- 462 016). (MP).
6. Regional Office, MPCB, Mumbai.
7. Collector, Mumbai.
8. Commissioner, Brihan Mumbai Municipal Corporation.
9. IA- Division, Monitoring Cell, MoEF, Paryavaran Bhavan, CGO Complex, Lodhi Road, New Delhi-110003.
10. Director (TC-1), Dy. Secretary (TC-2), Scientist-1, Environment Department.
11. Select file (TC-3).

Government of Maharashtra

SFAC-2010-CR-323 TC-2
 Environment department,
 Room No. 217, 2nd floor,
 Mantralaya Annex,
 Mumbai-400 032
 Date: 11th June, 2014

To,
 M/s K. Raheja Pvt. Ltd.
 Plot. No. C-30, Block "G"
 Next to Bank of Baroda,
 BKC, Bandra (E),
 Mumbai-400 051

Subject: - Amendment in Proposed Residential building and Multi storied Public Parking Lot Building at plot bearing C.S. No. 21629 of Lower Parcel Division, Plot No. 249 & 249A of worli, Mumbai by M/s. K. Raheja Pvt. Ltd

Reference- Even number environment clearance letter dated 27th July, 2011

Sir,

This has reference to your communication on the above mentioned subject.

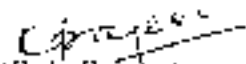
2. It is noted that, the proposal earlier considered by SFAC in its 32nd, 37th & 40th meetings and recommended to SFIAA. SFIAA in its 36th meeting decided to accord grant of EC to the project. Accordingly EC has been issued to the project vide letter no SFAC-2010-CR-323-TC-2 dated 27th July, 2011. The amendment proposed in the EC letter is due to aggregate construction area of the project proposed to increase by 8.2 %. This is on account of provision of the mandatory requirements of the authorities relating to the structural requirements, services floors, fire check floors. Considering the marginal changes and minimal impact on environment SFIAA in its 70th meeting decided to grant the amendment of EC as below-

	Environmental Clearance granted on 27 th July 2011	Now proposed		Remarks
	Residential Wing	MPPI.	Residential Wing MPPL	

Plot area	14638.91 Sq. Mts		14638.91 Sq. Mts		No change
Permissible Built Up Area	29,435.93 Sq. Mts.	-	30,596.33 Sq. Mts	-	a) Permissible Built Up area has increased due FSI benefit of Amenity area being handed over to MCGM. b) FSI area has increased due to Fungible FSI
Fungible Area		-	10,706.51 Sq. Mts	-	
Total FSI Area approved	29,435.93 Sq. Mts	-	41,296.54 Sq. Mts	-	
Non- FSI Area	55,403.74 Sq. Mts	-	55,403.12 Sq. Mts	-	Non-FSI area reduced.
Construction Area	86,839.67 Sq. Mts	33,289.50 Sq. Mts	96,699.66 Sq. Mts	33,119.24 Sq. Mts	9,859.99 Sq. Mts of Construction area has increased due to requirement of structural services floors and fire check floors
Building Configuration	0 Parking Floors - Stilts - 33 Upper Floors.	2B + Ground + 7 Upper Floors	8 Parking Floors: that is, 2B + G - 5 parking floors + stilts - 5 structural services floors + 2 fire check floors + 37 Habitable floors. The 5th Parking Floor above the Public Parking Lot will be for Residential Parking.	2B + G - 4 parking floors.	Residential Wing: a) 2 Basements added to adjust services and parking due to change in MPPL Policy b) 3 Parking Floors have been reduced due to revised DCR. c) 4 habitable floors are added due to Fungible FSI. Municipal Public Parking Lot: 3 Parking Floors are reduced as per MPPL Policy, DCR - 33(24).
Tenements	108 Nos.	-	102 Nos		6 Nos. of Flats are reduced due to location of refuge floors, services and revised DCR.

Car Parks Required	270	-	255 Nos.	-	15 Nos. are reduced as per parking requirement for reduced tenements.
Car Parks Proposed	270	775 (inclusive of 21 Nos. of transport vehicles).	319 Nos.	805 Nos (including 9 transport vehicles).	Parking in Residential Wing increased as permitted under DCR.
Height of the proposed building.	The Environmental Clearance was granted for 195.0 Mts height	MPPL height granted was upto 28.95 Mts	The height now proposed is 188.10M	MPPL height now proposed for Ground + 5 Upper Parking Floors with Podium of 24.0 Mts height	Floor Height revised as per new DCR (3.9 Mts instead of 4.2 Mts)

Terms and conditions stipulated in even number environment clearance letter dated 22nd July, 2011 remains the same


 R.A. Rajeev
 Principal Secretary,
 Environment department &
 MS. SEIAA

Copy to:

1. Shri R. C. Joshi, IAS (Retd.), Chairman, SEIAA, Flat No. 26, Belvedere, Bhulebhai Desai road, Breach cady, Mumbai-400026.
2. Shri. Ravi Bhushan Budhiraja, Chairman, SEAC-1, 5-Srathi, Dilwara Apartment, Cooperage, M.K.Road, Mumbai-400021
3. Additional Secretary, MOEF, 'Paryavaran Bhawan' CCO Complex, Lodhi Road, New Delhi - 110003
4. Member Secretary, Maharashtra Pollution Control Board, with request to display a copy of the clearance.

5. The CCF, Regional Office, Ministry of Environment and Forest (Regional Office, Western Region, Kendriya Paryavaran Bhavan, Link Road No. 3, E-5, Ravi-Shankar Nagar, Bhopal- 462 016), (MP).
6. Regional Office, MPCB, Mumbai
7. Collector, Mumbai
8. Commissioner, Municipal Corporation Greater Mumbai (MCGM)
9. IA- Division, Monitoring Cell, MoEF, Paryavaran Bhavan, CGO Complex, Lodhi Road, New Delhi-110003.

10. Select file (IC-3)

(IC uploaded on 12 June 2014)



SEAC-2016/C.R.424/TC-1 Environment department,
Room No. 217, 2nd floor,
Mantralaya, Annexe,
Mumbai- 400 032.
Date: May 12, 2017

To,
Amendment in EC for Proposed Residential tower building and Multi Storied Public Parking Lot building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A 248B Of Worli estate scheme no 52, Worli Mumbai
at Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A 248B Of Worli estate scheme no 52, Worli Mumbai

Subject: Environment Clearance for Application for Amendment in Environmental clearance for Proposed Residential tower building and Multi Storied Public Parking Lot building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A 248B Of Worli estate scheme no 52, Worli Mumbai

Sir,

This has reference to your communication on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee-II, Maharashtra in its th meeting and recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its Meeting Number 111th meetings.

2. It is noted that the proposal is considered by SEAC-II under screening category B1 as per EIA Notification 2006.

Brief Information of the project submitted by you is as below :-

1.Name of Project	Amendment in EC for Proposed Residential tower building and Multi Storied Public Parking Lot building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A 248B Of Worli estate scheme no 52, Worli Mumbai
2.Type of institution	Private
3.Name of Project Proponent	M/s K Raheja Pvt. Ltd
4.Name of Consultant	M/s, Enviro Analysts & Engineers Pvt. Ltd.
5.Type of project	Residential tower building plus public parking lot Project
6.New project/expansion in existing project/modernization/diversification in existing project	Amendment in EC for Proposed Residential tower building and Multi Storied Public Parking Lot building
7.If expansion/diversification, whether environmental clearance has been obtained for existing project	EC has been received vide letter no : SEAC -2010/CR-323/TC-2 dated 11th June. 2014.
8.Location of the project	Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A 248B Of Worli estate scheme no 52, Worli Mumbai
9.Taluka	mumbai
10.Village	worli
11.Area of the project	MCGM
12.IOD/IOA/Concession/Plan Approval Number	concession document IOD/IOA/Concession/Plan Approval Number: EB/1105/GS/A Approved Built-up Area: 55676.00
13.Note on the initiated work (If applicable)	The PPL building has been constructed on site. As regards Residential building the work up to 20th habitable floors is completed. Total 1,13,496.53 Sq. M. is constructed on site
14.LOI / NOC / IOD from MHADA/ Other approvals (If applicable)	not applicable
15.Total Plot Area (sq. m.)	20117.24 sqm
16.Deductions	647.93 sqm
17.Net Plot area	19469.31 sqm
18.Proposed Built-up Area (FSI & Non-FSI)	FSI area (sq. m.): 54138.85 Non FSI area (sq. m.): 105600.37 Total BUA area (sq. m.): 159739.22

SEIAA Meeting No: Meeting Number 111 Meeting Date: May 12, 2017 (SEIAA-STATEMENT-000000011)
SEIAA-MINUTES-0000000179
SEIAA-EC-0000000102

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Shri Satish.M.Gavai (Member Secretary SEIAA)

19.Total ground coverage (m2)	14448.17
20.Ground-coverage Percentage (%) (Note: Percentage of plot not open to sky)	74.21%
21.Estimated cost of the project	8829800000



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**Shri Satish.M.Gavai (Member
Secretary SEIAA)**

22. Production Details

Serial Number	Product	Existing (MT/M)	Proposed (MT/M)	Total (MT/M)
1	Not applicable	Not applicable	Not applicable	Not applicable

23. Total Water Requirement

Dry season:	Source of water	MCGM
	Fresh water (CMD):	Residential -72 KLD MPPL-2 KLD
	Recycled water - Flushing (CMD):	Residential -36 KLD MPPL- 3 KLD
	Recycled water - Gardening (CMD):	27 KLD
	Swimming pool make up (Cum):	cum
	Total Water Requirement (CMD) :	Residential -135 KLD MPPL- 5 KLD
	Fire fighting - Underground water tank(CMD):	400 cum
	Fire fighting - Overhead water tank(CMD):	cum
	Excess treated water	20 KLD
Wet season:	Source of water	MCGM
	Fresh water (CMD):	Residential -72 KLD MPPL-2 KLD
	Recycled water - Flushing (CMD):	Residential -36 KLD MPPL- 3 KLD
	Recycled water - Gardening (CMD):	0 KLD
	Swimming pool make up (Cum):	cum
	Total Water Requirement (CMD) :	Residential -108 KLD MPPL- 5 KLD
	Fire fighting - Underground water tank(CMD):	400 cum
	Fire fighting - Overhead water tank(CMD):	cum
	Excess treated water	105 KLD
Details of Swimming pool (If any)		

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24.Details of Total water consumed

Particulars	Consumption (CMD)			Loss (CMD)			Effluent (CMD)		
	Existing	Proposed	Total	Existing	Proposed	Total	Existing	Proposed	Total
Domestic	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

25.Rain Water Harvesting (RWH)	Level of the Ground water table:	1.5 m ? 12.0 m bgl
	Size and no of RWH tank(s) and Quantity:	Residential ? 122 KL stilt ? 57 KL
	Location of the RWH tank(s):	Ground and basement
	Quantity of recharge pits:	23
	Size of recharge pits :	1.5 m
	Budgetary allocation (Capital cost) :	Rs 27 Lakhs
	Budgetary allocation (O & M cost) :	Rs 1.35 Lakhs /Annum
Details of UGT tanks if any :	Domestic Water Tank Residential -90 KL MPPL-5 KL Flushing Water Tank Residential -36 KL MPPL-5 KL Fire Water Tank Residential -300 KL MPPL- 100 KL Rain Water Harvesting Tank Residential ? 122 KL stilt ? 57 KL Location of tank Basement /Ground for RWH	

26.Storm water drainage	Natural water drainage pattern:	The SWD has been proposed as per the SWD remarks granted by MCGM under no Dy.Ch.E/SWD/249 Dated 21.07.2012
	Quantity of storm water:	The SWD has been proposed as per the SWD remarks granted by MCGM under no Dy.Ch.E/SWD/249 Dated 21.07.2012
	Size of SWD:	The SWD has been proposed as per the SWD remarks granted by MCGM under no Dy.Ch.E/SWD/249 Dated 21.07.2012

27.Sewage and Waste water	Sewage generation in KLD:	97 KLD
	STP technology:	Residential ?SBR MPPL- MBBR
	Capacity of STP (CMD):	Residential ?125 KL MPPL- 10 KL
	Location & area of the STP:	Basement & ground
	Budgetary allocation (Capital cost):	Rs 65 Lakhs
	Budgetary allocation (O & M cost):	Rs 8 lakhs /annum



28.Solid waste Management

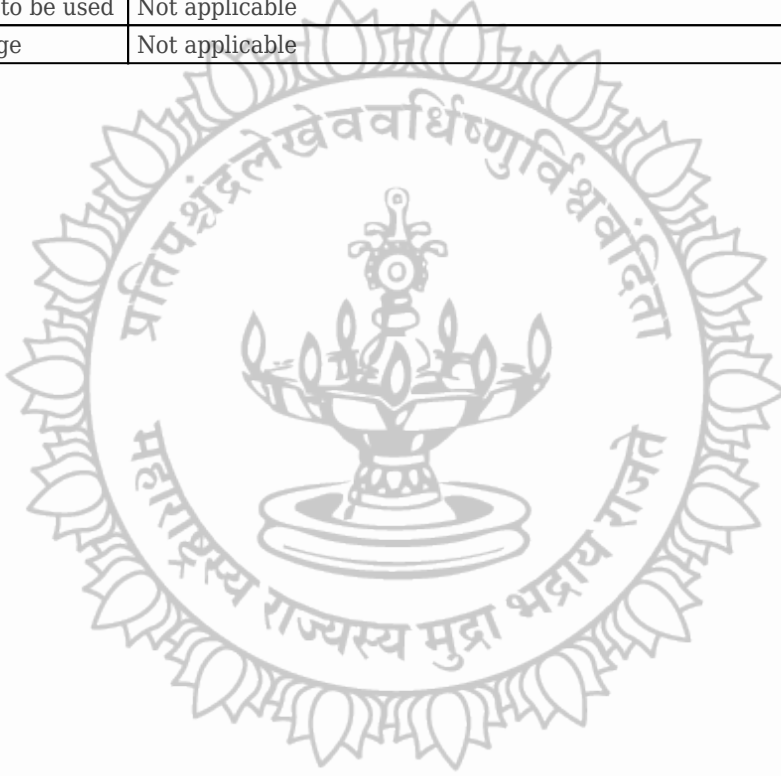
Waste generation in the Pre Construction and Construction phase:	Waste generation:	Empty cement bags- 200 nos, Steel= 3 ton , Metal = 200 sqft, Aerocan lightweight block= 250 nos, sand =200 sqft, Tiles/Marble & granite= 50 sqft, Aluminum windows =5 kg
	Disposal of the construction waste debris:	Steel cut pieces shall be used as spacers and chairs in the structure and wastage of steel (balance non usable steel of odd lengths) is sent for recycling,Wastage of sand will be used for bedding for flooring purpose. They shall also be used for backfilling and filler material for leveling of internal roads and pavements
Waste generation in the operation Phase:	Dry waste:	160 Kg/day
	Wet waste:	240 Kg/day
	Hazardous waste:	not applicable
	Biomedical waste (If applicable):	not applicable
	STP Sludge (Dry sludge):	3 Kg/day
	Others if any:	not applicable
Mode of Disposal of waste:	Dry waste:	To be hand over to Local Recyclers for recycling
	Wet waste:	To be processed in the OWC. Manure obtained shall be used for landscaping / Gardening, Excess manure shall be sold to nearby end users.
	Hazardous waste:	Not Applicable
	Biomedical waste (If applicable):	Not Applicable
	STP Sludge (Dry sludge):	To be used as a manure
	Others if any:	Not Applicable
Area requirement:	Location(s):	ground
	Area for the storage of waste & other material:	110 sqm
	Area for machinery:	2.03 m x 1.37m x 1.65m i.e 2.5Sq.m
Budgetary allocation (Capital cost and O&M cost):	Capital cost:	Rs 12 Lakhs
	O & M cost:	Rs 2.4 lakhs /annum

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29.Effluent Charecterestics

Serial Number	Parameters	Unit	Inlet Effluent Charecterestics	Outlet Effluent Charecterestics	Effluent discharge standards (MPCB)
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
Amount of effluent generation (CMD):		Not applicable			
Capacity of the ETP:		Not applicable			
Amount of treated effluent recycled :		Not applicable			
Amount of water send to the CETP:		Not applicable			
Membership of CETP (if require):		Not applicable			
Note on ETP technology to be used		Not applicable			
Disposal of the ETP sludge		Not applicable			



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30.Hazardous Waste Details							
Serial Number	Description	Cat	UOM	Existing	Proposed	Total	Method of Disposal
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
31.Stacks emission Details							
Serial Number	Section & units	Fuel Used with Quantity	Stack No.	Height from ground level (m)	Internal diameter (m)	Temp. of Exhaust Gases	
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	
32.Details of Fuel to be used							
Serial Number	Type of Fuel	Existing	Proposed	Total			
1	Not applicable	Not applicable	Not applicable	Not applicable			
33.Source of Fuel		Not applicable					
34.Mode of Transportation of fuel to site		Not applicable					
35.Energy							
Power requirement:	Source of power supply :	TaTa/Reliance					
	During Construction Phase: (Demand Load)	80 kW					
	DG set as Power back-up during construction phase	100 kVA					
	During Operation phase (Connected load):	11169 Kw					
	During Operation phase (Demand load):	4825 Kw					
	Transformer:	Residential ?1 X 2000 kVA MPPL- 500 kVA					
	DG set as Power back-up during operation phase:	Residential ?1 X 2000 kVA MPPL- 500 kVA					
	Fuel used:	HSD					
	Details of high tension line passing through the plot if any:	Not applicable					
Energy saving by non-conventional method:							
<p>? Design with low lighting power density of 0.8 w/sft or less in common areas by using LED?S for general lighting with occupancy sensors & timer based controls</p> <p>? Design with low lighting power density of 0.2 watts/sft or less in the parking areas with T5 using energy efficient 5 star rated equipments</p> <p>External Light Design with low lighting power density of 0.2 watts/sft or less in the building exterior areas with use of LED?S</p> <p>Use of efficient VRF or equivalent system with filters like MER</p>							
36.Detail calculations & % of saving:							
Serial Number	Energy Conservation Measures			Saving %			
1	Total Energy saving%			26%			
2	% saving through renewable energy w.r.t total saving			10%			
37.Details of pollution control Systems							
Source	Existing pollution control system			Proposed to be installed			



Not applicable	Not applicable	Not applicable
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Budgetary allocation (Capital cost and O&M cost):	Capital cost:	Rs. 90 lakhs
	O & M cost:	Rs. 4.5 lakhs

38.Environmental Management plan Budgetary Allocation

a) Construction phase (with Break-up):

Serial Number	Attributes	Parameter	Total Cost per annum (Rs. In Lacs)
1	Air Environment	Water Sprinkling, Green Belt Development, Covered storage area	6
2	Noise Environment	Noise Baricades and Green Belt Developments	4
3	Water Environment	Modular STP , Drainage with sedimentation tanks	5
4	Good Health Practices	Site Sanitation & Health Care	4
5	Environment Monitoring	Air,water,noise soil monitoring during construction phase	3

b) Operation Phase (with Break-up):

Serial Number	Component	Description	Capital cost Rs. In Lacs	Operational and Maintenance cost (Rs. in Lacs/yr)
1	Solid waste management	OWC	12	2.4
2	waste water management	STP	65	8
3	electrical savings	Energy savings	90	4.5
4	RHW	RWH system	27	1.35
5	RG area	Landscaping	105	21
6	disaster management plan	DMP	650	39

39.Storage of chemicals (inflammable/explosive/hazardous/toxic substances)

Description	Status	Location	Storage Capacity in MT	Maximum Quantity of Storage at any point of time in MT	Consumption / Month in MT	Source of Supply	Means of transportation
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

40.Any Other Information

No Information Available



	CRZ/ RRZ clearance obtain, if any:	Not applicable
	Distance from Protected Areas / Critically Polluted areas / Eco-sensitive areas/ inter-State boundaries	Not applicable
	Category as per schedule of EIA Notification sheet	B1
	Court cases pending if any	Not applicable
	Other Relevant Informations	Not applicable
	Have you previously submitted Application online on MOEF Website.	Yes
	Date of online submission	15-03-2016

3. The proposal has been considered by SEIAA in its Meeting Number 111th meeting & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions:

Specific Conditions:

General Conditions:

I	E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
II	The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
III	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily imply that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
IV	PP has to abide by the conditions stipulated by SEAC& SEIAA.
V	The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
VI	If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
VII	All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.
VIII	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
IX	The solid waste generated should be properly collected and segregated. dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material.
X	Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
XI	Arrangement shall be made that waste water and storm water do not get mixed.
XII	All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
XIII	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
XIV	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
XV	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
XVI	Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.

**SEIAA Meeting No: Meeting Number 111 Meeting Date: May 12, 2017 (SEIAA-STATEMENT-000000011)
SEIAA-MINUTES-0000000179
SEIAA-EC-0000000102**



Shri Satish.M.Gavai (Member Secretary SEIAA)

XVII	Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
XVIII	The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
XIX	The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.
XX	Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
XXI	Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
XXII	Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).
XXIII	Ready mixed concrete must be used in building construction.
XXIV	Storm water control and its re-use as per CGWB and BIS standards for various applications.
XXV	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
XXVI	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
XXVII	The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP.
XXVIII	Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
XXIX	Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.
XXX	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
XXXI	Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.
XXXII	Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.
XXXIII	Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.
XXXIV	Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
XXXV	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.
XXXVI	Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
XXXVII	Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspiration for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement.
XXXVIII	The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.
XXXIX	Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.
XL	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
XLI	Six monthly monitoring reports should be submitted to the Regional office MoEF, Bhopal with copy to this department and MPCB.



XLII	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.
XLIII	Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
XLIV	Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
XLV	A complete set of all the documents submitted to Department should be forwarded to the Local authority and MPCB.
XLVI	In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
XLVII	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
XLVIII	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.
XLIX	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://ec.maharashtra.gov.in .
L	Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
LI	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
LII	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO ₂ , NO _x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
LIII	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
LIV	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.

Government of Maharashtra



4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.

5. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environmental Clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.

6. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.

7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, and amendments by MoEF&CC Notification dated 29th April, 2015.

8. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.

9. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

10. Any appeal against this environmental clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D-, Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.



Shri Satish.M.Gavai (Member Secretary SEIAA)

Copy to:

1. SHRI ANAND. B. KULKARNI, CHAIRMAN-SEIAA
2. SHRI UMAKANT DANGAT, CHAIRMAN-SEAC-I
3. SHRI JOHNY JOSEPH, CHAIRMAN-SEAC-II
4. SHRI ANIL .D. KALE. CHAIRMAN SEAC-III
5. SECRETARY MOEF & CC
6. IA- DIVISION MOEF & CC
7. MEMBER SECRETARY MAHARASHTRA POLLUTION CONTROL BOARD MUMBAI
8. REGIONAL OFFICE MOEF & CC NAGPUR
9. MUNICIPAL COMMISSIONER MUMBAI
10. MUNICIPAL COMMISSIONER NAVI MUMBAI
11. REGIONAL OFFICE MPCB MUMBAI
12. REGIONAL OFFICE MPCB NAVI MUMBAI
13. REGIONAL OFFICE MIDC ANDHERI
14. REGIONAL OFFICE MIDC KOPER KHAIRANE NAVI MUMBAI
15. MAHARASHTRA STATE ELECTRICITY DISTRIBUTION CO. LTD
16. COLLECTOR OFFICE MUMBAI
17. COLLECTOR OFFICE MUMBAI SUB-URBAN





Environment department,
Room No. 217, 2nd floor,
Mantralaya, Annexe,
Mumbai- 400 032.
Date: August 3, 2019

To,
M/s K Raheja Pvt. Ltd
at Plot bearing CS No 2/1629 & 1A/1629 of Lower Parel division, Plot No 249 & 249A, 248B Of Worli estate scheme no 52, Worli Mumbai

Subject: Environment Clearance for Expansion of Proposed Residential tower building, Multi Storied Public Parking Lot building, Commercial Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no 52, Worli Mumbai by M/s K Raheja Pvt. Ltd

Sir,

This has reference to your communication on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee-II, Maharashtra in its 102nd meeting and recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its 172nd meetings.


2. It is noted that the proposal is considered by SEAC-II under screening category 8(b), category B1 as per EIA Notification 2006.

Brief Information of the project submitted by you is as below :-

1.Name of Project	Expansion of Proposed Residential tower building, Multi Storied Public Parking Lot building, Commercial Building & Residential Building
2.Type of institution	Private
3.Name of Project Proponent	M/s K Raheja Pvt. Ltd
4.Name of Consultant	M/s. Enviro Analysts & Engineers Pvt. Ltd
5.Type of project	Expansion of Proposed Residential tower building, Multi Storied Public Parking Lot building, Commercial Building & Residential Building
6.New project/expansion in existing project/modernization/diversification in existing project	Expansion in Existing Project
7.If expansion/diversification, whether environmental clearance has been obtained for existing project	EC has been Received dated 12th May 2017 (SEIAA-EC-0000000102) for construction area 159739.22 sqm
8.Location of the project	Plot bearing CS No 2/1629 & 1A/1629 of Lower Parel division, Plot No 249 & 249A, 248B Of Worli estate scheme no 52, Worli Mumbai
9.Taluka	Mumbai
10.Village	Worli
Correspondence Name:	Mr. Nikhil Mehta
Room Number:	Architect Department
Floor:	6th Floor
Building Name:	Raheja Tower
Road/Street Name:	Plot-C-30, Block -G
Locality:	Bandra Kurla Complex , Bandra (East)
City:	Mumbai 400051

SEIAA Meeting No: 172 Meeting Date: July 25, 2019 (SEIAA-STATEMENT-0000001641)
SEIAA-MINUTES-0000002367
SEIAA-EC-0000001926

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Shri. Anil Diggikar (Member Secretary SEIAA)

11. Whether in Corporation / Municipal / other area	Municipal Corporation of Greater Mumbai (M.C.G.M.)
12. IOD/IOA/Concession/Plan Approval Number	Concession Received from MCGM
	IOD/IOA/Concession/Plan Approval Number: EB/1105/GS/A
	Approved Built-up Area: 65714.20
13. Note on the initiated work (If applicable)	As per architect certificate dated 04.10.2018 Total 1,39,961.84 sqm is constructed on site as per EC received dated 12th May 2017 (SEIAA- EC-0000000102) for construction area 159739.22 sqm
14. LOI / NOC / IOD from MHADA/ Other approvals (If applicable)	HRC NOC received , CFO NOC received , I to R received , HE NOC received , SWD NOC received
15. Total Plot Area (sq. m.)	20117.24 sqm
16. Deductions	1449.85 sqm (Road set back - 647.93 sqm + Amenity open spaces - 801.92 sqm)
17. Net Plot area	18667.39 sqm.
18 (a). Proposed Built-up Area (FSI & Non-FSI)	FSI area (sq. m.): 65,714.20
	Non FSI area (sq. m.): 1,13,052.83
	Total BUA area (sq. m.): 178767.03
18 (b). Approved Built up area as per DCR	Approved FSI area (sq. m.): 65,714.20
	Approved Non FSI area (sq. m.): 1,13,052.83
	Date of Approval: 27-08-2018
19. Total ground coverage (m2)	14,671 sqm
20. Ground-coverage Percentage (%) (Note: Percentage of plot not open to sky)	78.59%
21. Estimated cost of the project	10190000000

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22. Production Details

Serial Number	Product	Existing (MT/M)	Proposed (MT/M)	Total (MT/M)
1	Not applicable	Not applicable	Not applicable	Not applicable

23. Total Water Requirement

Dry season:	Source of water	MCGM/STP recycled water
	Fresh water (CMD):	Residential -78 KLD , MPPL-2 KLD, Commercial wing A- 8 KLD, Residential wing B- 16 KLD Total - 104 KLD
	Recycled water - Flushing (CMD):	Residential -39 KLD , MPPL-3 KLD, Commercial wing A- 10 KLD, Residential wing B- 8 KLD Total- 60 KLD
	Recycled water - Gardening (CMD):	30 KLD
	Swimming pool make up (Cum):	25 KLD
	Total Water Requirement (CMD) :	194 KLD
	Fire fighting - Underground water tank(CMD):	Residential - 300 Cum, MPPL-100 cum, Wing A & B-200 cum
	Fire fighting - Overhead water tank(CMD):	Residential - 210 cum, MPPL- 30 cum, Commercial wing A- 30 cum, Residential wing B- 30 cum
	Excess treated water	48 KLD
Wet season:	Source of water	MCGM/STP recycled water/RWH
	Fresh water (CMD):	Residential -78 KLD , MPPL-2 KLD, Commercial wing A- 8 KLD, Residential wing B- 16 KLD Total - 104 KLD
	Recycled water - Flushing (CMD):	Residential -39 KLD , MPPL-3 KLD, Commercial wing A- 10 KLD, Residential wing B- 8 KLD Total- 60 KLD
	Recycled water - Gardening (CMD):	0
	Swimming pool make up (Cum):	25 KLD
	Total Water Requirement (CMD) :	164 KLD
	Fire fighting - Underground water tank(CMD):	Residential - 300 Cum, MPPL-100 cum, Wing A & B-200 cum
	Fire fighting - Overhead water tank(CMD):	Residential - 210 cum, MPPL- 30 cum, Commercial wing A- 30 cum, Residential wing B- 30 cum
	Excess treated water	78 KLD
Details of Swimming pool (If any)	1 swimming pool of dimensions-24.75 m x 37.12m x 1.5 m	

24.Details of Total water consumed

Particulars	Consumption (CMD)			Loss (CMD)			Effluent (CMD)		
	Existing	Proposed	Total	Existing	Proposed	Total	Existing	Proposed	Total
Domestic	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

25.Rain Water Harvesting (RWH)	Level of the Ground water table:	1.5 m - 12.0 m bgl
	Size and no of RWH tank(s) and Quantity:	Residential - 110 cum, Commercial wing A- 50 ,Residential -15 cum Total - 175 cum
	Location of the RWH tank(s):	Basement
	Quantity of recharge pits:	23 nos. of recharge pits with bore well along with Grease cum distilling chamber
	Size of recharge pits :	1.5 m diameter x 6.00 m depth
	Budgetary allocation (Capital cost) :	Rs 15.00 Lakhs
	Budgetary allocation (O & M cost) :	Rs 0.75 Lakhs /Annum
	Details of UGT tanks if any :	Fire tank ,Domestic tank, Flushing Tank, RWH Tank all located in the Basement

26.Storm water drainage	Natural water drainage pattern:	The storm water collected through the storm water drains of adequate capacity will be discharged in to the municipal storm line along the DP existing roads which is towards north
	Quantity of storm water:	0.39 m3/sec
	Size of SWD:	300 mm RCC pipe

27.Sewage and Waste water	Sewage generation in KLD:	Residential - 110 KLD , MPPL-4 KLD, Commercial wing A- 17 KLD, Residential wing B- 23 KLD Total - 154 KLD
	STP technology:	Residential -SBR, MPPL- MBBR, Commercial wing A & Residential wing B- MBBR
	Capacity of STP (CMD):	Residential -150 KLD , MPPL- 10 KLD, Commercial wing A & Residential wing B - 45 KLD
	Location & area of the STP:	Basement
	Budgetary allocation (Capital cost):	Rs 90.00 Lakhs
	Budgetary allocation (O & M cost):	Rs 15.00 lakhs /annum

28.Solid waste Management

Waste generation in the Pre Construction and Construction phase:	Waste generation:	Excavated material, Cement Bags, Paint container (@20L), Scrap metal, Broken Tiles etc
	Disposal of the construction waste debris:	Excavated material Shall be used on site for backfilling and for Internal roads. Excess shall be disposed to authorized landfills, Cement Bags Empty bags to be handed over to recycler, Paint container (@20L) To be handed over to recycler. Scrap metal generated Entirely to be Sold for recycling, Broken Tiles Waste tiles to be used for skirting. Broken pieces to be used for china mosaic waterproofing of terraces
Waste generation in the operation Phase:	Dry waste:	378 Kg/day
	Wet waste:	432 Kg/day
	Hazardous waste:	NA
	Biomedical waste (If applicable):	NA
	STP Sludge (Dry sludge):	8 Kg/day
	Others if any:	E- waste to be handed over to MPCB authorized vendors
Mode of Disposal of waste:	Dry waste:	To be hand over to Local Recyclers for recycling
	Wet waste:	To be processed in the OWC. Manure obtained shall be used for landscaping / Gardening, Excess manure shall be sold to nearby end users.
	Hazardous waste:	Not Applicable
	Biomedical waste (If applicable):	Not Applicable
	STP Sludge (Dry sludge):	To be used as a manure
	Others if any:	E- waste to be handed over to MPCB authorized vendors
Area requirement:	Location(s):	Ground floor
	Area for the storage of waste & other material:	110 sqm
	Area for machinery:	5 sqm for each machine
Budgetary allocation (Capital cost and O&M cost):	Capital cost:	Rs 15.00 Lakhs
	O & M cost:	Rs 3.00 lakhs /annum

29. Effluent Characteristics

Serial Number	Parameters	Unit	Inlet Effluent Characteristics	Outlet Effluent Characteristics	Effluent discharge standards (MPCB)
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
Amount of effluent generation (CMD):		Not applicable			
Capacity of the ETP:		Not applicable			
Amount of treated effluent recycled :		Not applicable			
Amount of water send to the CETP:		Not applicable			
Membership of CETP (if require):		Not applicable			
Note on ETP technology to be used		Not applicable			
Disposal of the ETP sludge		Not applicable			



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30. Hazardous Waste Details

Serial Number	Description	Cat	UOM	Existing	Proposed	Total	Method of Disposal
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

31. Stacks emission Details

Serial Number	Section & units	Fuel Used with Quantity	Stack No.	Height from ground level (m)	Internal diameter (m)	Temp. of Exhaust Gases
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

32. Details of Fuel to be used

Serial Number	Type of Fuel	Existing	Proposed	Total
1	Not applicable	Not applicable	Not applicable	Not applicable

33. Source of Fuel: Not applicable

34. Mode of Transportation of fuel to site: Not applicable

35. Energy

Power requirement:	Source of power supply :	BEST/TATA
	During Construction Phase: (Demand Load)	400 kW
	DG set as Power back-up during construction phase	65 kVA
	During Operation phase (Connected load):	9304 kw
	During Operation phase (Demand load):	4392 kw
	Transformer:	4 X 1500 kVA
	DG set as Power back-up during operation phase:	1 x 2250 kVA & 2x 250 kVA
	Fuel used:	HSD
	Details of high tension line passing through the plot if any:	NA

Energy saving by non-conventional method:

- Design with low lighting power density of 0.8 w/sft or less in common areas by using LEDs for general lighting with occupancy sensors & timer based controls
- Design with low lighting power density of 0.2 watts/sft or less in the parking areas with T5
- using energy efficient 5 star rated equipment's
- External Light Design with low lighting power density of 0.2 watts/sft or less in the building exterior areas with use of LEDs
- Use of efficient VFD or equivalent system with filters.

36.Detail calculations & % of saving:

Serial Number	Energy Conservation Measures	Saving %
1	Overall energy savings	26%

37.Details of pollution control Systems

Source	Existing pollution control system	Proposed to be installed
Not applicable	Not applicable	Not applicable

Budgetary allocation (Capital cost and O&M cost):	Capital cost:	Rs. 120.00 lakhs
	O & M cost:	Rs. 6.00 lakhs/Annum

38.Environmental Management plan Budgetary Allocation

a) Construction phase (with Break-up):

Serial Number	Attributes	Parameter	Total Cost per annum (Rs. In Lacs)
1	Air Environment	Water Sprinkling, Green Belt Development & Covered storage area	20.00
2	Noise Environment	Noise Baricades and Green Belt	8.00
3	Water Environment	Modular STP , Drainage with sedimentation tanks	6.00
4	Land Environment	Site Sanitation	1.00
5	Environmental Monitoring	Air,water,noise soil monitoring	1.50
6	EHS	Disinfection & Health Care	3.00

b) Operation Phase (with Break-up):

Serial Number	Component	Description	Capital cost Rs. In Lacs	Operational and Maintenance cost (Rs. in Lacs/yr)
1	Solid waste management	OWC	15.00	3.00
2	waste water management	STP	90.00	15.00
3	RHW	RHW tanks and pits	15.00	0.75
4	Energy conservation	Solar and LED	120.00	6.00
5	Landscape	Greenbelt	120.00	24.00

39.Storage of chemicals (inflammable/explosive/hazardous/toxic substances)

Description	Status	Location	Storage Capacity in MT	Maximum Quantity of Storage at any point of time in MT	Consumption / Month in MT	Source of Supply	Means of transportation
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Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
40.Any Other Information							
No Information Available							



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	CRZ/ RRZ clearance obtain, if any:	Not applicable
	Distance from Protected Areas / Critically Polluted areas / Eco-sensitive areas/ inter-State boundaries	Not applicable
	Category as per schedule of EIA Notification sheet	8(b), category B1
	Court cases pending if any	NA
	Other Relevant Informations	The Occupation Permission to Public Parking Lot is granted on 07/09/2016 and same is handed over to MCGM on 06/01/2017. ToR has been received in 79th SEAC II meeting Dated 28.11.2018
	Have you previously submitted Application online on MOEF Website.	Yes
	Date of online submission	11-10-2018

3. The proposal has been considered by SEIAA in its 172nd meeting & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions:

Specific Conditions:

I	PP to submit & upload EC compliance report, as discussed in the meeting.
II	PP to submit the structural stability certificate with load calculations as per NBC.
III	PP to submit & upload HRC NoC.
IV	PP to submit & upload wind analysis, shadow analysis, traffic analysis, light and ventilation analysis and measures to reduce heat island effect.
V	PP to submit detail calculation & plan for STP, OWC.
VI	PP to provide E-waste, Plastic waste transits store.
VII	PP to submit comparative statement regarding assessment of Environment Impact as per earlier EIA, Actual and impact due to proposed expansion.
VIII	PP to submit CER as per MoEF&CC circular dated 1.5.2018 relevant to the area and people around the project.
IX	PP to also refer standard ToR published by MoEF vide order dated 10/04/15 in addition to above.
X	It is noted that representative of PP not submitted the authority letter. PP to submit the same along with copy of company resolution.
XI	It is noted that the building configuration mentioned in the architect certificate & in PPT not matching. PP to submit the detail revised dated architect certificate addressed to committee.
XII	Structural Engineer & design engineer to remain present for meeting to explain the proposal in detail.
XIII	PP to upload the copy of HRC NoC.
XIV	PP to upload the copy of revised CFO NoC (for Commercial building).
XV	Local planning authority to ensure the structural stability of building for which vertical expansion is proposed before granting CC.
XVI	PP to ensure that minimum 40% area of proposed STP tanks should be open to sky for adequate ventilation.
XVII	The PP to get NOC from competent authority with reference to Thane creek flamingo sanctuary if the project site falls within 10 Km radius from the said sanctuary boundary. The planning authority to ensure fulfilment of this condition before granting CC.
XVIII	PP to submit CER prescribed by MoEF&CC circular dated 1.5.2018 relevant to the area and people around the project or Environment Department may direct PP to undertake CER work in identified area, as identified by Environment Department.

XIX	PP to submit CER plan to Municipal Commissioner/District Collector and submit the acknowledgement to Member Secretary, SEIAA.
XX	PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF & CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
XXI	SEIAA decided to grant EC for:FSI: 65640.87 m2, Non-FSI: 113126.16 m2 and Total BUA:178767.03 m2 (IOD no-EB/1105/E/A, Date-24.01.2019)

General Conditions:

I	E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
II	The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
III	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily imply that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
IV	PP has to abide by the conditions stipulated by SEAC & SEIAA.
V	The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
VI	If applicable "Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
VII	All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.
VIII	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
IX	The solid waste generated should be properly collected and segregated. dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material.
X	Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
XI	Arrangement shall be made that waste water and storm water do not get mixed.
XII	All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
XIII	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
XIV	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
XV	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
XVI	Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.
XVII	Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
XVIII	The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environment (Protection) Rules prescribed for air and noise emission standards.
XIX	The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.
XX	Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
XXI	Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.

XXII	Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).
XXIII	Ready mixed concrete must be used in building construction.
XXIV	Storm water control and its re-use as per CGWB and BIS standards for various applications.
XXV	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
XXVI	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
XXVII	The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP.
XXVIII	Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
XXIX	Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.
XXX	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
XXXI	Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.
XXXII	Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.
XXXIII	Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.
XXXIV	Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
XXXV	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.
XXXVI	Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
XXXVII	Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspiration for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement.
XXXVIII	The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.
XXXIX	Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.
XL	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
XLI	Six monthly monitoring reports should be submitted to the Regional office MoEF, Bhopal with copy to this department and MPCB.
XLII	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.

XLIII	Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
XLIV	Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
XLV	A complete set of all the documents submitted to Department should be forwarded to the Local authority and MPCB.
XLVI	In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
XLVII	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
XLVIII	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.
XLIX	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://ec.maharashtra.gov.in .
L	Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
LI	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
LII	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely, SPM, RSPM, SO ₂ , NO _x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
LIII	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
LIV	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.

Government of Maharashtra

4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.

5. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.

6. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.

7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, and amendments by MoEF&CC Notification dated 29th April, 2015.

8. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.

9. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

10. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D-, Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.


Shri. Anil Diggikar (Member Secretary SEIAA)

Copy to:

1. SHRI JOHNY JOSEPH, CHAIRMAN-SEIAA
2. SHRI UMAKANT DANGAT, CHAIRMAN-SEAC-I
3. SHRI M.M.ADTANI, CHAIRMAN-SEAC-II
4. SHRI ANIL .D. KALE. CHAIRMAN SEAC-III
5. SECRETARY MOEF & CC
6. IA- DIVISION MOEF & CC
7. MEMBER SECRETARY MAHARASHTRA POLLUTION CONTROL BOARD MUMBAI
8. REGIONAL OFFICE MOEF & CC NAGPUR
9. MUNICIPAL COMMISSIONER MUMBAI
10. MUNICIPAL COMMISSIONER NAVI MUMBAI
11. REGIONAL OFFICE MPCB MUMBAI
12. REGIONAL OFFICE MPCB NAVI MUMBAI
13. REGIONAL OFFICE MIDC ANDHERI
14. REGIONAL OFFICE MIDC KOPER KHAIRANE NAVI MUMBAI
15. MAHARASHTRA STATE ELECTRICITY DISTRIBUTION CO. LTD
16. COLLECTOR OFFICE MUMBAI
17. COLLECTOR OFFICE MUMBAI SUB-URBAN

STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

No. SIA/MH/MIS/42830/2018
 Environment Department
 Room No. 217, 2nd Floor,
 Mantralaya,
 Mumbai- 400032.
 Date: 31.03.2020.

To,
 M/s K Raheja Pvt. Ltd.
 Worli estate scheme no 52, Worli Mumbai

Subject : Environment Clearance for Expansion of Proposed Residential tower building, Multi Storied Public Parking Lot building, Office Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no 52, Worli Mumbai by M/s K Raheja Pvt. Ltd.

Reference: Application no. SIA/MH/MIS/42830/2018

This has reference to your communication on the above-mentioned subject. The proposal was considered by the SEAC-2 in its 126th meeting under screening category 8 (b) as per EIA Notification, 2006 and recommend to SEIAA. Proposal then considered in 187th meeting of State Level Environment Impact Assessment Authority (SEIAA).

2. Brief Information of the project submitted by you is as below: -

Total Plot area	20117.24 Sq. Mt.
Deduction	0.00
Net Plot area	20117.24 Sq. Mt.
FSI area	88,047.07 Sq. Mt.
Non- FSI area	1,28,863.13 Sq. Mt.
Total Built-up area	2,16,910.20 Sq. Mt.
Building Configuration	Residential tower - 2B+G+5 parking floors + stilt 6 +structural/service floors+ 3 fire check floors+ 49 habitable floors. The 5th parking floor above the public parking lot will be for residential parking 239.00 m . PPL - 2B+G+4 parking floors. 3B+ G + 8 (pt) office floors35.20 m. Residential Bldg -Wing B Stilt + 6 habitable floors 24.00 m.
Number of tenants and shops	Residential Tower – 183 no’s, Office Bldg (wing A)- 19086.77 sq. m, Residential Bldg (Wing B) – 36 no’s
Total Population	Residential Tower – 915 no’s, Office Bldg wing A- 1908 no’s, Residential Bldg. Wing B – 180 no’s, Total – 3003 no’s
Water requirement	During Dry season – 268 KLD, During Wet season – 238 KLD..

Rain water Harvesting	: Size and no of RWH tank(s) and Quantity: NA Quantity of recharge pits: 3
Details of UGT	: Fire water tank: 200 KLD Domestic water tank: 70 KLD Flushing water tank: 90 KLD
Sewer generation	: 223 KLD
STP capacity, technology & location	Residential – 114 KLD , MPPL-4 KLD, office wing A-82 KLD, Residential wing B- 23 KLD Total – 223 KLD.
RG required and Provided	4680.82 Sq.m.
Energy requirement	(Connected load) –14213 kw, (Demand load) – 7511 kw No. of DG sets & capacities : 1 x 2250 kVA & 2x 1250 kVA, 1 x 250 kVA
Energy Saving	Overall Energy saving total : Residential tower : 17%, Wing A & B: 13%
Solid waste generation	: Dry waste (Non- Biodegradable waste): 462 Kg/day Wet waste (Biodegradable waste): 308 Kg/day
OWC capacity	2 nos. of OWC
Parking	2 – Wheeler : Residential- 23 MPPL - 20 Total-43 no's, 4- Wheeler : Residential -529 no's Wing A &B -518 no's Total – 1047 no's (MPPL-803 (Including 9 Transport vehicle).
EMP costing	Setting-up Cost-1282 Lakhs,
	Operational Cost- 138.90 Lakhs.
CER	: Cost of the Project: 2.05 Crs.

3. The proposal has been considered by SEIAA in its 187th meeting and decided to accord Environment Clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implantation of following terms and conditions-

Specific Conditions:

- I. PP to upload the wind analysis report & impact on RG.
- II. PP to upload the copy of application regarding HRC NoC & civil aviation NoC.
- III. The PP to get NOC from competent authority with reference to Thane creek flamingo sanctuary if the project site falls within 10 Km radius from the said sanctuary boundary. The planning authority to ensure fulfilment of this condition before granting CC.
- IV. EC is subject to submission of HRC NOC.
- V. PP to ensure that CER plan gets approved from Municipal Commissioner/District Collector.
- VI. PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
- VII. SEIAA decided to grant EC for FSI: 88047.07m², Non-FSI: 128863.13 m² and Total BUA:216910.20 m² (Plan Approval no-EEEB/1105/GS/A, Date-07.02.2020)

General Conditions:

- I. E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.

- II. The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
- III. This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
- IV. PP has to abide by the conditions stipulated by SEAC & SETAA.
- V. The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
- VI. If applicable "Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
- VII. All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.
- VIII. Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
- IX. The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- X. Disposal of muck during construction phase should not create any adverse effect on the neighbouring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
- XI. Arrangement shall be made that waste water and storm water do not get mixed
- XII. All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- XIII. Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- XIV. Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
- XV. Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
- XVI. Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.
- XVII. Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
- XVIII. The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environment (Protection) Rules prescribed for air and noise emission standards.
- XIX. The diesel required for operating D/G sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken
- XX. Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise

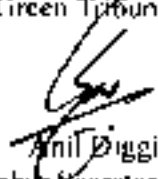
- emission standards and should be operated only during non-peak hours.
- XXI. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- XXII. Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).
- XXIII. Ready mixed concrete must be used in building construction.
- XXIV. Storm water control and its re-use as per CGWB and BIS standards for various applications.
- XXV. Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
- XXVI. The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.³
- XXVII. The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP.
- XXVIII. Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
- XXIX. Separation of grey and black water should be done by the use of dual plumbing line for separation of grey and black water.
- XXX. Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
- XXXI. Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.
- XXXII. Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.
- XXXIII. Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed of /sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.
- XXXIV. Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- XXXV. Noise should be controlled to ensure that it does not exceed the prescribed standards. During

night-time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

- XXXVI. Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
- XXXVII. Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspiration for non air-conditioned spaces by use of appropriate thermal insulation material to fulfil requirement.
- XXXVIII. The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.
- XXXIX. Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.
- XL. Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
- XLI. Six monthly monitoring reports should be submitted in the Regional office MoEF, Bhopal with copy to this department and MPCB.
- XLII. Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.
- XLIII. Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
- XLIV. Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
- XLV. A complete set of all the documents submitted to Department should be forwarded to the Local authority and MPCB.
- XLVI. In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
- XLVII. A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
- XLVIII. Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise break-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.
- XLIX. The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at <http://parivesh.nic.in>
- L. Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 31st December of each calendar year.
- LI. A copy of the clearance letter shall be sent by proponent to the concerned Municipal

Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.

- LII The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely: SPM, RSPM, SO₂, NO_x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
 - LIII. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
 - LIV The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
 5. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
 6. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.
 7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, amended time to time.
 8. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.
 9. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.
 10. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D-, Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.


Anil Diggikar
(Member Secretary, SELAA)

Copy to:

1. Shri Johnny Josepin, Chairman, SEIAA
2. Secretary, MoEF & CC
3. IA- Division MoEF & CC
4. Member Secretary, Maharashtra Pollution Control Board, Mumbai.
5. Regional Office MoEF & CC, Nagpur
6. Municipal Commissioner, MCGM.
7. Regional Officer, Maharashtra Pollution Control Board, Mumbai.

ENVIRONMENTAL
CLEARANCE

Government of India
Ministry of Environment, Forest and Climate Change
(Issued by the State Environment Impact Assessment
Authority(SEIAA), MAHARASHTRA)

To,

The Vice President
 K RAHEJA PVT LTD
 Raheja Tower
 Plot No. C-30, Block G, Opp SIDBI, Bandra Kurla Complex, Bandra (E),
 Mumbai -400051

Subject: Grant of Environmental Clearance (EC) to the proposed Project Activity under the provision of EIA Notification 2006-regarding

Sir/Madam,

This is in reference to your application for Environmental Clearance (EC) in respect of project submitted to the SEIAA vide proposal number SIA/MH/INFRA2/417166/2023 dated 07 Feb 2023. The particulars of the environmental clearance granted to the project are as below.

- | | |
|---|---|
| 1. EC Identification No. | EC23B039MH123060 |
| 2. File No. | SIA/MH/INFRA2/417166/2023 |
| 3. Project Type | Expansion |
| 4. Category | B |
| 5. Project/Activity including Schedule No. | 8(b) Townships and Area Development projects. |
| 6. Name of Project | Environment Clearance for Expansion of Proposed Residential tower building, Multi Storied Public Parking Lot building, Office Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no 52, Worli Mumbai by M/s K Raheja Pvt. Ltd |
| 7. Name of Company/Organization | K RAHEJA PVT LTD |
| 8. Location of Project | MAHARASHTRA |
| 9. TOR Date | N/A |

The project details along with terms and conditions are appended herewith from page no 2 onwards.

(e-signed)
 Pravin C. Darade , I.A.S.
 Member Secretary
 SEIAA - (MAHARASHTRA)

Date: 26/05/2023

Note: A valid environmental clearance shall be one that has EC identification number & E-Sign generated from PARIVESH. Please quote identification number in all future correspondence.

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 and Virtuous Environmental Single-Window Hub)*



STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

No. SIA/MH/INFRA2/417166/2023
Environment & Climate
Change Department
Room No. 217, 2nd Floor,
Mantralaya, Mumbai- 400032.

To
M/s. K Raheja Pvt. Ltd.,
CS No 2/1629 & 1A/1629,
Lower Parel division,
Plot No 249 & 249 A, 248B
Worli estate scheme no. 52,
Worli Mumbai.

Subject : Environment Clearance for Proposed Expansion of Residential tower building, Multi Storied Public Parking Lot building, Office Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no. 52, Worli Mumbai by M/s. K Raheja Pvt. Ltd.

Reference : Application no. SIA/MH/INFRA2/417166/2023

This has reference to your communication on the above-mentioned subject. The proposal was considered by the SEAC-2 in its 198th meeting under screening category 8 (b) B1 as per EIA Notification, 2006 and recommend to SEIAA. Proposal then considered in 259th (Day-1) meeting of State Level Environment Impact Assessment Authority (SEIAA).

2. Brief Information of the project submitted by you is as below:-

Sr. No	Description	Details								
1	Proposal Number	(SIA/MH/INFRA2/417166/2023)								
2	Name of Project	Expansion of Proposed Residential Tower Building, Multi Storied Public Parking Lot Building, Office Building & Residential Building on plot bearing CS NO. 2/1629 & 1A/1629(amalgamated C.S NO. 1A/1629) of Lower Parel division, plot no 249 & 249 A, 248 B of Worli estate scheme no 52, Worli Mumbai by M/s. K Raheja Pvt. Ltd								
3	Project category	8(b), B1								
4	Type of Institution	Private								
5	Project PropONENT	<table border="1"> <tr> <td>Name</td> <td>Mr. Nikhil Mehra</td> </tr> <tr> <td>Regd. Office address</td> <td>Raheja Tower Block G, Plot No. C-10, Bandra Kurla Complex, Bandra (E), Mumbai- 400 051 India</td> </tr> <tr> <td>Contact number</td> <td>9167755305</td> </tr> <tr> <td>e-mail</td> <td>nmehra@kraheja.com</td> </tr> </table>	Name	Mr. Nikhil Mehra	Regd. Office address	Raheja Tower Block G, Plot No. C-10, Bandra Kurla Complex, Bandra (E), Mumbai- 400 051 India	Contact number	9167755305	e-mail	nmehra@kraheja.com
Name	Mr. Nikhil Mehra									
Regd. Office address	Raheja Tower Block G, Plot No. C-10, Bandra Kurla Complex, Bandra (E), Mumbai- 400 051 India									
Contact number	9167755305									
e-mail	nmehra@kraheja.com									

6	Consultant	Name: M/s. Enviro Analysts & Engineers Pvt. Ltd. NABET Accreditation No: NABET/EIA/2023/RA0206 Validity: 13.05.2023					
7	Applied for	Brownfield Project / Expansion					
8	Location of the project	Plot bearing CS NO. 2/1629 & 1A/1629(amalgamated C.S NO. 1A/1629) of Lower Parel division, plot no 249 & 249 A, 248 B of Worli estate scheme no 52, Worli Mumbai.					
9	Latitude and Longitude	Latitude = 19°00'29.13"N Longitude = 72°49'19.70"E					
10	Plot Area (Sq.m.)	20,117.24 m ²					
11	Deductions (Sq.m.)	1,449.85 m ²					
12	Net Plot area (Sq.m.)	18,667.39 m ²					
13	Ground coverage (m ²) & %	14,140 m ²					
14	FSI Area (Sq.m.)	90,975.719 m ²					
15	Non-FSI (Sq.m.)	1,33,827.85m ²					
16	Proposed built-up area (FSI + Non-FSI) (Sq.m.)	2,24,803.56 m ²					
17	TBUA (m ²) approved by Planning Authority till date.	Approved Area: FSI- 90,812.59 m ² Amended Approved letter: FH/1105/GS/A/337/14/Amend dated 10.01.2023					
18	Earlier EC details with Total Construction area, if any.	EC vide letter no. SIA-MH/MIS/42830/2018 dtd. 31.03.2020 FSI: 88,047.07 m ² Non-FSI: 1,28,863.13 m ² Total construction Area: 2,16,910.20 m ²					
19	Construction completed as per earlier EC (FSI + Non FSI) (Sq.m.)	Total constructed Area: 2,03,840.97 m ²					
20	Previous EC / Existing Building	Proposed Configuration				Reason for Modification / Change	
	Building Name	Configuration	Height (m)	Building Name	Configuration		Height (m)
	Residential tower	2B + G + 5 parking floors + silt + 6 structural/ service floors + 3 fire check floors + 49 habitable floors. the 5th parking floor above the public parking lot	239.00	Residential tower	2B + G + 5 parking floors + silt + 6 structural/ service floors + 3 fire check floors + 46 habitable floors. The 5th parking floor above the public parking lot will be for residential parking		227.3
						Decrease in three upper habitable floors	

		will be for residential parking					
	PPL	2B + G + 4 parking floors	18.80	PPL	2B + G + 4 parking floors	18.8	No change
	Office building (wing A)	3B + G + 8 (pt) office floors	35.20	Office building (wing A)	3B + G + 10 office floors	42.8	Increase in two upper floors
	Residential Bldg (Wing B)	Stilt + 6 habitable floors	24.00		Stilt + 6 habitable floors + part terrace + 4 upper office floors	42.8	Addition of 4 upper office floors
21	No. of Tenements & Shops	Residential Tower: 135 nos. Office Wing A: 2,5579.03 sqm. Residential wing B: 36 nos.					
22	Total Population	4720 Nus					
23	Total Water Requirements (CMD)	326 KLD					
24	Under Ground Tank (LGT) location	Residential tower: Lower Basement Office wing A & Residential Wing B: 2nd Basement					
25	Source of water	MCGM					
26	STP Capacity & Technology	3 STPs of Total Capacity of 320 KLD, (160 KLD SBR, 140 KLD MBHR & 150 KLD MBR)					
27	STP Location	Basement & Ground					
28	Sewage Generation CMD & % of sewage discharge in the sewer line	270 KLD & 30% of excess treated water to sewer line					
29	Solid Waste Management during Construction Phase	Type	Quantity (Kg/d)		Treatment / disposal		
		Dry waste	10 kg/day		Will be handed over to a recycler		
		Wet waste	15 kg/day		Handed over to Municipal waste collector		
		Construction waste	Excavation material	00 Cum	No further excavation is anticipated, the proposal is for only vertical expansion. C&D waste has been disposed of as per SWM NOC		

			Cement Bags	150000 0 cum	RMC plant will be used for major construction activity. Rest of the Empty bags to be handed over to recycler.
			Paint container (@20L)	1500 cans	To be handed over to recyclers
			Scrap metal generated	6Tons	100 % to be sold for recycling.
			Broken Tiles	2500 sqm	Waste tiles to be used as china mosaics for terraces.
30	Total Solid Waste Quantities with type during Operation Phase & Capacity of OWC to be installed	Type	Quantity (Kg/d)	Treatment / disposal	
		Dry waste	937 kg/day	Will be handed over to a recycler	
		Wet waste	652 kg/day	Composting by OWC - manure produced will be used at a site for landscaping. 3 OWCs of total Capacity – 400 & 300 Kg/day.	
		E-Waste	4.5t on/yr	Will be collected and sent to MPCB authorized recyclers.	
		STP Sludge (dry)	13.5 kg/day	Dry sewage sludge will be used as manure for gardening.	
31	R.G. Area in sq.m.	RG required – 4680.62 sq.m (8%) RG provided on Mother earth – 200 sq. m. Podium RG – 4680.82 sq. m. Total 4880.82 sq. m Existing trees on the plot: 28 The number of trees to be planted a) In RG area: 291 nos. b) In Miyawaki Plantation 00 Number of trees to be cut: 00 Number of trees to be retained: 25			

		Number of trees to be transplanted: 3						
32	Power requirement	During Operation Phase: <table border="1"> <tr> <td>Details</td> <td>TATA/BEST</td> </tr> <tr> <td>Connected load (kW)</td> <td>16278 KW</td> </tr> <tr> <td>Demand load (kW)</td> <td>9490 KW</td> </tr> </table>	Details	TATA/BEST	Connected load (kW)	16278 KW	Demand load (kW)	9490 KW
Details	TATA/BEST							
Connected load (kW)	16278 KW							
Demand load (kW)	9490 KW							
33	Energy Efficiency	a) Total Energy saving (%): Residential tower- 19 % & Wing A & B 16% b) Solar energy (%): Residential tower- 1 % & Wing A & B 2% Solar offset will be purchased for commercial bldg. entire bldg. will run on clean energy						
34	D.G. set capacity	1 x 2250 KVA, 2 x 1500 KVA & 1x 500 KVA						
35	No. of 4-W & 2-W Parking with 25% EV	4 Wheelers – Residential 23, MPPL-20 2 Wheeler – 1,068 (Including 6 transport vehicle); MPPL 803 (Including 9 transport vehicle)						
36	No. & capacity of Rainwater harvesting tanks/Pits	2 RWTH tank is proposed which is having a total capacity of 143 cu.m/day.						
37	Project Cost in (Cr.)	Rs. 979 Cr						
38	BMP Cost	Capital Cost- Rs. 1431.5 Lakhs, O and M cost- Rs. 139.91 Lakhs						
39	CER Details with justification if any. as per MoEF&CC circular dated 01/05/2018	It will be as per the OM dated 30th September 2020,						
40	Details of Court Cases/litigations w.r.t the project and project location, if any	NA						

The comparative statement showing project details approved as per earlier EC and proposed project details is as given below:

Sr. No.	Project Details	Unit	Details		Remarks
			As per EC Received- SIA/MH/MIS/42830/2018 dtd. 31.03.2020	For proposed Amendment / expansion	
1	Plot area	Sq.m.	20,117.24	20,117.24	No change
2	FSI area	Sq.m.	88,047.07	90,975.71	FSI area increased by 2928.64 Sq. Mt. due to change in planning FSI area is as per BMC plan dated 14.01.2023
3	Non FSI area	Sq.m	1,28,863.13	1,43,827.85	Non FSI Area is increased by 4964.72 Sq. m.

4	Total Built up area (Construction area)	Sq.m.	2,16,910.20	2,24,803.56	Total Built up Area is increased by 7893.36 sq m.
5	Ground Coverage % on Gross Plot Area	Sqm.	14141 (70.29%)	14141 (70.29%)	No change in Building footprint
6	Project Cost	Rs.	Rs. 1085.23 Cr	Rs. 979.00 Cr	Project cost is revised
Building Configuration					
Buildings		Configuration	Configuration		
7	Residential tower	2B + G + 5 parking floors + 3 fire check floors + 49 habitable floors. The 5th parking floor above the public parking lot will be for residential parking	2B + G + 5 parking floors + 3 fire check floors + 46 habitable floors. The 5th parking floor above the public parking lot will be for residential parking	2B + G + 5 parking floors + 3 fire check floors + 46 habitable floors. The 5th parking floor above the public parking lot will be for residential parking	Decrease in three upper habitable floors
	PPL	2B + G - 4 parking floors	2B + G + 4 parking floors		No change
	Office building (wing A)	3B + G - 8 (pt) office floors	3B + G + 10 office floors		Remaining portion of part 8th floor + additional two upper floors above it
	Residential Bldg Office Bldg (Wing B)	Stilt + 6 habitable floors	Stilt + 6 habitable floors + part terrace + 4 upper office floors		Addition of part terrace & 4 upper office floors
8	Number of tenants and shops				
	Residential Tower	Nos.	183	135	Decrease in No. of tenements by 48
	Office Bldg Wing A	sqm	19086.77	25579.03	Increase by 6498.26 sq. m.

	Residential Bldg. (Wing B): Office Bldg	Nos.	36	36	No Change
No. of expected Residents					
9	Residential Tower	Nos.	915	810	Residents are decreased by 105 nos.
	MPPJ.	Nos.	321	321	No Change
	Office Bldg Wing A	Nos.	1908	3409	Increases by 1501 Nos.
	Residential Bldg. Wing B	Nos.	180	180	No Change
	Total	Nos.	3324	4720	Total No. of expected Residents as increased by 1396 Nos.
Height of the building					
10	Residential Tower	m	239.00	227.3	Decrease in height by 11.7 m.
	PPL	M	18.80	18.8	No Change
	Office Bldg Wing A	m	35.20	42.8	Increase in height by 7.6 m.
	Residential Bldg Wing B	m	24	42.8	Increase in height by 18.8 m.
11	Total water requirement	KLD	268	326	Increase in total water requirement by 58 KLD
12	Wastewater generation	KLD	223	270	Increase in sewage generation by 47 KLD
13	STP capacity	KLD	114, 4, 82, 23 Total = 223	160, 10, 150 Total 320	Increase in STP capacity by 25 KLD. In earlier EC the quantities of sewage generation were mentioned instead of STP capacity. Earlier the capacity of STP were 160 KLD, 10 KLD & 125 KLD.

					respectively.
14	Total Solid waste generation	Kg/Day	770	1589	Increase in total waste generation by 819 kg/day
No. of Parking					
15	2 Wheelers	Nos.	Residential 25, MPPL-20	Residential 25, MPPL-20	As per regulation
	4 Wheelers	Nos.	1,047; MPPL 803 (Including 9 transport vehicle)	1,068 (+ 6 transport vehicle); MPPL 803 (Including 9 transport vehicle)	
Green Belt Development					
16	Prop. Total R.G.	Sq.m.	4680.82	4680.82	No change
Power Requirement					
17	Connected Load	Kw	14213	16728	As per revised calc.
	Maximum Demand	Kw	7511	9490	As per revised calc.
	D.G. sets	KVA	1 x 2250 kVA & 2 x 1250 kVA. 1x250kVA	1 x 2250 kVA & 2 x 1500 kVA, 1 x 500 kVA	As per revised calc.
Cost for EMP					
18	Capital	Rs. In Lacs	1218	1413	Increase in EMP cost as per the revision in Environmental parameters
	O & M	Rs In Lacs	138.9	139.91	

3. The proposal has been considered by SEIAA in its 250th (Day-1) meeting and decided to accord Environment Clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of following terms and conditions-

Specific Conditions:

A. SEAC Conditions-

1. PP to submit [OD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions as per the Circular dated 30.01.2014 issued by the Environment Department, Govt. of Maharashtra.
2. PP to obtain following NOCs & remarks as per amended planning:
 - a) Water supply; b) Sewer connection; c) CFO NOC.
3. PP to either explore to increase saving in energy up to 5% from renewable sources or submit registered equivalent/pro-rata green power purchase agreement.
4. PP to provide 1.5 Mtr. RG strip all around the plot as per DCPR-2034 provisions & accordingly submit revised landscape layout.

5. PP to submit revised tree list by providing shrubs on podium instead of proposed trees; PP to count trees planted on ground only for calculation of nos. of trees to be planted as per norms & revise tree list accordingly.
6. PP to use advanced technologies for dust suppression in addition to sprinkling of water in construction phase & revisit the monetary provision for various activities in EMP of construction phase and submit revised EMP.
7. PP to paid balance scrutiny fee as per government resolution dated 18/06/2018.
8. PP to correct quantity of sewage generation & capacities of STPs provided earlier EC's obtained in 2018 & 2020 to the project.
9. PP to reduce discharge of treated water up to 35%; PP to submit undertaking from concerned authority/ agency/third party for use of excess treated water generated in the project.

B. SEIAA Conditions-

1. This EC is restricted for residential building Wing B up to 24.00 m height only as per CFO NOC
2. PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement.
3. PP to achieve at least 5% of total energy requirement from solar/other renewable sources.
4. PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoFP& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
5. SEIAA after deliberation decided to grant EC for -- FSI – 90812.59 133587.90 m², Non FSI- 133587.90 m², Total BUA- 224400.49 m². (Plan approval No.EB/1105/GS/A/337/14/Amend. dated 10.01.2023) (Restricted as per approval)

General Conditions:

a) Construction Phase :-

- I. The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. Disposal of muck, Construction spoils, including bituminous material during construction phase should not create any adverse effect on the neighbouring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in the approved sites with the approval of competent authority.
- III. Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
- IV. Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.

- V. Arrangement shall be made that waste water and storm water do not get mixed.
- VI. Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.
- VII. The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- VIII. Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
- IX. Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
- X. The Energy Conservation Building code shall be strictly adhered to.
- XI. All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- XII. Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- XIII. Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
- XIV. PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.
- XV. The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- XVI. Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.
- XVII. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- XVIII. Diesel power generating sets proposed as source of backup power for elevators and common area illumination during construction phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- XIX. Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environment cell /designated person.

B) Operation phase:-

1. a) The solid waste generated should be properly collected and segregated. b) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. c) Dry/inert solid waste should be disposed of to the approved


- sites for land filling after recovering recyclable material.
- II. E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
 - III. a) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP. b) PP to give 100 % treatment to sewage /Liquid waste and explore the possibility to recycle at least 50 % of water. Local authority should ensure this.
 - IV. Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.
 - V. The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
 - VI. Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
 - VII. PP to provide adequate electric charging points for electric vehicles (EVs).
 - VIII. Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
 - IX. A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
 - X. Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.
 - XI. The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at parivesh.mca.in
 - XII. A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
 - XIII. The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the

respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely: SPM, RSPM, SO₂, NO_x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.

C) General EC Conditions:-

- I. PP has to strictly abide by the conditions stipulated by SEAC & SEIAA.
 - II. If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
 - III. Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
 - IV. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
 - V. The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
 - VI. No further Expansion or modifications, other than mentioned in the EIA Notification, 2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.
 - VII. This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as it applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
5. This Environment Clearance is issued purely from an environment point of view without prejudice to any court cases and all other applicable permissions/ NOCs shall be obtained before starting proposed work at site.
6. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.

7. **Validity of Environment Clearance:** The environmental clearance accorded shall be valid as per EIA Notification, 2006, amended from time to time.
8. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.
9. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D-Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.


Pravin Darade
(Member Secretary, SEIAA)

Copy to:

1. Chairman, SEIAA, Mumbai.
2. Secretary, MoEF & CC, JA- Division MOEF & CC
3. Member Secretary, Maharashtra Pollution Control Board, Mumbai
4. Regional Office MoEF & CC, Nagpur
5. District Collector, Mumbai City.
6. Commissioner, Municipal Corporation of Greater Mumbai.
7. Regional Officer, Maharashtra Pollution Control Board, Mumbai.



**BRIHANMUMBAI MUNICIPAL CORPORATION
ANNEXURE 20 & 22**

**OCCUPATION CUM BUILDING COMPLETION CERTIFICATE UNDER REG. 11(6) OF DCPR 2034 AND PART
OCCUPATION UNDER REG. 11(7) /11(8) OF DCPR 2034**

[EB/1105/GS/A/OCC/3/New of 27 December 2023]

To,
M/s. K Raheja Pvt. Ltd
Plot No.C-30, G Block, Raheja Tower, Bandra Kurla Complex, Bandra (E).

Dear Applicant,

The **Part 5** development work of **Residential** building comprising of **45th (Part) + 46th habitable floor + 1 Service floor (between 45th and 46th Habitable floor) + Terrace i.e. Full occupation permission for Club House and Residential building in phase -1** on plot bearing CS No. **2/1629,1A/1629** of Division **Lower Parel** at **Doordarshan Tower** is completed under the supervision of Shri. **KASTURI KEDAR PEWEKAR , Architect , Lic. No. CA/97/20974 , Shri. Girish Purushottam Dravid , Structural Engineer, Lic. No. STR:840004515** and Shri. **Mohit Adelar , Site supervisor, Lic.No. A/179/SS-I** and as per development completion certificate submitted by Architect and as per completion certificate issued by Chief Fire Officer u/no. **EB/1105/GS/A-CFO/1/New** dated **27 December 2023** .The same may be occupied and completion certificates submitted as sighted above are hereby accepted.

The PART OC is approved subject to following conditions:

1.That all the conditions of I.O.D. under even No. dated 03/08/2005 and amended plans approval letter dated 14/05/2012, 01/03/2013, 31/12/2013, 21/03/2016, 04/05/2017, 13/02/2018, 22/06/2018, 24/01/2019, 22.10.2020,19/03/2021,14/08/2021 20/02/2022 & 10/01/2023 shall be complied with before asking full OC.

2. That the balance conditions of Part OCC dtd. 07/09/2016, 27/09/2019, 10/06/2020 & 18/12/2020 shall complied with before asking full OC.

Copy To :

1. Asstt. Commissioner, G/South
 2. A.A. & C. , G/South
 3. EE (V), City
 4. M.I. , G/South
 5. A.E.W.W. , G/South
 6. Architect, KASTURI KEDAR PEWEKAR, Plot No. C-30, Block "G", Opp. SIDBI, Bandra Kurla Complex, Bandra (East)
- For information please



Yours faithfully
Executive Engineer (Building Proposal)
Brihanmumbai Municipal Corporation
G/South





MUNICIPAL CORPORATION OF GREATER MUMBAI

APPENDIX XXII

PART OCCUPANCY CERTIFICATE

[EB/1105/GS/A/OCC/1/New of 10 June 2020]

To,
M/s. K Raheja Pvt. Ltd
Plot No.C-30, G Block, Raheja Tower, Bandra Kurla Complex, Bandra (E).

Dear Applicant/Owners,

The **Part 2** development work of **Residential** building comprising of **4th and 5th (Below Tower Portion) parking floor + 23rd to 35th habitable floors + 1 service floor(Between 27th and 28th habitable floor) and 1 fire check floor(Between 25th and 26th habitable floor) and club house** on plot bearing C.S.No./CTS No. **2/1629,1A/1629** of Division **Lower Parel** at **Doordarshan Tower** is completed under the supervision of Shri. **KASTURI KEDAR PEWEKAR , Architect , Lic. No. CA/97/20974** , Shri. **Girish Purushotam Dravid , RCC Consultant, Lic. No. STR/D/59** and Shri. **Mohit Adalkar , Site supervisor, Lic.No. A/179/SS-I** and as per development completion certificate submitted by architect and as per completion certificate issued by Chief Fire Officer u/no. **EB/1105/GS/A-CFO/1/New** dated **04 March 2020**.

It can be occupied with the following condition/s.

- 1) That all the balance conditions of I.O.D / amended plan approval letters shall be complied with before asking further OC.
- 2) That the remaining work shall be carried out as per approved amended plans.
- 3) That all the safety and precautionary measures to safeguard the occupants and neighborhood shall be taken while executing the remaining construction works.

Copy To :

1. Asstt. Commissioner, G/South
 2. A.A. & C. , G/South
 3. EE (V), City
 4. M.I. , G/South
 5. A.E.W.W. , G/South
 6. Architect, KASTURI KEDAR PEWEKAR , Plot No. C-30, Block 'G', Opp. SIDBI, Bandra Kurla Complex, Bandra (East)
- For information please

Name : JADHAV RAJENDRA
 ANANDRAO
 Designation : Executive
 Engineer
 Organization : Municipal
 Corporation of Greater Mumbai
 Date : 10-Jun-2020 16: 09:20

Yours faithfully
 Executive Engineer (Building Proposals)
 Municipal Corporation of Greater Mumbai
 G/South



MUNICIPAL CORPORATION OF GREATER MUMBAI

APPENDIX XXII

PART OCCUPANCY CERTIFICATE

[EB/1105/GS/A/OCC/2/New of 18 December 2020]

To,
M/s. K Raheja Pvt. Ltd
Plot No.C-30, G Block, Raheja Tower, Bandra Kurla Complex, Bandra (E).

Dear Applicant/Owners,

The **Part 3** development work of **Residential** building comprising of **2nd parking floor + 5th parking floor (Beyond Tower Portion) + Stilt + 36th to 45th habitable floors + 1 service floor (Between 37th and 38th habitable floor) and 1 fire check floor (Between 42nd and 43rd habitable floor)** on plot bearing C.S.No./CTS No. **2/1629,1A/1629** of Division **Lower Parel** at **Doordarshan Tower** is completed under the supervision of Shri. **KASTURI KEDAR PEWEKAR , Architect , Lic. No. CA/97/20974** , Shri. **Girish Purushotam Dravid , RCC Consultant, Lic. No. STR/D/59** and Shri. **Mohit Adelar , Site supervisor, Lic.No. A/179/SS-I** and as per development completion certificate submitted by architect and as per completion certificate issued by Chief Fire Officer u/no. **EB/1105/GS/A-CFO/1/New** dated **10 December 2020**.

It can be occupied with the following condition/s.

- 1) That all the balance conditions of I.O.D / amended plan approval letters shall be complied with before asking further OC.
- 2) That the remaining work shall be carried out as per approved amended plans.
- 3) That all the safety and precautionary measures to safeguard the occupants and neighborhood shall be taken while executing the remaining construction works.

Copy To :

1. Asstt. Commissioner, G/South
 2. A.A. & C. , G/South
 3. EE (V), City
 4. M.I. , G/South
 5. A.E.W.W. , G/South
 6. Architect, KASTURI KEDAR PEWEKAR, Plot No. C-30, Block 'G', Opp. SIDBI, Bandra Kurla Complex, Bandra (East)
- For information please

Name : JADHAV RAJENDRA
ANANDRAO
Designation : Executive
Engineer
Organization : Municipal
Corporation of Greater Mumbai
Date : 18-Dec-2020 14: 30:08

Yours faithfully
Executive Engineer (Building Proposals)
Municipal Corporation of Greater Mumbai
G/South

Municipal Corporation of Greater Mumbai

(Hydraulic Engineer's Department.)

C/7311/G/S - 24/01/2022

Assistant Engineer

Water Works

G/ South Ward Office,

Brihan Mumbai Municipal Corporation,

N. M. Joshi Marg, Mumbai - 400013.

Certificate Form for provision of adequate water supply on newly constructed premises before issue of Building Completion Certificate as required under Section 270 A of the Mumbai Municipal Corporation Act.

CERTIFIED THAT adequate water supply has been provided at the following premises within the Limits of Greater Mumbai, as required under the Mumbai Municipal Corporation Act.

Ward : - 'G/South'

Ward No: - (G-1759-60 (1) & 1762(1-2) 758-59 & 761-A -Account No.GS0408190030000

Street No: -Residential Building on plot bearing C. S. No.1A/1629 and 2/1629, plot no. 248/B, 249 & 249-A of Worli scheme No. 52, Lower Parel Division, Natavarya Baburao Pendharkar Marg, G/South Ward, Mumbai.

Name of Owner: - M/s. K Raheja Private Limited.

Description of Premises:-Residential Building on plot bearing C.S. No. 2/1629 of Lower Parel Division, Plot No. 249, 249 - A of Worli Scheme No. 52, Lower Parel Division, Natavarya Baburao Pendharkar Marg, G/South Ward, Mumbai.

Nature of Occupancy:- Residential Building comprising of Lower Basement + Upper Basement + Ground + 5 parking floors + stilt + 1st floor + 45th upper floors along with Club House on Stilt floor level.

Remarks:- To grant 65 mm dia Size water connection with 65 mm dia internal pipe for 30 mt initial length and with 80 mm dia internal pipe line for rest 70 mt. final length with 80 mm dia size Private meter for the Residential Building comprising of Lower Basement + Upper Basement + Ground + 5 parking floors + stilt + 1st floor + up to 45th upper floors along with Club House on Stilt floor Level and 15 mm dia sub meter water connection for Club House u/s.169 of MMC act.

Requirement of Water: - Residential Building (69,300 liters/day) and Club House (7,720 liters/day) Total Requirement = 77,020 liters/day

Occupation Certificate No: - Part Occupation Certificate u/no. EB/1105/GS/A Dated -18/12/2020.

'F' Form No: - C/7311/GS dated 16/03/2021.

Water connection granted on: - 20 January, 2022.

-sd-

**Assistant Engineer (Water Work)
'G/South' Ward.**

✓ **Copy to:- Owner - M/s. K Raheja Private Limited**

Frans
24/1/22

**Assistant Engineer (Water Work)
'G/South' Ward.**

MUNICIPAL CORPORATION OF GREATER MUMBAI
SEWERAGE PROJECT DEPARTMENT

No. Dy.Ch/E/S.P./.....35/E.....P&D

127 JUN 2019

Office of the Dy. Chief
 Engineer (Sewerage Project)
 P&D, 2nd floor, Engg. Hub,
 Stores Bldg., Dr. E. Moses
 Marg, Worli, Mumbai 400018

To,

✓ Mr. Nikhil Mehra (P.L.No.2451),
 Raheja tower, Plot No. C-30, Block G,
 Next to Bank Of Baroda,
 Bandra Kurla Complex,
 Bandra(East),
 Mumbai-400051,

Sub:- Acceptance of Drainage Completion Certificate for the internal drainage layout with STP for the proposed Residential building on plot bearing C.S.No. 1A/1629 and 2/1629, plot no. 248 B, 249 and 249 A of Worli Scheme No.52, of Lower Parel Division, G/S ward Worli, Mumbai.

Ref:- 1) Your Letter dated 14/06/2019
 2) I.O.D. u/no- u/no. EB/1105/GS/A dtd 3/8/2005, last amended on 22/6/2018.
 I.O.D. Holder: Director, K. Raheja Pvt.Ltd.
 3) Dy.Ch.E. (S.P.) P&D's approval dated 27/06/2019

Gentleman,

By directions, the Drainage Completion Certificate submitted by you for internal drainage layout with STP of proposed Residential Building on the above mentioned plot is hereby accepted.

However, so far as the house drains and street connection for the building on the above mentioned plot is concerned, you are requested to approach the Executive Engineer (B.P.) City- I & Asstt. Commissioner G/S ward.

Yours Faithfully,


 Executive Engineer
 (Sewerage Project)

MUNICIPAL CORPORATION OF GREATER MUMBAI**Sewerage Projects Department**

Office of the
Dy.ChE Engineer
(Sewerage Project), P&D,
Engg. Hub. Stores Bldg.,
2nd floor, Dr. E. Moses Road,
Worli, Mumbai-400 018.

No. Dy.ChE/S.P./..... 35/915/P&D

79 MAR 2020

To,
Mr. Nikhil Mehta (P.L. No. 2451),
Raheja tower, Plot No. C-30, Block G,
Next to Bank Of Baroda,
Bandra Kurla Complex,
Bandra (East), Mumbai-400051.

Subject: - Revised NOC to the internal drainage layout for Wing A & Wing B (Phase - II) the proposed on plot bearing C.S.No 1A/1629 and 2/1629, plot no. 248 B, 249 and 249 A of Worli Scheme No.52, of Lower Panel Division, G/S ward Worli, Mumbai.

- Ref:** i) Your letter received on 23/1/2020
ii) IOD w/no. EB/1105/E/A, dtd 03/08/2005 amended on 24/1/2019 I.O.D. Holder Director, K.Raheja Pvt. Ltd.
iii) EEMMS/5287/City of 29/11/2005.
iv) Dy.Ch.E (S.P.) P&D's approval dtd 18/3/2020.

Gentlemen,

With reference to the above, by direction, there is no objection to connect excess treated overflow from STP for Wing A & Wing B (Phase II) on referred plot by pumping arrangement upto Balancing Chambers and 150 mm Internal S W Sewer line at 1:80 slope marked B-C, with new street connection marked B-A, as per the accompanying approved plans, subject to the following conditions:-

- 1) That the sewer line shall be laid as per the approved plan attached herewith.
- 2) The work shall be carried out as per the Municipal Specifications and drainage bye-laws.
- 3) That the vent shaft of adequate size shall be provided at every manhole/sewer trap chamber and at every 150 m intervals, along the sewer line.
- 4) That the work of internal drainage layout shall be carried out through licensed plumber only.
- 5) That the conical manhole of 1.20M. dia. shall be constructed if the depth of manhole is between 1.50M and 2.30M. and 1.50M. dia. Conical manhole shall be constructed if the depth of manhole exceeds 2.30M. but is less than 5.0M. as per Municipal Specifications with C.I. heavy air tight frame & cover, weighing 230 Kgs (Minimum).
- 6) That where the depth of the sewer is less than 1.50 M. the rectangular inspection chamber shall be constructed of size 0.90M. x 0.60M or 0.90 M. x 0.45 M. with 230 mm thick brick masonry in C.M. 1:2 with both sides 20 mm. thick plaster in C.M. 1:1 with C.I. heavy air tight frame and cover (for 0.90 m x

- 0.60M inspection chamber the cover shall weigh 250 kg. (Minimum) and for 0.90 M x 0.45 M. inspection chamber cover shall weigh 270 kg. (Minimum).
- 7) That the C.I. steps 5.40Kg. each shall be provided for M.H./Chamber at 300 mm c/c. distance staggered when the depth of the manhole/chamber exceeds 1.20M.
 - 8) That the 30cm. thick 1:2:4 bed c.c. for conical M.H. of size 1.20M. dia. & 1.50M dia. 23 cm. thick 1:2:4 bed concrete for 0.90M.x0.60M.I.C. & 15cm. thick 1:2:4 bed concrete for 0.90M.x0.45M.I.C. shall be laid which shall be 15cm all along the external faces of the manhole/chamber.
 - 9) That the sewer should be fully encased with 15cm. thick M.150 (1:2:4) cement concrete when the average depth of the top of the pipe sewer is less than 1 meter and more than 3 meter & shall be half encased with 15cm. (1:2:4) cement concrete when the average depth of the top of the pipe sewer is between 1 to 3 meters.
 - 10) The necessary drop arrangement as per Municipal specifications should be provided in connecting the manholes where drop in the sewer exceeds 0.60 M.
 - 11) That the sewer line laid shall be cleaned before applying to Asst. Commissioner 'G/S' Ward for connecting it to the existing Municipal sewer.
 - 12) That after the work is completed the drainage completion certificate along with completion plan as per drainage work carried out shall be submitted to this office for acceptance.
 - 13) That the house drain/down take pipe for all the buildings at the above mentioned premises should be got approved from E.E.(B.P)City-I.
 - 14) That all pipes from ground floor upto 1st floor level shall conform to IS:3089
 - 15) That the location of Sewage Treatment Plant should be got approved from E.E.(B.P) City-I..
 - 16) That the S.T.P. shall be maintained in working conditions by making suitable arrangements.
 - 17) That a notarized undertaking on Rs 200/- stamp paper shall be submitted stating that the treated water shall be consumed for gardening, laundry, flushing etc upto maximum extent and the overflow from STP will be treated overflow only.
 - 18) That you should approach Asst. Commissioner 'G/S' ward for connecting the treated overflow from S.T.P. of the residential building u/r to municipal sewer with new street connection after remitting the necessary charges for street connection and reinstatement. Remarks for the same shall be submitted to this office before approaching for D.C.C.
 - 19) That the approval for the commissioning and ready for operation of the constructed sewage treatment plant (STP) shall be obtained from the concerned authority before approaching for D.C.C.
 - 20) Drainage line from house gully, if any, may be diverted in consultation with A.E.(SWM) 'G/S' ward and beneficiaries of the house gully.
 - 21) The excavated trenches for the drainage line shall not be filled up unless the joint inspection of the drainage work after submission of D.C.C. is carried out and approved by this office.

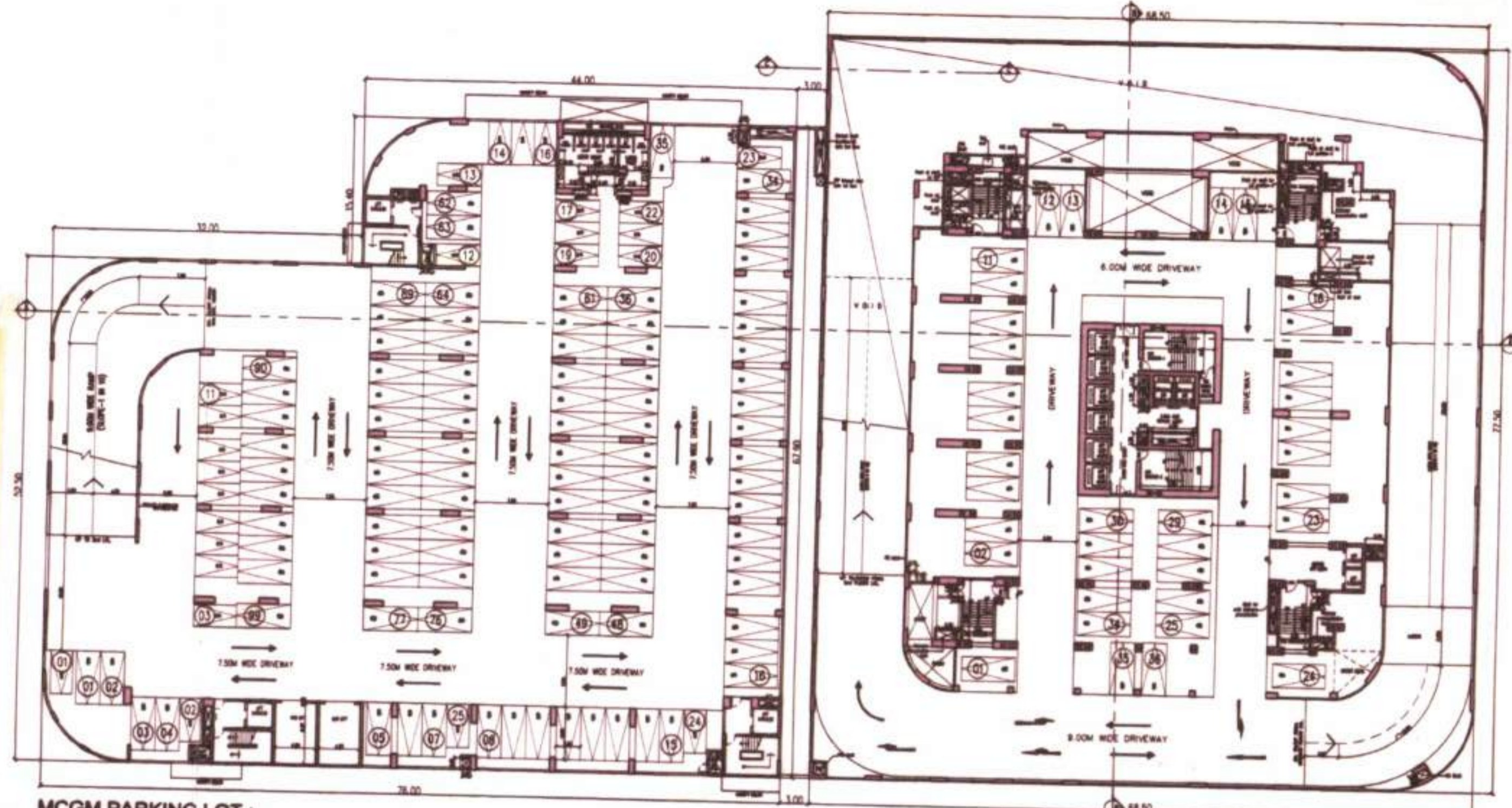
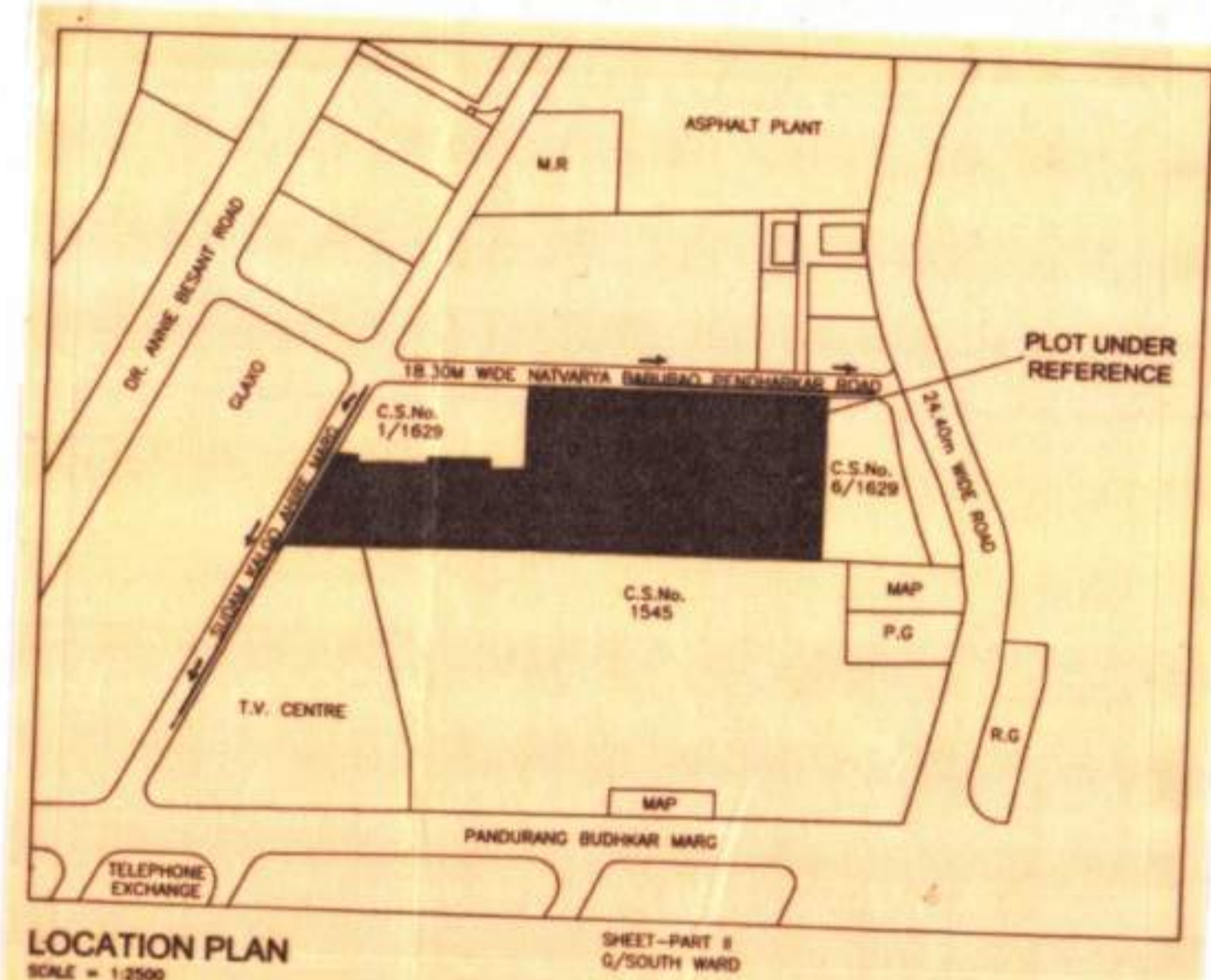
- 22) That you will have to submit revised proposal for approval of internal drainage layout to this office as and when the plans of the proposed development on the property under reference are amended.
- 23) That the sewer line near the underground water tank, shall be of C.I. with R.C.C. Chamber.
- 24) That all C.I pipe sewer proposed shall be laid in single piece from chamber to chamber or MH to MH with full encasement.
- 25) That IOD holder/L.P. shall submit the undertaking for rectification of defects occurred during the functioning of internal drainage at the time of DCC.
- 26) This NOC is valid for one year from date of issue. NOC shall be revalidated every year by remitting revalidation fees.

Acc: 1 Plan.

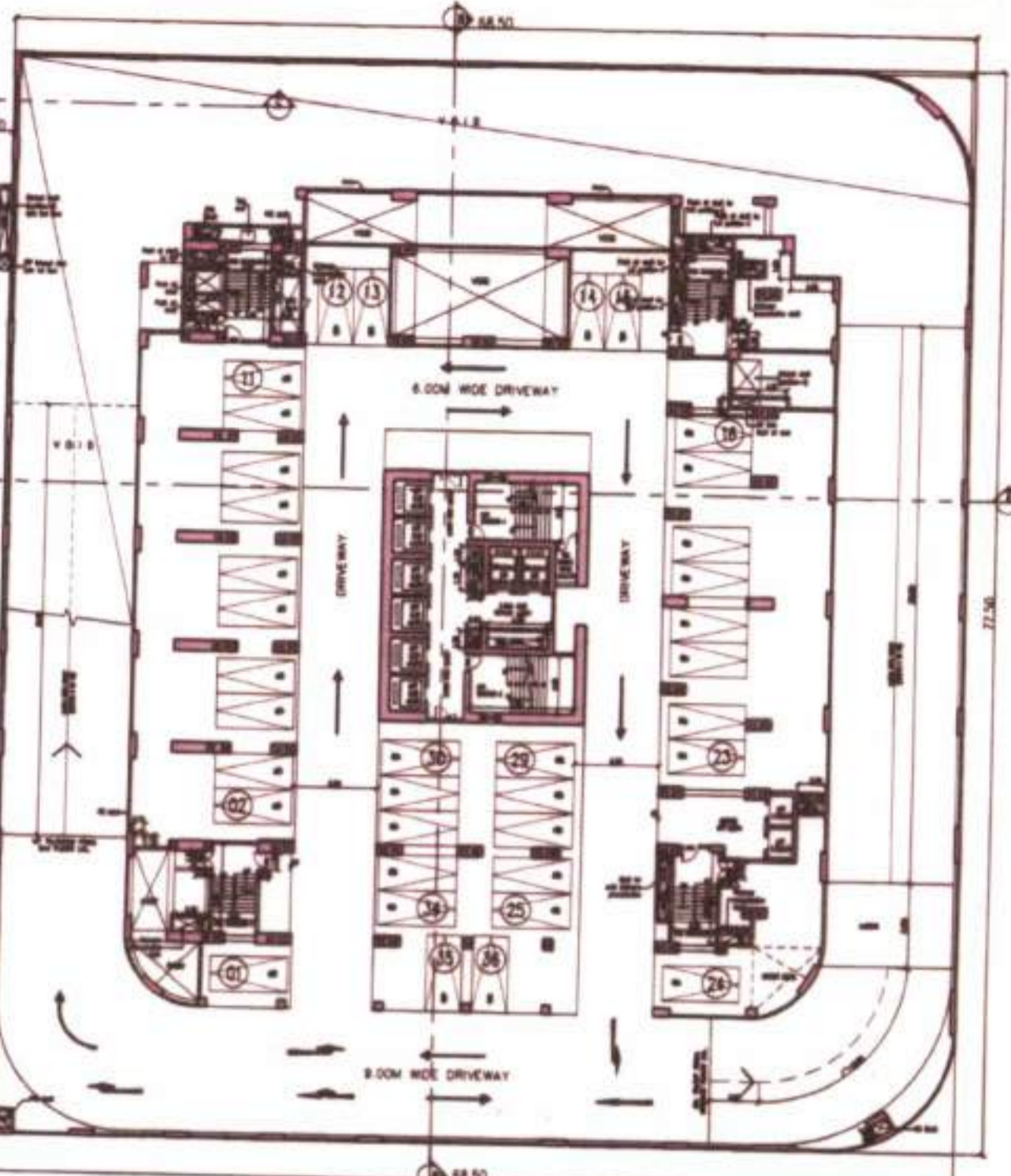
Yours faithfully,


Executive Engineer

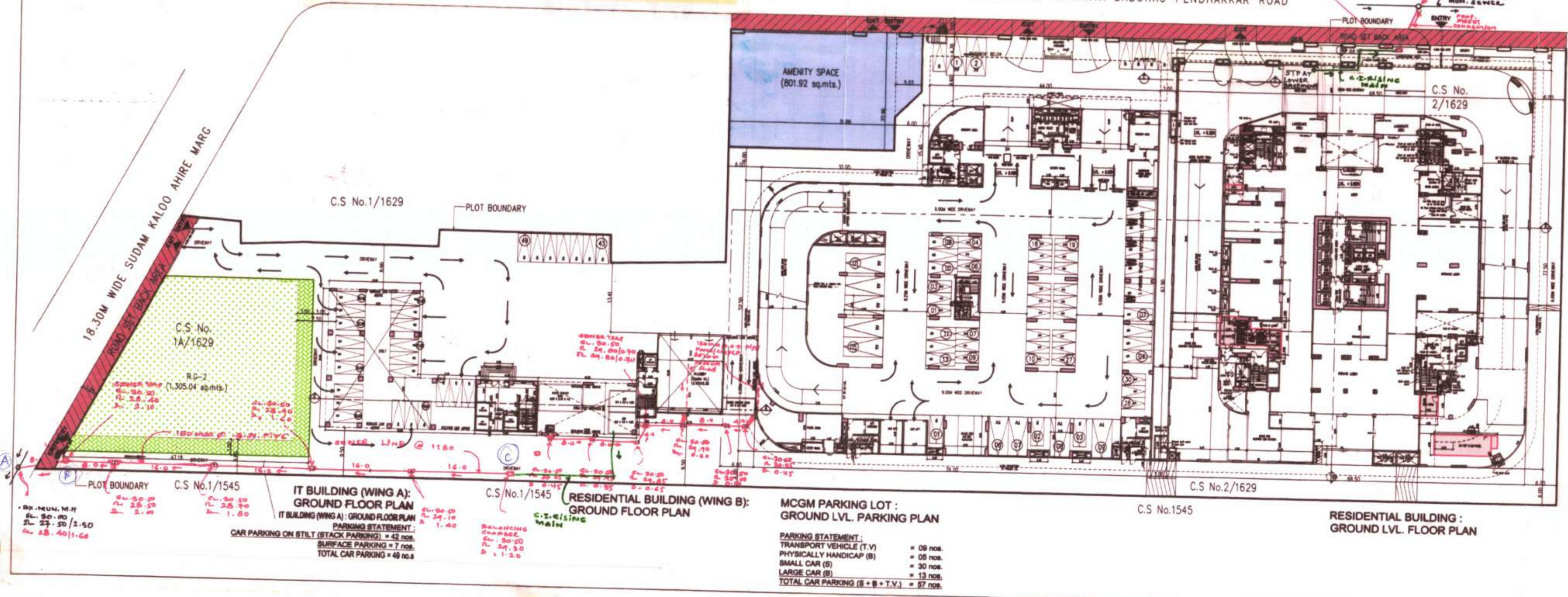
(Sewerage Project) P.&D., City



PARKING STATEMENT :
 SMALL CAR (S) = 25 nos.
 LARGE CAR (B) = 89 nos.
 TOTAL CAR PARKING (S + B) = 114 nos.



PARKING STATEMENT :
 LARGE CAR (B) = 36 nos.
 TOTAL CAR PARKING (B) = 36 nos.



PARKING STATEMENT :
 TRANSPORT VEHICLE (T.V) = 08 nos.
 PHYSICALLY HANDICAP (B) = 05 nos.
 SMALL CAR (S) = 30 nos.
 LARGE CAR (B) = 13 nos.
 TOTAL CAR PARKING (S + B + T.V) = 57 nos.

The proposed plan is granted only for the internal design layout. The rest of the details on plan are to be provided by the client. This plan is approved subject to the conditions mentioned in this office letter no. 19 MAR 2020
 Executive Engineer
 Water & Sewerage Project (P & D) Div.

PROFORMA - B
 APPROVED SUBJECT TO CONDITIONS MENTIONED IN THE FILE FILE No. 1105/ 05/ A

S.E.B.P (CITY-X)

A.E.B.P (CITY-VI)

E.E.B.P (CITY-I)

C.S No. 6/162!
 N. R. Mehta
 NIKHIL R. MEHTA
 LICENSED PLUMBER
 REG. NO. L.P. 2451 M.C.G.M.
 K. Rajesh Pvt. Ltd.

PROJECT :
 PROPOSED MULTI STORED PUBLIC PARKING LOT & RESIDENTIAL BUILDING ON PLOT NO. 14/1629 & 2/1629 IN THE SOUTH WARD OF MCGM, PANDURANG BUDHAR MARG, MUMBAI.

NAME OF CONSULTING ARCHITECTS :
 KASTURI K. PEWIKAR & ASSOCIATES ARCHITECTS
 701, ANANDRAO CHAVAN COMPLEX, 2ND FLOOR, ANANDRAO CHAVAN COMPLEX, ANANDRAO CHAVAN COMPLEX, MUMBAI - 400 001.

KASTURI K. PEWIKAR
 ARCHITECT
 REG. NO. 1474
 701, ANANDRAO CHAVAN COMPLEX, 2ND FLOOR, ANANDRAO CHAVAN COMPLEX, ANANDRAO CHAVAN COMPLEX, MUMBAI - 400 001.

DATE: 19 MAR 2020

3/26 R-0

BRIHANMUMBAI MUNICIPAL CORPORATION
MUMBAI FIRE BRIGADE

Office of the Dy. Chief Fire Officer (R-II), Wadala Fire Station, Shaikh Mistry
 Dargah road, C.G.S. Colony, Opp. Mhada Colony, Antop Hill, Wadala, Mumbai-
 400 037. Telephone No. 24132058 Fax No. 24153027.

SUB: Fire Protection measures & Fire Fighting Safety requirements for the proposed Addition/Alteration/ Amalgamation/Amendment in High rise residential and office building with Public Parking lot on plot bearing C.S.No.2/1629 and 1A/1629 (Amalgamated C.S.No.1A/1629) of Lower Parel Division, Plot No. 249,249-A and 248B of Worli Scheme No.52, G/S Ward, Mumbai.

REF: i) Online File No. EB/1105/GS/A/CFO/1/Amend by Mrs. Kasturi Prakash Zankar, Architect.

MRS. KASTURI PRAKASH ZANKAR, ARCHITECT.

In this case, Fire protection & Firefighting requirements issued by this office vide No. FBM/507/196 dated 29/10/2007, for construction of high rise residential building comprising three ground floor on stilts, parking level-1, podium floor and 31 upper floors (including two refuge floors and 29 residential floors) with a total height of 163.50 meters from ground floor to terrace level as shown on plan (Treated as cancelled).

Further, Fire protection & Firefighting requirements issued by this Office vide No. FBM/508/425 dated 05/01/2009, for amended plans for high rise I.T. building having basement + Ground floor on stilts + 17 upper floors with a total height of 69.00 meters from general ground level to terrace level as shown on plan (Treated as cancelled).

Further, Fire protection & Firefighting requirements issued by the office vide No. FB/HR/City/39 dated 22/04/2010, for amended plans for high rise residential and parking building, Car parking building having two level basement + Ground floor + 1st to 10th upper parking floors with a total height of 38.55 meters from general ground level to terrace level and Residential building having Ground floor + 1st to 5th podium floors + 6th stilt floor + 1st to 33rd upper floors with a total height of 204.60 meters from general ground level to terrace level as shown on plan (Treated as cancelled).

Further, Fire protection & Firefighting requirements issued by this office vide No. FB/HR/City/343 dated 18/11/2011, for amended plans for high rise residential and low rise car parking lot building, Car parking building having two level basement + Ground floor + 1st to 4th upper parking floors (handed over to MCGM) + 5th parking floor for horizontal car parking and scooter parking for Residential building + top of 5th floor for Club House, Swimming Pool, kids pool with a total height of 23.40 meters from general ground level to terrace level (where both 5th floor and top of 5th floor accessible through residential building) and Residential building having Ground floor + 1st to 5th parking floors + 6th stilt floor +1st to 45th upper residential floors with a total height of 192.60 meters from general ground level to terrace level (where both

car parking and Residential building are interconnected at 5th floor and 6th (Stilt floor) as shown on plan.

Further, Fire protection & Firefighting requirements issued by this office vide No. FB/HR/City/119 dated 25/05/2012, for amended plans for high rise residential and car parking lot building, Car parking building having two level basement + Ground floor + 1st to 4th upper parking floors (handed over to MCGM) + 5th parking floor for horizontal car parking and scooter parking for Residential building + top of 5th floor for Club House, Swimming Pool, Kids pool with a total height of 24.00 meters from general ground level to terrace level (where both 5th floor and top of 5th floor accessible through residential building) and Residential building having Two level basement + Ground floor + 1st to 5th parking floors + 6th Stilt floor + 1st to 37th upper residential floors with a total height of 182.70 meters from surrounding ground level to terrace level (where both car parking building and Residential building are interconnected at 5th floor and 6th (Stilt floor) as shown on plan.

Further, Fire protection & Firefighting requirements issued by this office vide No. FB/HR/City/473 dated 19/01/2013 for amended plans for high rise residential and car parking lot building, Car parking building having two level basement + Ground floor + 1st to 4th upper parking floors (to be handed over to MCGM) + 5th parking floor for horizontal car parking and scooter parking for Residential building + top of 5th floor for Club House, Swimming Pool, kids pool with a total height of 24.00 meters from general ground level to terrace (where both 5th floor and top of 5th floor accessible through residential building) and Residential building having Two level basement + Ground floor + 1st to 5th parking floors + 6th stilt floor + structural / service floor + 1st to 9th floors + Fire Check floor + structural/service floor + 10th to 18th floors + structural /service floor + 19th to 25th floors + fire check floor + 26th & 27th floors + structural / service floor + 28th to 37th floors + structural/service floor + 38th to 42th floors with a total height of 207.60 meters from general ground level to terrace level (where both car parking building and Residential building are interconnected at 5th floor and 6th (Stilt floor) as shown on plan.

Further, compliance of stipulated Fire protection & Firefighting requirements is issued by this office vide No. FB/HRC/R-II/33 dated 02/08/2016 for part occupation to occupy & use PPL comprising of two-level basement for car parking accessible by 9.00 meters wide two-way ramp & two car lifts + ground floor for car parking + 1st to 4th parking floors for car parking accessible by 9.00 meters wide two-way ramp as shown on plan.

Further, Fire protection & Firefighting requirements issued by this office vide No. FB/HRC/R-II/22 dated 27/10/2016 for amended plans for high rise building comprising of three buildings i.e. high rise residential building, public car parking lot building and car parking building for residential tenants; high rise residential building having two level basements (-7.70 M) for horizontal car parking accessible by 9.00 meters wide ramp + ground floor for horizontal car parking & amenities + 1st to 5th podium (18.50 M) for horizontal car parking accessible by 9.00 meters wide ramp + 6th podium/stilt (24.00 M) for amenities + 1st to 45th upper residential floors (habitable floors) + lower terrace level for swimming pool & other amenities + upper terrace level with a total height of 227.30 meters from general ground level up to upper terrace level having fire check floors above 9th, 25th & 42nd habitable floors at the height of 68.60 meters, 136.40 meters & 208.10 meters

from general ground level and structural / service floor below 1st& 10th floor and above 18th, 27th,37th& 45th floors at the height of 31.70 meters, 70.40 meters, 107.30 meters, 146.00 meters, 186.80 meters & 221.60 meters respectively from general ground level; public parking lot building having two level basements (-7.55 M) for horizontal car parking accessible by 9.00 meters wide ramp & two car lifts + ground floor for horizontal car parking + 1st to 4th parking floors (17.90 M) for horizontal car parking accessible by 9.00 meters wide ramp & two car lifts (occupation is already granted to two level basements, ground & 1st to 4th parking levels will be used for public parking lot) + 5th parking level for horizontal car parking accessible by 9.00 meters wide ramp of residential building + on top of 5th floor for Swimming Pool, kids pool with a total height of 24.00 meters from general ground level to top of the 5th parking level (both 5th floor and top of 5th floor accessible through residential building) and one club house above top of 5th podium level comprising of lower ground (5th parking level) + ground (top of 5th parking level) + one upper level with total height of 8.00 meters from top of 5th podium level up to terrace level of club house and car parking structure for residential tenants having a ground floor for stack & horizontal car parking & 1st upper floor (pt) for welfare centre having height of 9.15 meters from general ground level up to terrace level. Car parking structure is connected to public car parking lot building at ground floor and PPL building residential building are connected at 5th parking level & top of 5th floor of PPL are connected to 5th podium & 6th podium level of residential building only as shown on plan.

Further, online Fire protection & Firefighting requirements issued by this office vide No. EB/1105/GS/A/CFO/1/Amend. Dated 27/06/2019 for amended plans for proposed construction of High rise residential building having two level basements (-7.70 M) for horizontal car parking accessible by 9.00 meters wide ramp + ground floor for horizontal car parking & amenities + 1st to 5th podium (18.50 M) for horizontal car parking accessible by 9.00 meters wide ramp + 6th podium/stilt (24.00 M) for amenities + 1st to 45th upper residential floors (habitable floors) + lower terrace level for swimming pool & other amenities + upper terrace level with a total height of 223.40 mtrs. from general ground level up to upper terrace level having fire check floors above 9th, 25th& 42nd habitable floors at the height of 68.60 meters, 136.40 meters & 208.10 meters from general ground level and structural / service floor below 1st& 10th floor and above 18th, 27th ,37th& 45th floors at the height of 31.70 meters, 70.40 meters, 107.30 meters, 146.00 meters, 186.80 meters & 221.60 meters respectively from general ground level; Public parking lot building having two level basements (-7.55 M) for horizontal car parking accessible by 9.00 meters wide ramp & two car lifts + ground floor for horizontal car parking + 1st to 4th parking floors (17.90 M) for horizontal car parking accessible by 9.00 meters wide ramp & two car lifts (occupation is already granted to two level basements, ground & 1st to 4th parking levels will be used for public parking lot) + 5th parking level for horizontal car parking accessible by 9.00 meters wide ramp of residential building + on top of 5th floor for Swimming Pool, kids pool with a total height of 24.00 meters from general ground level to top of the 5th parking level (both 5th floor and top of 5th floor accessible through residential building) and one club house above top of 5th podium level comprising of lower ground (5th parking level) + ground (top of 5th parking level) + one upper level with total height of 8.00 meters from top of 5th podium level up to terrace level of club house as well as High rise Office building i.e. Wing-A having three level basements (-14.30 mtrs) for stack car parking accessible by 07.50 mtrs. wide two-way ramp + ground floor partly on

stilt + 1st to 8th upper floors for offices with total height 36.40 mtrs from general ground level up to terrace level with sports facility on terrace floor, as shown on plans; Low Rise Residential building i.e., Wing-B having ground floor on stilt + 1st to 6th upper residential floors with total height 24.00 mtrs. from general ground level up to terrace level, as shown on plans as shown on plan.

Further, compliance of stipulated Fire protection & Firefighting requirements is issued by this office vide No. EB/1105/GS/A/CFO/1/Amend. Dated 10/08/2019 for part occupation to occupy & use two level basements+ ground floor+1st to 5th podium + 6th podium/stilt+ 1st to 22nd upper residential floor of a high-rise residential building comprising two level basement + ground floor+1st to 5th podium+ 6th podium/stilt+1st to 35th upper residential floor as shown on plan.

Further, compliance of stipulated Fire protection & Firefighting requirements is issued by this office vide No. EB/1105/GS/A/CFO/1/Amend. Dated 04/03/2020 for occupation to occupy & use from 23rd floor to 35th floor of high-rise residential building including 1st fire check floor above 25th floor & 1st service floor above 27th floor & club of a high-rise residential building comprising of two-level basement+ ground floor + 1st to 5th podium + 6th podium/stilt + 1st to 35th upper residential floors as shown on plan.

Further, online Fire protection & Firefighting requirements issued by this office vide No. EB/1105/GS/A/CFO/1/Amend. Dated 19/08/2020 for amendments & addition / alteration on page no.4 & 5 for construction of High rise residential building having two level basements (-7.70 M) for horizontal car parking accessible by 9.00 meters wide ramp + ground floor for horizontal car parking & amenities + 1st to 5th podium (18.50 M) for horizontal car parking accessible by 9.00 meters wide ramp + 6th podium/stilt (24.00 M) for amenities + 1st to 49th upper residential floors (habitable floors) + lower terrace level for swimming pool & other amenities + upper terrace level with a total height of 239.00 mtrs. from general ground level up to upper terrace level having fire check floors above 9th, 25th& 42nd habitable floors at the height of 68.60 meters, 136.40 meters & 208.10 meters from general ground level and structural / service floor below 1st& 10th floor and above 18th, 27th ,37th& 49thfloors at the height of 31.70 meters, 70.40 meters, 107.30 meters, 146.00 meters, 186.80 meters & 237.20 meters respectively from general ground level; as shown on the plans. Public parking lot building having two level basements (-7.55 M) for horizontal car parking accessible by 9.00 meters wide ramp & two car lifts + ground floor for horizontal car parking + 1st to 4th parking floors (17.90 M) for horizontal car parking accessible by 9.00 meters wide ramp & two car lifts (occupation is already granted to two level basements, ground & 1st to 4th parking levels will be used for public parking lot) + 5th parking level for horizontal car parking accessible by 9.00 meters wide ramp of residential building + on top of 5th floor for Swimming Pool, kids pool with a total height of 24.00 meters from general ground level to top of the 5th parking level (both 5th floor and top of 5th floor accessible through residential building) and one club house above top of 5th podium level comprising of lower ground (5th parking level) + ground (top of 5th parking level) + one upper level with total height of 8.00 meters from top of 5th podium level up to terrace level of club house as well as High rise Office building i.e. Wing- A having three level basements (-14.30 mtrs) for stack car parking accessible by 07.50 mtrs. wide two-way ramp + ground floor partly on stilt + 1st to 9 th upper floors for offices with total height 30.00 mtrs. from general ground level up to terrace level with sports facility on terrace floor, as shown on plans; Low Rise

Residential building i.e., Wing-B having ground floor on stilt + 1st to 6th upper residential floors with total height 24.00 mtrs. from general ground level up to terrace level, as shown on plans.

Further, compliance of stipulated Fire protection & Firefighting requirements is issued by this office vide No. EB/1105/GS/A/CFO/2/Amend Dated 10/12/2020 for occupation to occupy & use from 36th to 45th upper residential floors including one fire check floor above 42nd floor & one service floor above 37th floor as shown on plan.

NOW, THE ARCHITECT HAS UPLOADED ADDITION/ALTERATION & AMENDED BUILDING PLANS AND PROPOSED AMALGMATION, ADDITION/ALTERATION & AMENDMENTS IN HIGH RISE RESIDENTIAL BUILDING , WING A & WING B MENTIONED AS FOLLOWING:

HIGH RISE RESIDENTIAL BUILDING

1) ADDITION/ALTERATION.

i) Now Architect proposed Addition/Alteration in Occupied floors i.e., Ground floor, 3rd level parking floor, 2nd floor, 6th floor, 7th & 8th floors, 15th floor, 16th floor, 19th floor, 21st to 24th floors, 27th & 28th floors, 30th to 32nd floors, 34th floor & 36th floors.

2) AMALGMATION.

i) Now Architect proposed Amalgamation in Occupied floors i.e., 10th to 12th floors, 18th floor, 25th floor, 31st floor, 28th floors, 36th floor & 40th floor.

3) AMMENDMENT.

- i) Now Architect proposed entire 45th floor instead of earlier approved 45th part floor.
- ii) Now Architect proposed to delete 03 nos. of floors i.e., 47th to 49th floors due to which the total height of building now is 227.30 mtrs. instead of earlier approved 239.00 mtrs.
- iii) Now Architect proposed 01 additional service floor between 45th & 46th floors.

WING A (OFFICE BUILDING).

1) AMMENDMENT

- i) Now Architect proposed 01 additional office floor i.e., 10th floor due to which the total height of the building now is 42.80 mtrs. instead of earlier approved 39.85 mtrs.
- ii) Now Architect proposed to extend 3 level basement (common for wing A & wing B) depth from 14.30 mtrs. to 14.90 mtrs.
- iii) Now Architect proposed to extend floor area of 7th to 10th floor above Wing B.

WING B (LOW RISE RESIDENTIAL BUILDING).

1) AMMENDMENT

- i) Now Architect proposed to relocate Staircase & 02 nos. of Lift.
- ii) Now Architect proposed minor changes in floor wise users.

MINOR CHANGES IN FLOOR-WISE USERS OF THE BUILDING ARE AS UNDER:**HIGH RISE RESIDENTIAL BUILDING**

Floor	Users of the Building
ADDITION/ALTERATION	
Lower Basement (-06.80 mtrs.)	As per earlier approved Plans by this department.
Upper Basement (-03.40 mtrs.)	As per earlier approved Plans by this department.
Ground floor	Society office + electrical meter room + telephone room + D.G. set room + Garbage room + party I assembly hall + ATM + electric sub-station + Cafeteria + pantry + service lift lobby + letter room + Space for female staff toilets + Space for Toilet & Shower.
1 st & 2 nd Podium floors	As per earlier approved Plans by this department.
3 rd Podium floor	Maintenance staff toilet + Horizontal car parking accessible by 09.00metres wide Ramp.
4 th & 5 th Podium floors	As per earlier approved Plans by this department.
6 th floor (Stilt)	As per earlier approved Plans by this department.
Service floor	As per earlier approved Plans by this department.
1 st floor (refuge floor)	As per earlier approved Plans by this department.
2 nd floor	04 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).
3 rd to 5 th floors	As per earlier approved Plans by this department.
6 th floor	04 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).
7 th floor	Proposed 01 no. of Lower-level duplex flat + 03 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).
8 th floor (refuge floor)	Proposed 01 no. of Upper-level duplex flat + 02 nos. of Residential flat + Refuge area.
9 th floor	As per earlier approved Plans by this department.
Fire check floor	As per earlier approved Plans by this department.
Service floor	As per earlier approved Plans by this department.
10 th floor	02 nos. of Residential flat (02 nos. of Residential flat Amalgamated).
11 th floor	02 nos. of Residential flat (03 nos. of Residential flat Amalgamated).
12 th floors	03 nos. of Residential flat (02 nos. of Residential flat Amalgamated).
13 th & 14 th floors	As per earlier approved Plans by this department.
15 th floor (refuge floor)	03 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat) + Refuge area.
16 th floor	04 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).

17 th floor	As per earlier approved Plans by this department.
18 th floor	Proposed 01 no. of Lower-level duplex & amalgamated flat + 02 nos. of Residential flat.
Service floor	As per earlier approved Plans by this department.
19 th floor	Proposed 01 no. of Upper-level duplex flat + 03 nos. of Residential flat (Addition/Alteration in 02 nos. of Residential flat).
20 th floor	As per earlier approved Plans by this department.
21 st floor	04 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).
22 nd floor (refuge floor)	03 nos. of Residential flat (Addition/Alteration in 03 nos. of Residential flat) + Water tank + Pump room + Refuge area.
23 rd floor	04 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).
24 th floor	04 nos. of Residential flat (Addition/Alteration in 02 nos. of Residential flat).
25 th floor	02 nos. of Residential flat (02 nos. of Residential flat Amalgamated).
Fire check floor	As per earlier approved Plans by this department.
26 th floor	As per earlier approved Plans by this department.
27 th floor	04 nos. of Residential flat (Addition/Alteration in 03 nos. of Residential flat).
Service floor	As per earlier approved Plans by this department.
28 th floor	03 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat & 02 nos. of Residential flat Amalgamated).
29 th floor (refuge floor)	As per earlier approved Plans by this department.
30 th floor	04 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).
31 st floor	03 nos. of Residential flat (Addition/Alteration in 02 nos. of Residential flat & 02 nos. of Residential flat Amalgamated)
32 nd floors	04 nos. of Residential flat (Addition/Alteration in 02 nos. of Residential flat).
33 rd floor	As per earlier approved Plans by this department.
34 th floor	04 nos. of Residential flat (Addition/Alteration in 02 nos. of Residential flat).
35 th floor	As per earlier approved Plans by this department.
36 th floor (refuge floor)	02 nos. of Residential flat (Addition/Alteration & Amalgamation in 02 nos. of Residential flat) + Refuge area.
37 th floor	As per earlier approved Plans by this department.
Service floor	As per earlier approved Plans by this department.
38 th floor	As per earlier approved Plans by this department.

39 th floor	As per earlier approved Plans by this department.
40 th floor	02 nos. of Residential flat (02 nos. of Residential flat Amalgamated).
41 st floor	Proposed 01 no. of Lower duplex flat.
42 nd floor	Proposed 01 no. of Upper duplex flat + Proposed 01 no. of Lower duplex flat.
Fire check floor	As per earlier approved Plans by this department.
43 rd floor (refuge floor)	Proposed 01 no. of Upper duplex flat + Electrical meter room + Refuge area.
44 th floor	Proposed 01 no. of Lower duplex flat.
45 th floor	Proposed 01 no. of Lower duplex flat + 01 no. of Upper duplex flat.
Service floor	For services.
46 th floor	Proposed 01 no. of Upper duplex flat + Swimming pool + Plant room for services & equipment's.
Terrace floor	Part terrace for Duplex flat + Part terrace open to sky for services -solar panel.

WING A

Floor	Users of the Building
	AMMENDMENT
Common 3 rd level basement (-14.90 mtrs.)	02 nos. of Pump room + 02 nos. of Fan room + Area for store & services + Surface & Puzzle car parking accessible by 07.50 mtrs. wide ramp.
Basement Level 2 (-10.40 mtrs.)	02 nos. of Fan room + Area for store & services + U.G. tank + Surface & Puzzle car parking accessible by 07.50 mtrs. wide ramp.
Basement Level 1 (-05.90 mtrs.)	02 nos. of Fan room + Commercial panel room + Commercial electric meter room + Surface & Puzzle car parking accessible by 07.50 mtrs. wide ramp.
Ground floor	Double height entrance lobby + Single height entrance lobby + Space for electric substation + Space for D.G. set + C.F.O. room.
1 st floor	02 nos. of Office + AHU space for large double height lobby + Meeting room + Pantry.
2 nd to 5 th floors	05 nos. of office + 02 nos. of Meeting room + Pantry on each floor.
6 th floor	04 nos. of Office + 02 nos. of Meeting room + Pantry + Refuge area.
7 th to 10 th floors	02 nos. of Office + 02 nos. of Meeting room + Pantry.
Terrace	Open to sky

WING B

Floor	Users of the Building
	AMMENDMENT
Common 3 rd level basement (-14.90 mtrs.)	02 nos. of Pump room + 02 nos. of Fan room + Area for store & services + Surface & Puzzle car parking accessible by 07.50 mtrs. wide ramp.
Basement Level 2 (-10.40 mtrs.)	02 nos. of Fan room + Area for store & services + U.G. tank + Surface & Puzzle car parking accessible by 07.50 mtrs. wide ramp.
Basement Level 1 (-05.90 mtrs.)	02 nos. of Fan room + Commercial panel room + Commercial electric meter room + Surface & Puzzle car parking accessible by 07.50 mtrs. wide ramp.
Ground floor	Entrance lobby + Garbage segregation for Commercial EWS + OWC Commercial, EWS.
1 st to 6 th floors	06 nos. of Residential flat on each floor.
Terrace	Yogalaya /Fitness center + Part terrace.

THE DETAILS OF LIFTS OF THE BUILDING ARE AS UNDER;**WING A**

Lifts Type	Profile	Nos. of lifts
Passenger lift	Leading from 3 rd level basement to terrace floor	06 Nos.
Passenger lift	Leading from 6 th floor to terrace floor.	02 Nos.
Stretcher lift	Leading from 3 rd level basement to top floor	01 No.
One passenger lift from each bank shall be converted into fire lift as per norms. The lift lobby & common corridor at each floor level is naturally ventilated too outside air as shown on the plan.		

WING B

Lifts Type	Profile	Nos. of lifts
Passenger lift	Leading from 3 rd level basement to terrace floor	02 Nos.
One of the passenger lifts from shall be converted into fire lift as per norms. The lift lobby & common corridor at each floor level is naturally ventilated too outside air as shown on the plan.		

MINOR CHANGES IN REFUGE AREAS:**RESIDENTIAL BUILDING:**

Refuge floor	Required Refuge area in Sq. Mtrs.	Proposed Refuge area in Sq. Mtrs.	At the height in Mtrs.
1 st floor	As per earlier approved Plans by this department.		
8 th floor	As per earlier approved Plans by this department.		
15 th floor	As per earlier approved Plans by this department.		
22 nd floor	As per earlier approved Plans by this department.		

29 th floor	As per earlier approved Plans by this department.		
36 th floor	As per earlier approved Plans by this department.		
43 rd floor	157.52 sq. mtrs.	157.52 sq. mtrs.	209.90
In addition, above, terrace will be treated as Refuge area. Excess Refuge area shall be counted in F.S.I., as per DCPR 2034.			

WING A

Refuge floor	Required Refuge area in Sq. Mtrs.	Proposed Refuge area in Sq. Mtrs.	At the height in Mtrs.
6 th floor	471.33	471.50 sq. mtrs.	23.80
In addition, above, terrace will be treated as Refuge area. Excess Refuge area shall be counted in F.S.I., as per DCPR 2034.			

THIS PROPOSAL HAS BEEN CONSIDERED FAVORABLY BY TAKING INTO CONSIDERATION THE FOLLOWING:

- a) The party has already obtained N.O.C. from this department FBM/507/196 dated 29/10/2007, FBM/508/425 dated 05/01/2009, FB/HR/City/39 dated 22/04/2010, FB/HR/City/343 dated 18/11/2011, FB/HR/City/119 dated 25/05/2012, FB/HR/City/473 dated 19/01/2013, FB/HRC/R-II/33 dated 02/08/2016, FB/HRC/R-II/22 dated 27/10/2016, EB/1105/GS/A/CFO/1/Amend. Dated 27/06/2019, EB/1105/GS/A/CFO/1/Amend. Dated 10/08/2019, EB/1105/GS/A/CFO/1/Amend. Dated 04/03/2020, EB/1105/GS/A/CFO/1/Amend. Dated 19/08/2020 & EB/1105/GS/A/CFO/2/Amend Dated 10/12/2020.
- b) The party has already obtained Full C.C. u/no. EB/1105/GS/A/FCC/1/Amend dated 26/07/2019 for **Residential building** up to 45th floor and same is constructed up to 45th floor, EB/1105/GS/A/FCC/6/Amend dated- 22/04/2022, for **Office building (Wing A)** up to 9th part floor and same is constructed up to 2nd floor & for **Residential building (Wing B)** up to 6th floor and same is constructed up to 4th floor
- c) The party has already obtained part occupation certificate from EEBP (City) u/no. EB/1105/GS/A/OCC/1/New dated- 27/09/2019 for 2 basements + Ground + 1st & 3rd parking floors + 22 habitable floors + 3 service floors + 1 fire check floor. of Residential building, EB/1105/GS/A/OCC/1/New dated-10/06/2020 for 4th and 5th (Below Tower Portion) parking floor + 23rd to 35th habitable floors + 1 service floor (Between 27th and 28th habitable floor) and 1 fire check floor (Between 25th and 26th habitable floor) and club house & EB/1105/GS/A/OCC/2/New dated- 18/12/2020 for 2nd parking floor + 5th parking floor (Beyond Tower Portion) + Stilt + 36th to 45th habitable floors + 1 service floor (Between 37th and 38th habitable floor) and 1 fire check floor (Between 42nd and 43rd habitable floor).
- d) F.R.D.'s is proposed for main entrance of each flat, office, staircases, lift lobbies etc. provisions.
- e) The inbuilt fixed firefighting system such as wet riser cum down comer, down comer hydrant system, fire alarm system, automatic smoke detection system, automatic sprinkler system, integrated system, voice evacuation system, public address system, Voice evacuation system, Fire control room etc. were recommended for compliance.
- f) This NOC is subject to approval by High Rise Technical Committee.

Architect is requested to scrutinize the plans as per amended DCPR-2034 & verify civil work and all other requirements pertaining to civil Engineering side including open spaces, corridors, staircases, amendments, height, refuge area in sq. Mtrs. & Floor occupancy of the building and if these plans, given open space is not

approvable then this NOC shall be treated as cancelled & refer back to this department for revised NOC also till then further process of issuing IOD & C.C. shall not be permitted.

In view of above, as far as this department is concerned there is no objection for the Addition/Alteration/ Amalgamation/amendment in Residential building, Wing A & Wing B for the construction of High-rise Residential cum Commercial Building having 2 level Basement (-06.80 mtrs.) + 1st to 5th Podium floors + 6th floor (Stilt floor) + Service floor + 1st to 9th upper residential floors + Fire check floor + Service floor + 10th to 18th upper residential floors + Service floor + 19th to 25th upper residential floors + Fire check floor + 26th & 27th upper residential floors + Service floor + 28th to 37th upper residential floors + Service floor + 38th to 42nd upper residential floors + Fire check floor + 43rd to 45th upper residential floors + Service floor + 46th upper floor with total height of 227.30 mtrs. from general ground level up to terrace level, Wing A having common 3 level basement (-14.90 mtrs.) + 1st to 10th upper commercial floors with total height of 42.80 mtrs. from general ground level up to terrace level & Wing B having common 3 level basement (-14.90 mtrs.) + Ground floor + 1st to 6th upper residential floors with total height of 24.00 mtrs. from general ground level up to terrace level, as per the details shown on the plans signed in token of approval, subject to satisfactory compliance of the following requirement:

1. All the requirements stipulated earlier vide online N.O.C. u/no. FBM/507/196 dated 29/10/2007, FBM/508/425 dated 05/01/2009, FB/HR/City/39 dated 22/04/2010, FB/HR/City/343 dated 18/11/2011, FB/HR/City/119 dated 25/05/2012, FB/HR/City/473 dated 19/01/2013, FB/HRC/R-II/33 dated 02/08/2016, FB/HRC/R-II/22 dated 27/10/2016, EB/1105/GS/A/CFO/1/Amend. Dated 27/06/2019, EB/1105/GS/A/CFO/1/Amend. Dated 10/08/2019, EB/1105/GS/A/CFO/1/Amend. Dated 04/03/2020, EB/1105/GS/A/CFO/1/Amend. Dated 19/08/2020 & EB/1105/GS/A/CFO/2/Amend Dated 10/12/2020 shall be strictly adhered to.
2. **REQUIREMENTS STIPULATED EARLIER SHALL BE CONSIDER WITH ADDITIONAL REQUIREMENT:**
FLAT ENTRANCE & STAIRCASE OF DUPLEX FLAT.
 - a) The duplex flat will have access through the main staircase at each floor level
 - b) Internal staircase of duplex flat shall be of non-combustible material.
 - c) No combustibles shall be kept or stored in staircase/passages.
3. All the Fire Protection & Fire-Fighting requirements stipulated in above said N.O.C.'s shall be applicable from Basement level / parking floors and upper typical floors level of building & each wing.
4. **No any changes except as stated above and as shown on the enclosed plans shall be carried out on the premises unless permitted by this department.**

The concerned party has paid scrutiny fees time to time as mentioned below:

Sr. No.	Reference Number	Scrutiny fees paid, Rs.	Gross built up area, sq. mtrs.	Receipt No.	SAP No, Doc.	Date
1	Proposal FBM/507/196 dtd.29/10/2007	Rs.4,71,250/-	47,125.00 sq. mtrs.	261839	--	25-10-2007

2	Amendment FBM/508/425 dtd. 05/01/2009.	Rs.26,850/-	49,810.00 sq. mtrs.	0463565	1000213492	31-12-2008
3	Amendment FB/HR/City/39 dtd.22/04/2010	Rs.81,900/-	81,690.00 sq. mtrs.	094701	1000429247	03-10-2009
		Rs.7,35,000/-		094702	1000429256	03-10-2009
4	Amendment FB/HR/City/343 dtd.18/11/2011.	Rs.8,76,000/-	109550.00	3954191	1000992191	14-11-2011
5	Amendment FB/HR/City/119 dtd.25/05/2012.	Rs.6,99,000/-	1,44,500.00 sq. mtrs.	5881277	1001156027	25-05-2012
6	Amendment FB/HR/City/473 dtd.19-01-2013.	Rs.6,42,200/-	1,41,288.00 sq. mtrs.	5940561	1001317632	14-01-2013
7	Part O.C.PPL. FB/HRC/R-II/33 dtd. 02/08/2016	Rs.13,12,010/- Approval letter not issued.	1,38,406.00 sq. mtrs.	5280075	1002165940	11-06-2015
8	Amendment FB/HRC/R-II/22 dtd. 27/10/2016.	Rs.13,48,951/-	1,58,799.00 sq. mtrs.	0553216	1002581679	07-06-2016
9	Amendment EB/1105/GS/A/ CFO/1/Amend. dtd.27/06/2019.	Rs.56,33,140/-	2,09,134.00 sq. mtrs.	---	CHE/BP/28 127/19	07/06/2019
					CHE/28976 /19	15/06/2019
10	Part O.C. EB/1105/GS/A /CFO/1/Amend dtd.10/08/2019	Not levied	92750.00 sq. mtrs.	Not levied	Not levied	Not levied
11	Part O.C. EB/1105/GS/A/ CFO/1/Amend dtd.04/03/2020	Not levied	23900.00 sq. mtrs.	Not levied	Not levied	Not levied
12	Amendment EB/1105/GS/A/ CFO/1/Amend dtd.04/03/2020	Rs435,559/- Autogenerated	2,17,354.00 Sq.mtrs	-----	CHE/BP/418 28/20	13/07/2020
		Rs.561,926/-			CHE//42077/ 20	25/07/2020

Scrutiny Fees:

Now, the party has paid Scrutiny Fees of amount of Rs. 20,000/- under Online receipt no. CHE/BP/86635/22 dated 30.06.2022 & Rs. 5,57,854/- under Online receipt no. CHE/CFO/87336/22 dated- 12/07/2022 on the total gross built up area admeasuring 2,24,401.00 sq. mtrs., as certified by the Architect.

Fire Service Fees:

Architect has certified height of the building as 227.30 mtrs. & Total Gross built up area as 2,24,401.00 sq. mtrs. for the said High-rise Residential Building & as per schedule II of section 11(1) of Maharashtra fire prevention & life safety measure act 2006, has paid "Fire Service Fee" of Rs. 33,66,015/- vide CFC Receipt No./Online Receipt No. CHE/CFO/87336/22 dated- 12/07/2022.

Architect is requested to verify the total built-up area and inform this department, if the same is found to be more for the purpose of levying additional Scrutiny fees, if required.

Note:

- i) The Fire-Fighting installation shall be carried out by Govt. of Maharashtra approved Licensing Agency.
- ii) The width of Abutting Road & Open spaces is mentioned in plans as submitted by the Architect attached herewith & these parameters shall be certified by the Architect
- iii) The Schematic Drawings / Plans of Automatic sprinkler system, Automatic smoke detection system, Wet riser system, public address system, Manual fire alarm system shall be submitted to C.F.O. dept.
- iv) The area, size, etc. for the Sprinkler system, Detection system, Fire alarm system, Wet riser system, public address system, Fire duct, Electrical duct etc. to be verified & examined by M.E.P. Consultant.
- v) Separate necessary permission for any licensable activity shall be obtained from concerned authorities of M.C.G.M. / C.F. O's Department, till then shall not be allowed to use.
- vi) There shall be no tree located in the compulsory open spaces or in the access way near the Entrance gates.
- vii) This recommendation letter is issued only from Fire Protection & Fire-Fighting requirements point of view on behalf of the online application from Architect. If any matter pertaining to authenticity or legality shall be cleared by concerned Owner / Occupier / Developer / Licensed Surveyor. etc.
- viii) The plans approved along with this approval are issued from Fire Risk & Life Safety point of view only. Approval of these plans does not mean in any way of allowing construction of the building. It is Architect / Developers responsibility to take necessary prior approval from all concerned competent authorities for the proposed construction of the building.
- ix) As per Section 3 of Maharashtra Fire Prevention & Life Safety Measures Act. 2006, it is the liability of Owner / Occupier to provide the Fixed Fire-Fighting installations & shall be maintained in good working order & in efficient condition all the time, in accordance with the provisions of Maharashtra Fire Prevention & Life Safety Measures Act. or the Rules.
- x) This approval is issued without prejudice to legal matters pending in court of law, if any.
- xi) This NOC is subject to approval by High Rise Technical Committee.

Div. Fire Officer
(Scrutinized and Prepared by)

Dy. Chief Fire Officer
(Approved by)

Copy To: **E.E. (B.P.) City.**



भारतीय विमानपत्तन प्राधिकरण
AIRPORTS AUTHORITY OF INDIA

AAI/20012//447/2006 -ARI (NOC)

Dt: 11th Oct. 2013.

To:

✓ M/s. K. Raheja Private Ltd.,
Plot No. C-50, Block G,
Next to Bank of Baroda,
Bandra Kurla Complex,
Bandra (East)
Mumbai - 400 051.

Subject: Revalidation of NOC – Case No. MUM/317-K.

Sir,

Please refer to letter No. NCL dated 23rd July 2013 through your authorized representative and letter dated 3rd September, 2013 from M/s. K. Raheja Private Limited on the above mentioned subject for revalidation of the NOC issued by this office.

The NOC issued by this office vide letter of even number dated 22nd August 2008 for construction of residential building by M/s. K. Raheja Pvt. Ltd. at Bandra Kurla Complex hereby extended for another three years i.e. upto 21st August 2016, on same terms and conditions as mentioned in the NOC.

This issues with the approval of the Competent Authority

Yours faithfully,

J. J. Prasad,

ASST. GENERAL MANAGER (ATM-NOC)
for GENERAL MANAGER (ATM-NOC)

Copy to

1. The Regional Executive Director Western Region, Airports Authority of India, CSi Airport, Mumbai – 400 099.
2. Mumbai International Airport Ltd. (MIAL), CSi Airport, 1st Floor, Terminal 'B', Santacruz (E.), Mumbai – 400 099
3. Guard File.
4. GM.NOC Bundle.

Ref: MIAL/AO-AOS/REC/47/6230

Date: 08/07/2022

To,
The Deputy Chief Engineer
Building Proposal (City - I), G-1/2 Dosti Venus
Off. S. M. Road, Opp Dosti Estate,
Vidyalankar Marg, Nr. Vidyalankar College,
Walmiki Chowk, Wadala (East), Mumbai 400037

Sub: Proposed composite development of residential and office building with Public Parking lot on plot bearing C.S.No.2/1629 and 1A/1629 (Amalgamated C.S.No.1A/1629) of Lower Parel Division, Plot No. 249,249-A and 248B of Worli Scheme No.52, G/SWard, Mumbai.

Ref: 1) MCGM BP File No: EB/1105/BS/A-AAI/1/New.
2) AAI NOC Case No: MUM/317-K; Date: 22/08/2008

Dear Sir,

This is in reference to MCGM online request on auto DCR, dated 20th May 2022, on the above mentioned subject.

Joint site verification of the building under reference was carried out on 23rd June 2022 in presence of MIAL representative and Mr. Vaibhav Samarth (A.V.P. Projects – M/s K. Raheja Pvt Ltd). Please find attached picture of the building which was verified and details regarding top elevation (in meter AMSL) of the building are mentioned in the table below.

Building	LMR + Staircase Room	Antenna	Shed on Duct
Top Elevation	233.41	234.50	233.75

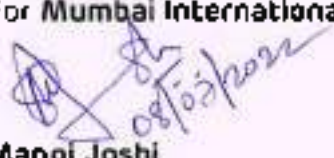
The NOC issued by AAI for this plot/building is for 235.48 m AMSL. The developer has provided obstacle lighting as per the guidelines specified in chapter 5 of DGCA Civil Aviation Requirement (CAR) Section – 4, Series B, Part - I.

The above is for your information and further necessary action please.

Thanking you,

Yours sincerely,

For Mumbai International Airport Ltd



Manoj Joshi

Sr. Manager- Airport Operation Services

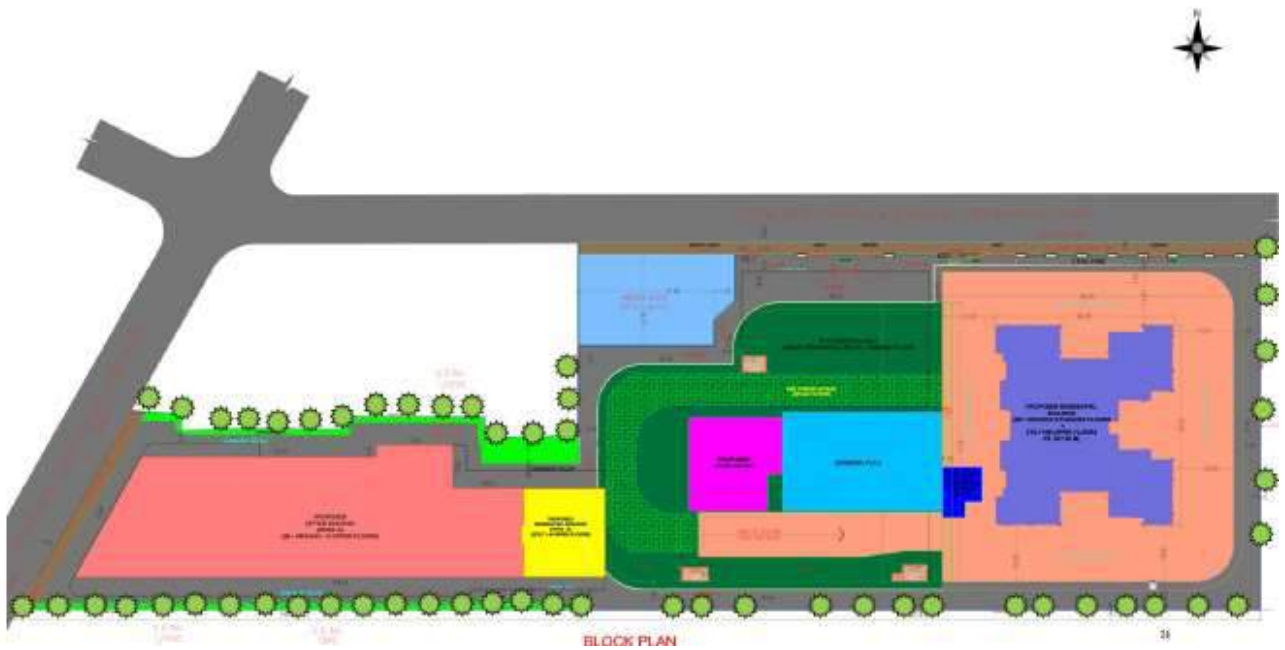
Encl: As Above.

Mumbai International Airport Limited

Chhatrapati Shivaji Maharaj International Airport
1st Floor, Terminal 1B, Santacruz (E),
Mumbai 400 099,
Maharashtra, India
CIN: U45203MH2006PLC160164

Te: +91 22 6685 0500 / 6685 0901
cmia@airport.mil.ae

1.5m strip of RG is provided as per DCPR





Photographs of Labour camp

ANNEXURE XII



Photographs of Labour camp



Photographs of Labour camp



Photographs of Labour camp





MUNICIPAL CORPORATION OF GREATER MUMBAI
(Solid Waste Management Department)

Office of Executive Engineer,
SWM SWM Zonal Office 2,

Application Number - EB/1105/GS/A/SWM/12/Amend, dated - 15 Jul 2021
Issued remarks Number /008079/2021/G/S/CTY Dated 15 Jul 2021.

To (Architect / L.S), KASTURI KEDAR PEWEKAR Plot No. C-30, Block 'G', Opp. SIDBI, Bandra Kurla Complex, Bandra (East)	CC (Owner), M/s. K Raheja Pvt.Ltd. Raheja Tower, Plot No. C-30, Block 'G', Next to Bank of Baroda, Bandra Kurla Complex, Bandra (E), Mumbai-400051
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Subject :- Approval to Construction & Demolition Waste Management Plan for the site at CTS/CS Number 2/1629,1A/1629 of village Lower Parel at ward G/South.

Reference :- Your application / online submission for C&D Waste Management Plan levelling & filling at designated site dtd. 15 Jul 2021.

With reference to your application/ online submission, the Debris Management Plan submitted by you has been approved as per "Construction and Demolition Waste Rules 2016" and you are allowed to transport Construction & Demolition/ Excavation Material from construction site to the unloading site subject to following terms & conditions.

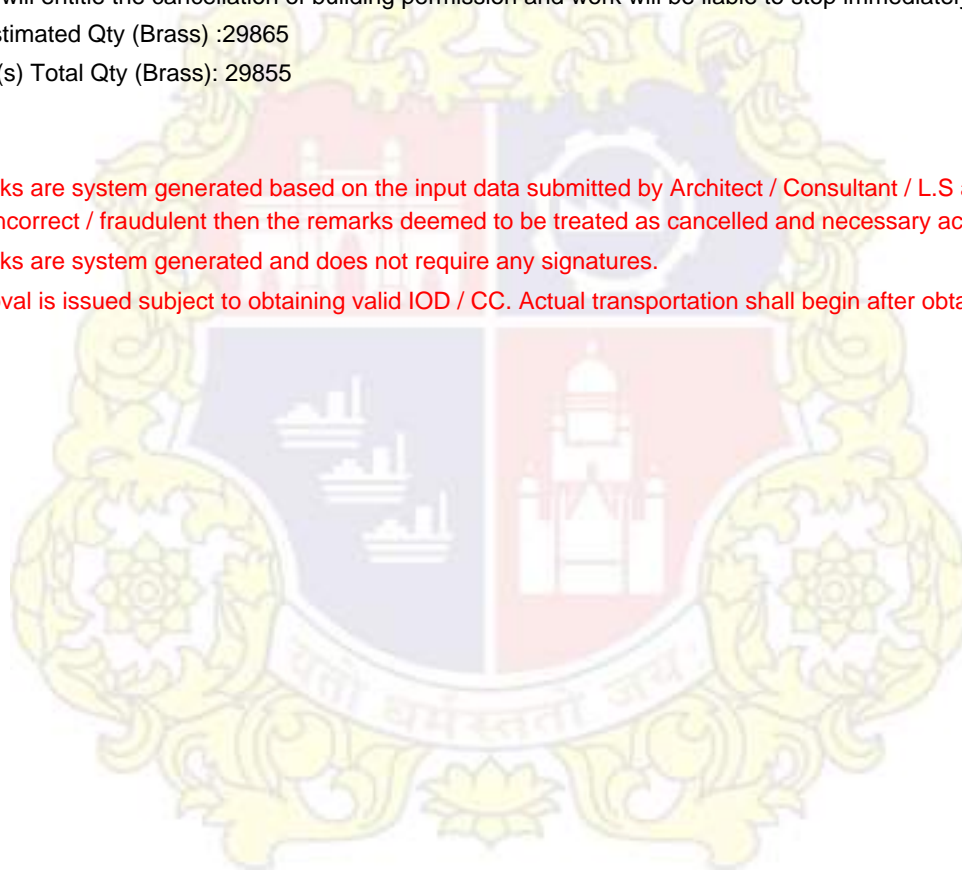
1. This approval is subject to the orders given by Hon. Supreme Court u/no. in SLP (Civil) No. D23708/2017 dated 15.3.2018. You shall follow this order of Hon. Supreme Court and instructions therein.
2. You shall handle & transport **Construction & Demolition Waste / Excavation Material to the extent of 1200 Brass only to the designated unloading site M/s. Navi Mumbai SEZ Pvt. Ltd., Village Dronagiri, Taluka Uran, District Raigad, Navi Mumbai (Part - II).(Mr. Shabbir - 9322340359 shabbirtransport@gmail.com) & validity 23 Jun 2022.**
3. You shall transport the C&D waste with proper precautions and employ adequate measures safe guards to dispersal of particles through the air.
4. You have mentioned designated site for transportation of C&D waste for filling and levelling purpose. The C&D waste shall be transported and deposited at the designated site only The Landfill site (unloading site) shall be governed by the Construction and Demolition Waste Management Rules, 2016 and Solid Waste Management Rules, 2016.
5. In the event for any reason whatsoever, the consent given by the Designated Site / Agency is revoked or the time limit for the designated site has expired or the capacity of unloading site is exhausted. In such case the builder / developer shall forthwith stop the transportation activities. The builder / developer shall submit revised Construction and Demolition waste management plan along with required valid documents for revalidation of existing C&D waste Management Plant.
6. The construction & Demolition Waste shall be transported through your Transport Contractor. The details of the same shall be uploaded in the system by the applicant at the time of actual transportation.
7. The deployed vehicles shall abide by all the R.T.O. rules and regulations. You shall ensure that the vehicles should be properly covered with tarpaulin or any other suitable material firmly to avoid any escape / fall of waste on road from moving vehicle. The body and wheels

shall be cleaned and washed thoroughly to avoid spreading of waste on road.

8. The copy of approved Construction and Demolition Management Plan Shall be accompanied with each and every vehicle under this approval. The developer shall issue the proper Challan for each and every trip of vehicles and that shall be acknowledged by the agency of unloading site. The developer shall maintain record of C&D material transported and shall make it available to MCGM and / or Monitoring Committee whenever required for inspection.
9. The approval is granted presuming that the papers submitted by the applicants / Owners are genuine. For any dispute arising out of documents submitted by applicant, POA / Occupant / Owner shall be held responsible as prescribed under the law prevailing in force.
10. The approval granted hereto does not absolve the other approval required from the other department of M.C.G.M. OR Govt. authorities.
11. In case of disputes, court matters etc. related to the subject site / land / property, this approval cannot be treated as a valid proof.
12. In case of any breach of condition is brought to the notice of MCGM or Monitoring Committee, Show Cause Notice will be issued and decision will be taken within one month as expeditiously as possible, which shall be binding on you / land owner.
13. This approval is not a permission for excavation or permission for dumping but this is the only approval under Construction & Demolition Waste Management Plan for the transportation of Construction & Demolition Waste for unloading at designated unloading site.
14. You / Land owner shall submit valid Bank Guarantee from the bankers approved by the MCGM and the amount applicable as per attached table. The bank guarantee remains valid till grant of Occupation Certificate (OCC).
15. The license architect / license engineer shall upload compliance report in respect of Construction & Demolition Waste Management Plan, any breach will entitle the cancellation of building permission and work will be liable to stop immediately.
16. (A) Project Total Estimated Qty (Brass) :29865
(B) Obtained NOC(s) Total Qty (Brass): 29855

Note:

1. The above remarks are system generated based on the input data submitted by Architect / Consultant / L.S and if in future it is found that the data is incorrect / fraudulent then the remarks deemed to be treated as cancelled and necessary action will be initiated.
2. The above remarks are system generated and does not require any signatures.
3. This C & D approval is issued subject to obtaining valid IOD / CC. Actual transportation shall begin after obtaining valid IOD / CC only.





Maharashtra Pollution Control Board

महाराष्ट्र प्रदूषण नियंत्रण मंडळ

Form 4

See rules 6(5),13(8),16(6) and 20(2) of Hazardous and other wastes 2016

FORM FOR FILING ANNUAL RETURNS

[To be submitted to state pollution control board/pollution control committee by 30th June of every year for the preceeding period April to march]

Unique Application Number:

MPCB-HW_ANNUAL_RETURN-0000036379

Submitted On:

15-06-2023

Industry Type :

Generator

Submitted for Year:

2023

1. Name of the generator/operator of facility

M/s. K Raheja Pvt. Ltd.

Address of the unit/facility

Plot bearing CS No 2/1629 & 1A/1629 of Lower Parel division, Plot No. 249 & 249 A, 248 B of Worli estate scheme No. 52, Worli, Mumbai

1b. Authorization Number

Format 1.0/BO/CAC-cell/UAN No. 0000028220/CE(Exp) & Amalgamation/ CAC- 1808000657 dated 16.08.2018 & Format 1.0/CAC-CELL/UAN No. 0000076911/CE-1912000103 Dated. 04.12.2019 & Format 1.0/CAC-CELL/UAN N

Date of issue

Nov 11, 2020

Date of validity of consent

Nov 10, 2025

2. Name of the authorised person

Mr. Vaibhav Samarth (General Manager - Engineering)

Full address of authorised person

M/s. K Raheja Pvt. Ltd Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No. 249 & 249 A, 248 B of Worli estate scheme No. 52, Worli, Mumbai

Telephone

09167779454

Fax

02226564560

Email

vsamarth@kraheja.com

3. Production during the year (product wise), wherever applicable

Product Type *	Product Name *	Consented Quantity	Actual Quantity	UOM
OTHERS	NA as project is for Residential tower building, Multi Storied Public Parking Lot building & Office Building. Residential Building	0.0000	0	--NA--

PART A: To be filled by hazardous waste generators

1. Total Quantity of waste generated category wise

Type of hazardous waste	Waste Name	Consented Quantity	Quantity	UOM
5.1 Used or spent oil	Used Oil or Spent Oil	0.100	0.150	KL/Anum

2. Quantity dispatched category wise.

Type of Waste	Quantity of waste	UOM	Dispatched to	Facility Name
5.1 Used or spent oil	0.150	KL/Anum	Recycler or Actual user	Mercury Metal Industries, Mumbai

3. Quantity Utilised in-house, If any

Type of Waste	Name of Waste	Quantity of Waste	UOM
5.1 Used or spent oil	Used Oil or Spent Oil	0	KL/Anum

4. Quantity in storage at the end of the year

Type of Waste	Name of Waste	Quantity of Waste	UOM
5.1 Used or spent oil	Used Oil or Spent Oil	0	KL/Anum

5. Quantity disposed in landfills as such and after treatment

Type	Quantity	UOM
Direct landfilling	NA	KL/Anum
Landfill after treatment	NA	KL/Anum

6. Quantity incinerated (if applicable)

UOM
NA

PART B: To be filled by Treatment, storage, and disposal facility operators

1. Total Quantity received **UOM** **State Name**

NA	KL/Anum	Maharashtra
----	---------	-------------

2. Quantity in stock at the beginning of the year **UOM**

NA	KL/Anum
----	---------

3. Quantity treated **UOM**

NA	KL/Anum
----	---------

4. Quantity disposed in landfills as such and after treatment

Type	Quantity	UOM
Direct landfilling	NA	KL/Anum
Landfill after treatment	NA	KL/Anum

5. Quantity incinerated (if applicable) **UOM**

NA	KL/Anum
----	---------

6. Quantity processed other than specified above **UOM**

NA	KL/Anum
----	---------

7. Quantity in storage at the end of the year. **UOM**

NA	KL/Anum
----	---------

PART C: To be filled by recyclers or co-processors or other users

1. Quantity of waste received during the year

Waste Name/Category	Country Name	State Name	Quantity of waste received from domestic sources	Quantity of waste imported (If any)	Units
NA	India	Maharashtra	NA	NA	KL/Anum

2. Quantity in stock at the beginning of the year

Waste Name/Category	Quantity	UOM
NA	NA	KL/Anum

3. Quantity of waste recycled or co-processed or used

Name of Waste	Type of Waste	Quantity	UOM
NA	NA	NA	KL/Anum

4. Quantity of products dispatched (wherever applicable)

Name of product	Quantity	UOM
NA	NA	KL/Anum

5. Total quantity of waste generated

Waste name/category	quantity	UOM
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NA	NA	KL/Anum
----	----	---------

6. Total quantity of waste disposed

Waste name/category	quantity	UOM
NA	NA	KL/Anum

7. Total quantity of waste re-exported (If Applicable)

Waste name/category	quantity	UOM
NA	NA	KL/Anum

8. Quantity in storage at the end of the year

Waste name/category	quantity	UOM
NA	NA	KL/Anum

9. Quantity disposed in landfills as such and after treatment

Type	Quantity	UOM
Direct landfilling	NA	KL/Anum
Landfill after treatment	NA	KL/Anum

10. Quantity incinerated (if applicable)

UOM
KL/Anum

Personal Details

Place	Date	Designation
Mumbai	2023-06-15	General Manager - Engineering

SR NO	DATE	VEH NO	PUC NO	PUC ISSUE DATE	PUC EXPIRY DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	B/SUP SIGN	REMARK
	22/09/2023	GJ-15-AT 3714	MH00401550012183	20/09/2023	19/09/2024	Bia Bula	S.K. Vardan 9076940474			#
	25/09/2023	DD-01 M-9911	NEW			R. NEWSwakashita	Nadeem 6394919090			R. Kumar
	27/09/2023	MH-01 CV-7822	MH0010089	25/12/2022	24/12/2023	Jay Prakash Tri	Jay Prakash 9938289901			R. Kumar
	29/09/2023	MH48 BM 5526	MH04600480003921	09/10/2022	08/10/2023	रामनाथ यादव	इमरान अली 6392315383			#
	29/09/2023	MH48 CA 1506	New			इन्दोवलीनल	रहीमान 9975400891			#
	29/09/2023	MH04 HD 8154	MH04700070001350	11/09/2022	10/09/2024	UCON P.T.	shinwar 746031701			#
	30/09/2023	MH12 PG 0268	MH00101150003812	24/12/2022	23/12/2023	उरिश	धर्मि 7304689603			#
	30/09/2023	MH-48 AG-9797	GJ01500190011924	10/08/2023	09/02/2024	Taj Carriers	Vasom 8471024524			R. Kumar
	01/10/2023	MH48 BM 9815	MH00402570002669	23/03/2023	22/03/2024	INAI.	कुबेरचान 8459614590			Dity.
	02/10/2023	UP-63 AT-4547	GJ01900220003829	13/06/2023	12/06/2024	Sani Transport	Mangesh Bhai 9226341327			R. Kumar
	04/10/2023	MH-48 BM-5526	MH04600480003921	09/10/2022	08/10/2023	Sanjay Transp	Indian Ali 6392315383			R. Kumar

ANNEXURE V

SR NO	DATE	VEH NO	PUC NO	PUC ISSUE DATE	PUC EXPIRY DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
105	27/10/2023	DD01 M 9697	New	-	-	Tezcatiate om sei	Narayan Das Budal 8268937901	N. Budal		✓
106	27/10/2023	DD01 M 9828	New	-	-	Super Bharat Roadway om sei	Abdul Raheeb 9132883450	A.R. Budal		✓
107	27/10/2023	MH04 FP 3402		27/12/2023	26/06/2024	Raj water Supp	Amit Nitai 9076208394	Amit Nitai		✓
108	27/10/23	MH48 CA 3678	New	-	-	ASO Temp Service Shankshik	अमित मितल 9619505713	RK		✓
109	27/10/23	MH46 BU 4487		20/10/2023	19/10/2024	Jagdamba Road	अमित मितल 9083640308	Amit		✓
110	27/10/2023	MH04 KF 1310		29/03/2022	28/03/2023	POTER	PRAMAR MON ANSHU 8928792096			✓
111	30/10/2023	MH48 CB 4157		10/04/2023	09/04/2024	I who (actors)	Sarjoi	सरोज कर्म		✓
112	30/10/23	MH-14 KA-9657	NEW	-	-	Nav Nath Transp	Nag Nath 9373717630	Nag Nath	R. Kumar	
113	31/10/23	MH43 BP 9862		18/01/23	17/01/2024	Prakash Transport	प्रकाश त्रिपाठी 9594683903	प्रकाश त्रिपाठी		✓
114	-11-	MH01 EE 2900		27/10/23	24/10/2024	Arny electrical	Anand kumar 9867607233	Anand kumar		✓
					22/03/2024	Darshita Ent.	Yugesh	Yugesh		✓

SR NO	DATE	VEH NO	PUC NO	PUC ISSUE DATE	PUC EXPIRE DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	B/SUP SIGN	REMARK
17)	31/10/23	MH-03 DV-3954	MH00300880008713	02/05/23	01/05/24	J.K. Infra	Digambar koli		AG	more ok
18)	—	MH-01 EE-1029	MH00401920001674	25/09/23	24/09/24	Unique Elevators	Rajaram		AG	more ok sub 01/11/23
19)	01/11/23	MH04 LE 0721	New	—	—	Elevators	Ravi Shankar 6393333605		AG	
20)	—	MH03 CE 3696	New	—	—	Shivam Transport	Amarnath Yadav 6390396594		AG	
21)	—	MH-04 HD-8154	MH04700070001350	11/09/23	10/09/24	Uttaracon	Shahbaz 7400341701		AG	more
22)	—	MH-03 DV-8263	MH003005100547	22/09/23	21/09/24	Trunkye	Cyameesh		AG	more
23)	—	MH-04 FP-5725	MH04700100031109	25/10/23	24/04/24	Om Sai	Balister Yadav 8928381906		AG	more
24)	02/11/23	MH03 AG 7370	MH0430080007625	02/11/23	01/11/24	S.K. Khem Transport	Gaya suddin Khem 9004258328		AG	
25)	—	MH02 ER 3431	MH0101320004608	26/10/23	25/01/2024	Self Express carrier	Babu 9892698450		BAPU	more
26)	—	MH-03 DV-3954	MH00300880008713	02/05/23	01/05/24	J.K. Infra	Digambar koli 9702314981		AG	more
27)	—	MH-04	MH00902340000141	15/12/22	14/12/23	Mahi Transport	Usuf Bhai		AG	more

SR NO	DATE	VEH NO	PUC NO	PUC ISSUE DATE	PUC EXPIRE DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	B/SUP SIGN	REMARK
179)	03/11/23	MH46800 0925	New		26/09/24	Bastiwala	Kamal 9702177374	Kamal	AG	
180)	-L	MH46BP 7209	New	22/02/23	21/02/24	-L	Habi Bar 7099291378	Kamal	AG	
181)	-L	MH03CV 5756	MH03CV047005080	23/01/23	22/01/24	BFS malini Entem Prises (BFS)	Ajruddin 8779325605		AG	
182)	-L	MH03DV 8406	New	-	-	Badsha S.K. Inf.	Badsha 9892422111	Badsha	AG	
183)	-L	MH04LP 2467	New	-	-	carrier Neel Kauth	Dinesh 9220976012	Neel Kauth	AG	
184)	-"	MH-46 BP-4590	New	22/02/23		Bastiwala	Siraj 6003542983	SIRAJ	AG	
185)	-"	MH-48 CR-3788	New	27/09/23		Jaiswal	Schraj Ali 9151173757	Schraj	AG	
186)	-"	MH-11 CH-9666	MH00101200021931	13/01/23	12/01/24	The Times of Aqua	Imran 964888954	Imran	" AG	
187)	-"	MH-48 CB-9509	MH00402570002984	22/05/23	21/05/24	Boardha Enterprises	mukesh Raj 9506904985	Mukesh	AG	
188)	-L	MH01EE 3130	New		01/01/24	Aqua Seal	Siraj 9702821573	Siraj	AG	
189)	04/11/23	MH-04	MH04300740004722	05/09/23	04/09/24	Trunkye	Purshotam			

SR NO	DATE	VEH NO	PUC NO	PUC ISSUE DATE	PUC EXPIRY DATE
191)	04/11/23	MH-03 CP-5602	MH00300950008117	30/01/23	29/01/24
192)	05/11/23	MH48 AGI 9594	MH04700050002755	16/08/2023	15/02/2024
193	→	MH04JU 3805	MH00402570001647	17/11/2022	16/11/2023
194	→	MH04 H.D. 6384	MH00582610001205	12/02/2023	11/02/2024
195	06/11/23	MH-48 CB-4157	MH00402570002800	10/04/23	09/04/24
196	→	MH-48 AY-5810	MH00100570001958	25/01/23	24/01/24
197	08/11/2023	MH46BB 9346	MH001012200034 58	20/12/22	19/12/2023
198	09/11/23	MH46BM 4113	MH04600010015750	10/01/23	09/01/24
199-	09/11/23	MH04JU 3805	MH004025700016 47	17/11/2022	16/11/2023
200	10/11/23	MH-47 AS-1699	MH04701170002437	02/10/23	01/10/24
201.	11/11/2023	MH46BM	MH04600010015750	10/01/2023	09/01/2024

TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	B/SUP SIGN	REMARK
K. R. C.	Dinesh		AG	
Ashaka Corpat Sarmat	Anil. Mahato 7977251980	Anil	AG	
Sara (Innovator)	Naresh 7387484606	Naresh	AG	
Akshay Sexu Tempore Service	Akshay Ghosur 8552852531	Akshay	#	
Innovator	Saral 9919936284	Saral	#	
Om Sai Rameshjeevan	Rameshjeevan 9106959431	Rameshjeevan	#	
K. Rahej PVT LTD	9026565225	Dilip	#	
Shri Ram Engg. (K. Raheja P. Ltd.)	Lalit Gaware 9890524972	Lalit	#	
Sara (Innovators)	Naresh 7387484606	Naresh		
Om Sai Biseri	Sumit Vora 8369047502	Sumit		
Shri Ram Engg (K. Raheja PVT. LTD. Sara)	Lalit. Gaware 9890524972	Lalit	GP	

10/11/2023

SR NO	DATE	VEH NO	PUC NO	PUC ISSUE DATE	PUC EXPIRY DATE
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203	14/11/2023	MH-03 DV 5052	MH00302210002199	23/07/2023	22/09/2024
204	16/11/2023	MH-04 LE-0721	MH00402570002796	10/04/2023	09/04/2024
205	18/11/2023	MH-47 BL 0569	New		
206	18/11/2023	MH-11 CH-4361	MH04700630009265	25/03/2023	24/03/2024
207	20/11/23	MH03CV 9046	NEW	22/05/2023	
208	21/11/23	MH04 HD 2641	MH00101020004527	16/11/23	15/11/24
209	21/11/23	MH-04 JU-3002	MH04		19/02/2024
210	22/11/23	MH48 AY 5810	MH000100500195	25/01/23	24/01/24
211	22/11/23	MH-05 EL-2089	MH00100510003378	09/05/2023	08/05/2024
212		MH-02 FG-4212	MH00502690004083	13/03/2023	12/03/2024
213		MH-03 DV DV-7747	MH0040257002196	10/4/23	9/4/23

TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	B/SUP SIGN	REMARK
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Masconi Plastoz	md: Sorab 9082489209			
Innovator Company	Ravi Shankar Rajapati 8009486051			R. Kumar
Hareesh Transport	S. Singh 9136864363			
Jyoti Singh Brown	Laxman 8369881272			R. Kumar
	Banjar			
Saddguru	9137795055 ma-sar 101			
Yadav Transport	Raju Yadav 7045099466			R. Kumar
Gupta Trans	4106954431			
श्याम विहारी	Jwala Trans 9821239242			R. Kumar
	Amran 7652084017			R. Kumar
Turnpax				R. Kumar
trawer	7007040566			

SR NO	DATE	VEH NO	PUC NO	PUC ISSUE DATE	PUC EXPIRY DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
216	23/11/23	MH01BR 1983	MH12391522697592	7/10/23	6/04/24 25/9/24	Welcome Infra	8916726747			Award
217	23/12/23	MH-48 BM-5526	MH04500880007599	07/10/2023	06/10/2024	Ram Nath Taran	Jagan Ali 6392315383			R. Kumar
218	23/11/23	MH-01 DR-9222	MH04700650003905	28/02/2023	27/02/2024	R. N. Line Depo	Ajay Kishan 9167443825			R. Kumar
219	24/11/23	MH04 GF6754	MH00302150009599	7/10/23	6/4/24	—	—	—	—	—
220	24/11/23	MH47BL 3021	NEW	—	—	—	—	—	—	—
221	24/11/2023	MH04BK 6040	MH00101350004217	14/11/23	13/11/24	—	—	—	—	—
222	24/11/2023	MH01BR 1983	MH00100090004336	07/10/2023	06/04/2024	Welcome Infra	8976726747 Shailen Rambal			Award
223	—	MH-03 CP: 1074	MH00301600012395	02/11/23	01/11/24	—	—	—	—	—
224	25/11/23	MH-04 HD-8154	Used Car MH04700070001350	11/09/23	11/09/2024	U-Cen P.T.	Sahabaz 7400341701			R. Kumar
225	—	MH-01 DK-8461	MH04301120024047	21/11/2023	20/11/2024	Kishanwat Taran	Tahira 9930557287			R. Kumar
226	—	MH-43	MH04300850010471	25/02/2023	14/02/24	Sekhas Taran	Subhash 9167443825			R. Kumar

SR NO	DATE	VEH NO	PUC NO	PUC ISSUE DATE	PUC EXPIRE DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
228	26/11/2023	WP63AT 5632	G50190022	07/08/2023	06/08/2024	Marik Transport	Saddik Khan 9892716560			
229	27/11/2023	MH-04 KV-0527	MH00902345000141	15/12/2022	14/12/2023	Elevate HVAC	8149355236			Ahand
230	—	MH-03 DV-0270	MH04301140002264	05/09/2023	04/09/2024	Shiv Malhar Enterp	 985029948			R. Kumar
231	—	MH-04 LE-0721	MH00402570002796	10/04/2023	09/04/2024	H. M. Transport	Abadul Rahim 7461985186			R. Kumar
232	—	MH-01 CV-9469	MH04800750010006	8/01/23	07/01/24	Dhan Laxmi Tran	Hanumant 8310331339			R. Kumar
233	28/11/2023	DD-01 M-9292	NEW	—	—	G. W. S. Transport	Shobh Nath 9004340929			R. Kumar
234	—	MH-07 BL-3021	NEW	—	—	J. K	7710990215			Ahand
235	29/11/23	MH-01 DR-9222	MH047000650003905	28/11/23	27/11/24	Harish Transport	Ajay Soroj 7387404021			R. Kumar
236	30/11/23	MH-04 HD-6384	MH00502615001205	12/02/2023	11/02/2024	Sidhdharth Continer	Yogendra 9833571627			R. Kumar
237	—	MH-04 LE-0721	MH00402570002796	10/04/2023	09/04/24	S. K Tran	Ashwin			Ahand
238	—	MH-DD	NEW	—	—	H. P. Transport	Harichandralal 9137335389			

SR NO	DATE	VEH NO	PUC NO	PUC ISSUE DATE	PUC EXPIRY DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	B/SUP SIGN	REMARK
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390	25/1/24	MH10DR 9621	MH0601420016299	15/12/23	15/12/23	Sunny Courier	Ram Chouhan Rama Babbar 9561588105			Glance
391	27/01/24	MH-48 CB-8388				Mahi Transp	Yusuf 9960071155			R. Kumar
392	27/01/24	MH-48 CB-8388					Halim Khan 7715083870			R. Kumar
393	27/01/24	MH-01 EE-1574	New		19/10/24	Innovators	Abid 7007040546			R. Kumar
393	-	MH.03.DV 3954	MH0300880008713	02/05/23	01/05/2024	Argan Line Depot	Sonu 7756039853			
394	29/01/24	MH04HS 1753	MH04600260018130	31/10/2023	30/10/2024	NEW Swarashtra T.	Rangila Jaded 7858600997			R. Kumar
395	-	MH40BL 5838	MH04601280010398	17/03/2023	16/03/2024	Harish Chandra Singh Tran	Ajay 7387404021			R. Kumar
396	29/01/24	MH-04 HD-6384	MH00502610001205	12/02/2023	11/02/2024	R.N. Transport	Taishew 9167443825			
397	-	MH.03.CV 5250	MH00300470505928	29/08/23	29/08/2024	Sara Transport	Naresh 7387684606			R. Kumar
398	-	MH.04.EB 9970	MH0100050067531	01/01/2023	31/03/2024	Inno Totor	Ravishankar 8109486051			
399	30/01/2024	MH-48 BM-3853	MH00302400003335	31/01/2023	30/01/2024	NEW Swarashtra	Jabed 8948143831			R. Kumar

SR NO	DATE	VEH NO	PUC NO	PUC ISSUE	PUC EXPIRE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	G/SUP SIGN	REMARK
240	1/12/23	MH041K0 0587	MH00902340000141	15/12/22	13/12/23	Innovate	मोहित 8788771038	Alif		Ahmed
241	1/12/23	MH48BM 9815	MH00402570002669	23/3/23	22/3/24	Innovator	शुभर Khan 8830871282	सुप्रभा		Ahmed
242	03/12/23	MH01CV 9896	MH0010530002986	01/08/23	31/07/24	J.D.C.	Gulam shah 9769239403	G		
243	03/12/23	MH01EE 3731	New	-	-	J.D.C.	mubin Ahmad 9892084666	मुहम्मद		
244	03/12/23	MH48CQ 8388	New	-	-	Innovators	Pankaj Dube 7986615750	पंकज		
245	03/12/23	MH-48 CB-9505	MH04800880007446	08/03/2023	07/09/2024	Innovator Company	Vivek yadav 6307003459	विवेक		R. Kumar
246	4/12/23	MH04HD 6384	MH005012510001205	12/12/23	11/12/24	Innovator	7387486666			
247	04/12/23	MH-48 CB-4157	MH004002570002800	10/04/2023	09/04/2024	Innovator Company	Takhat Singh 7007040846	तखत सिंह		R. Kumar
248	5/12/23	MH48Ay 5810	MH00100250007501	25/11/23	25/11/24	Gupta Trus	9106954431	गुप्ता		
249	1/12/23	MH01DR 2487	MH00403400005105	10/8/23	9/8/24	J.S. Jaram	9917484815	रमेश		Ahmed
250	6/12/23	MH049A 6757	MH00302150009597	7/10/23	6/4/24	Om Sai	8108422782			
251	1/12/23	MH03	MH0030221000175	-	-					

SR NO	DATE	VEH NO	PUC NO	PUC ISSUE	PUC EXPRY	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
252)	6/12/23	MH02-FG 1626	MH1003004700527	10/3/23	9/8/24	Om Sai	7738187749			Annual
253)	7/12/23	PB05AK 6821	MH10460134001238	27/10/23	26/10/24	Uttam Roadway	8652330213			Annual
254)	7/12/23	MH01AR 2055	MH00101240002047	28/7/23	27/1/24	—	निवारी			Annual
255)	07/12/23	MH-04 KV-5328	MH00101330009155	19/08/2023	18/08/2024	Parter Transport	Shahir 9892208801			R. Kumar
256)	—	MH-03 DC-7976	MH00403400006075	19/10/2023	18/10/2024	Master and sons				R. Kumar
257)	—	MH-04KF 2264	MH00101220003439	08/12/2022	07/12/2023	Bastiwala (K.R.C)	Jitendra 8173935076			
258)	8/12/23	MH04 FP-5725	MH04760100031109	25/10/23	24/4/24	Om Sai	Balister/Vadav 8928381906			Annual
259)	8/12/23	MH04 LE3540	MH04601650001675	19/12/22	8/12/23	Prize Cable	9545439160			Annual
260)	09/12/23	MH05-EL 1990	MH00503010000201	26/04/2023	25/4/2024	self	Ram 9594807706			
261)	10/12/23	MH048BM 5526	MH0480088000 7589	07/10/23 06/10/23	06/10/2024	Innovators com	श्यामल शर्मा 6392315383			
262)	10/12/2023	MH04KF 2264	MH00101220004585	10/12/2023	09/12/2024	Bastiwala (Dumper)	Jitendra 8173935076			
263)	—	MH04-KF 0761	MH001006600064894	05/04/23	04/04/2024	Bastiwala (Dumper)	Sunil Pal 0124771007			R. Kumar

SR NO	DATE	VEH	PUC NO	ISSUE	EXPIRY	TRANSPORT NAME	DRIVER NAME	SIGN	SIGN	REMARK
264	11/12/2023	DD 01C 9032	MH04500440006354	16/05/2023	15/05/2024	Shahi Transport	Dutta 9974555769			
265	—	MH-46 BB-9346	MH00101220003458	20/12/2022	19/12/2024	Harish Transport	Harish 9987012459		<u>R. Kumar</u>	
266	—	MH46BB 0629	MH04601310004714	15/04/2023	14/10/2023	Vedika Road Way Tra	Salauddin 9167618475		<u>R. Kumar</u>	
267	12/12/2023	M&J-31 T-5242	MH04800680004869	05/03/2023	04/03/2024	Sate Express Serv	Wahim 6351914305			
268	12/12/2023	MH-18 BG-7982	MH00403350002848	09/10/2023	08/10/2024	Harish Transport	Vinod Kumar 9619175104		<u>R. Kumar</u>	
269	—	MH-02 FG-1646	MH00300470005667	10/08/2023	09/08/2024	D.J.M. Transpo	Harshad 9738187749		<u>R. Kumar</u>	
270	—	MH-48 BM-7715	MH04800240024730	11/10/23	10/10/24	Vishnu	7219578084		<u>B. D. S. More</u>	
271	—	MH-02 FG-7354	MH00300970053536	12/5/23	11/5/24	Shambhu	9321886481		<u>ADD</u>	
272	—	MH48CB 4157	MH00402570002800	10/04/23	09/04/2024	Innoretors	Sakhat 8380833952		<u>T. B. P.</u>	
273	13/12/23	MH46BB 1643	MH0460050011874	19/8/23	18/2/24	Bombay Golden	9619504662		<u>Shayab</u>	
274	—	MH03DV 8580	New	31/3/23	30/3/24	Safa Esden	9892084666			
275	13/12/2023	MH-43 BP-8541	MH-04300130009745	18/10/2023	17/10/2024	Glass Wall	Shobh Nath Gai 9004340929		<u>R. Kumar</u>	

SR	DATE	VEH	PUC NO	PUC ISSUE	PUC EXPIRE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
276	14/12/23	MH18CA 8338	NEW							
277	14/12/23	MH-01 CR-4834	MH00100160004238	14/01/2023	15/01/2024	Innovator Shri Laxmi Trans	7986615750 454 Dinesh Kumar padav 8005904211		Dinesh R. Kumar	
278	15/12/23	MH-04 DU-6093	MH00401830017972	14/12/2023	13/12/2024	Nikam Transport	Anil 7058971062			
279	15/12/23	MH-01 CV-5229	MH00100840003317	14/01/23	13/01/24	Ganesh Das Somer	8108250679 8424987104			
280	15/12/23	MH-04 KF-2013	MH00400920000039	22/12/2022	21/12/2023	M.G.L. Trans	Kaif 9766864214			
281	15/12/23	MH-43 BP-0382	MH0431140006756	23/02/23	22/02/24	Shyan	9167548393			
282	15/12/23	MH01 CR8897	MH00100530003047	18/9/23	17/9/25	Om Sai	9867531927			
283	"	MH04HY 3136	MH04301230001973	30/09/23	29/03/2024	New Age	Apprao 7400347221			
284	16/12/23	MH-43 4-0542	MH00300410058597	09/10/23	08/04/24	Om Sai	Rajendra 70215564169			
285	"	MH02FQ 4070	MH00201330001660	22/08/23	21/08/2024	J.K	Najees 9892084666			
286	"	MH046BF 8709	MH0430052000660	23/02/2023	22/02/2024	Sichinler	(944)			

SR	DATE	VEH	PUC NO	PUC ISSUE	PUC VALID	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	B/SUP SIGN	REMARK
287	16/12/23	MH-03 DV-9725	New	—	—	self	MD Noor Hasan 9833384347	MD Noor Hasan	R. Kumar	
288	—	MH03D V-8378	MH0201150002544	26/11/2023	25/11/2024	self	Najare Athan 9004137069	Najare Athan	R. Kumar	
289	—	MH-43 BG-4003	MH00403460001187	15/10/2023	14/10/2024	self	Nilish 8299800483	Nilish	R. Kumar	
290	17/12/23	MH48BM 9815	MH00402570002667	23/3/23	22/3/24	Innovator	8559614590	Innovator		
291	17/12/23	MH-02 FG-8633	MH00200010012791	22/09/2023	21/09/2024	self	—	—	R. Kumar	
292	18/12/23	DD-01 J-9900	GJ01500480057935	22/04/23	21/04/24	Sahil Road lines	Toufik 7958752467	Toufik	Shore	
293	—	MH-46 BF-5636	New	16/02/23	15/02/24	M C B R	Mohes 9082420517	Mohes		
294	19/12/23	MH-02 FX-4058	New	—	—	self	Abdul Gaffar 9702533962	Abdul Gaffar	R. Kumar	
295	—	MH04HD 3882	New	—	14/03/2024	Rajendra Tramp	MD. Sabir 83297714	MD. Sabir		
296	20/12/23	MH04 48-0242	MH048024200000443	04/09/23	03/09/2024	Deepak-Transport	pramad 9960742132	pramad		
297	—	MH48AY -3989	MH04800750008420	21/10/22	20/10/2023	Deepak Road line	Chandrabam 9665825540	Chandrabam		
298	21/12/23	MH-11 CH-9666	MH00101200021931	13/01/2023	12/01/2024	self (Innovator) (Bisleri)	Imaron 9987968089	Imaron	R. Kumar	

SR	DATE	VEH	PUC NO	PUC TSCIF	PUC NO/DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
300	22/12/23	MH03CP 9612	NEW	7/5/24	9/5/25	FSD Bieldis	8856086569	मोहम्मद	Anand	
301		MH03CV 7723	MH01402780001777	14/5/23	13/5/25	SLION Infra	9967975528	ASHOK	Anand	
302		MH48AY 5810	MH00100590001958	25/1/23	24/1/25	Om Sai	9106959431	मोहम्मद		
303		MH12TV 7342	MH1020072008183	11/1/23	31/12/23	Balaji	8423603722	LPH	Anand	
304	23/12/23	MH-05 EL-1990	Self	MH00503016000201	26/04/23	25/04/24	Self	9594807706		
305		MH03DV 8580								
306		MH-01 EE-9222	NEW			self	Lal Mohammad	लालमोहम्मद 9372535588	R. K. Kumbhar	
307	24/12/23	MH46BM- 3752	No pucc Number Online.	24/02/2023	03/03/2024	Rupesh Road Lines	Sandeep 9004342353	संदीप		
			MH0460/290006482				Manjuzha 8874449151	manjuzha	Anand	
308		MH.48 AG 8048	MH00301790000921	12/09/2023	11/03/2024	J K Gypsum				
309	27/12/23	MH03CV 9026	MH00301230008690	25/01/23	24/01/2024	Master & Son	Ramdas 9867782551			
310	27/12/23	MH01 DR 1745	MH00100420058207	01/04/2023	31/03/2024	N/S	Radbeshyam 6390435355	राधेश्याम		

SR NO	DATE	VEH	PUC NO	PUC ISSUE	PUC EXPIRE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	B/SUP SIGN	REMARKS
311	28/12/2023	MH48AG 6558		17/11/2023	16/05/2024	Om Sai (Rat)				
312	28/12/2023	MH04LE 6721	NEW		27/01/2023	श्रीमती राजेश्वरी	Rajam Yadav 740040910	Rajam		
313	29/12/23	MH40BG 447H	MH0490022002319	12/01/2023	11/01/2024	K. Raheja	Rajam Venug 7486964443	Rajam		
314	29/12/23	MH01CV 4691	MH230715V9433930		31/07/2025		Vinod Kumar Pat		Anand	
315	29/12/23	MH48 AG-4469	MH00300810004124	13/11/2022	18/05/2023 EX-	K.R.C. (YAAHI)	Samayam- 8097049450	8097049450		
316	30/12/23	MH-20 EG-9367	CG00700580004113	13/02/2023	12/02/2024	Manik Chavdara	Infant Ahmad 6389782394	Infant	f. Kumar	
317		MH-47 AS-7754	MH04701160008988	19/12/2023	18/12/2024	self	Infant 9326435512	SHRI	f. Kumar	
318		MH04KV 6804	MH0040068000680	26/11/2023	25/11/2024	Innovator	Sachin 8655469193	S	S	
319		MH50N 5325	MH0030240000339	02/02/	01/02/2024	Turankay	Praon 9920578557	Shri	S	
320	31/12/2023	MH46AR 5491	MH0430074000460	23/06/2023	28/12/2023	Koshal Transport				
321	11	MH02FG 4469	MH00700010013169	30/04/2023	24/04/2024	Om Sai - (Naka)	Kanif 4820852210		Anand	
322		MH03DV 8580	NEW			Safu Transport	Shiv Kumar 9984032252	श्रीमती	Anand	
323	11	MH48CB 1152	MH00402570002800	10/04/2023	09/04/2024	INNOVATOR	Niraj Kumar 8624934126	श्रीमती	Anand	

SR	DATE	VEH	PUC NO	PUC TRUP	PUC END	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
325	31/1/24	MH40BF 4782	D1331K 11918G	24/1/23	23/1/24	CS Parcal	9309827883 Raju			Anand
326	8/2/24	MH48CA 8388	NEW	-	-	Innovatus	7486615750 Ajay			Anand
327	e	MH04LE 0721	MH0042570002796	10/04/23	04/04/24	Innovatus	Mamad Abid. 7007040546			Anand
328		MH04LE 0721	MH0042570002796	10/4/23	9/4/24	Innovatus	J.K	8689840027		Anand
329	04/01/2024	MH-01 CR-7875	MH0030390006177	21/01/2023	20/01/2024	Nishant Enterp	Prem 9920053097			R. Kumar
330	31/1/24	MH12AG 8799	NEW	9/3/24	14/3/25	Sugat Trans	8999568276			Anand
331		MH19 C75411	MH0190007007017	20/10/22	19/10/23	GM Sai	9702566887			Anand
332		MH04HD 6383	MH00502610001205	12/02/23	11/02/2024	Sarg Temp Serv	Shayam table 9529421472			Anand
333	6/01/2024	MH48AG 8012	G501900280016857	01/12/2023	31/05/2024	ASCOLIGHT	Mahendra 9828662576			Anand
334	1/1/24	MH02AS 8985	MH00200110021592	27/11/23	26/11/24	AS Sawant Trans	9819060348			Anand
335	09/01/24	MH-14GU -8126	MH0140360000419	10/08/23	09/03/2024	ECOTECH	7028490287			Anand

SR	DATE	VEH	PUC NO	PUC TRUCK	PUC MOTOR	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
337	9/1/24	MH14 HU4369	MH0140110000576	29/6/23	28/6/24	SLION Infra	8600886261			
338		MH05 KP C12A	MH00201060002963	18/12/23	17/12/24	Om Sai	9769787231			
339		MH-0 CV 4747	MH00302480003995	03/03/2023 04/03/24	09/03/24		9372220195			
340	10/1/24	MH05 DK1725	MH04601130002569	9/3/23	8/3/24	UP95Gn Trans	8999841783			
341		MH-47 BL-3027				Harish Transp.	Ajay 7387404021			
342	11/01/24									
343	12/1/24	MH47BL 3021	NRW			Hari Transport	7387404021			
344		MH04 HD 6384	MH00502610001205	12/2/23	11/2/24	Sarg Transport	9529421492			
345		MH045V 64699	MH004092000916	21/9/23	20/9/24	Train In	9766864811			
346	12/01/24	MH03CV 3816	J.D.C. MH0201120001836	03/01/24	02/01/2025	J.D.C.	Mohd. Shaikh 8928767120			
347		MH06BW 6742	J.D.C. MH0150231001080	06/04/23	05/04/2024	L	chandra Pradi 8423392301			
348		MH.01.CV 5896	MH00100530002586	01/08/23	31/07/2024	J.D.C.	Gulam Fasil 9892084866			
349	13/1/24	KA-56 3409	MH00502550001570	28/9/23	27/9/24	Sai Transport	Dashrath 6360958181			
350		MH01 CV	MH00403400004740	11/7/23	10/07/2024					

SR NO	DATE	VEH	PUC NO	PUC ISSUE	PUC RENEWAL	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	B/SUP SIGN	REMARK
351	13/01/24	MH.04.KF 6376	MH04701280005823	20/10/23	19/10/2024	Bastiwala	manoj pal 9221787401	Mansur		
352	-1-	MH03.GP 6704	MH04301020020012	12/08/23	11/08/2024	Tumkaly Bastiwala	vithal G. 9930347057			
353	-L	MH04 KF 6027	MH0450030003258	20/12/23	19/12/2024	Innovators	Sachin 892203126	Signature of Sachin		
354	14/1/24	MH48CB 9505	MH04800880007446	8/1/23	7/1/24	prabodha Interprize	7317339642			Ahead
355	---	MH50R 0931	MH01408570001342	24/5/23	23/5/24	pati Transport	9699951230	Signature		Ahead
356	15/01/24	MH48CP 2179	New	03/07/23	02/07/24	Hari om Tempo services -	Lavakush 7268061166			
357	-1-	MH48CB 4157	MH0402570002800	10/04/23	09/04/2024	InnovATS	Niraj Kumar 8174892167	Signature		
358	-L	MH01.EE 4237	New	-	-	welcome Infrn.	riyaz 8858215447	Signature		
359	---	MH04 FF 8762	MH00100C60004894	5/1/23	4/1/24	Bastiwala	924787503	Signature		
360	---	MH04 KF 2264	MH00101220004585	10/12/23	9/12/24	Bastiwala	8858129555	Signature		
361	16/01/24	MH02FX 0776	MH04300740004330	23/06/2023	22/06/2024	Y.K.G.N. Tempo Service	Anife. 9820852210	Signature		
362	---	MH04LE 9693	MH0040036002926	11/9/23	10/9/24	Uthra com.	8384826542	Signature		
363	17/01/24	MH04LE 6932	New	-	-	shiv malhar	Rohidas Pawar 9850209948	Signature		

SR	DATE	VEH	PUC NO	PUC ISSUE	PUC EXPIRE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	G/SUP SIGN	REMARK
365	Mh/24	MH04MD 939A	MH0030250000779	4/10/23	3/4/24	SDC	980868337			
366	---	MH02FX 4295	New	---	---	VISAT TRANSPORT	9110098116			Anand
367	18/01/24	MH-03 DV-9180	MH00502730004984	18/10/2023	17/10/2024	Manik Transport (Nasik)	Shah Akhram 8429917244			R. Kumar (omsai)
368	---	MH-48 AY-5810	MH00100570001958	25/01/2023	24/01/2024	Gupta Transport	Ram Saiwan 9106959431			R. Kumar
369	19/01/24	MH04KW 0742	MH00302470002443	25/04/23	24/04/2024	Schindler	Abass 9594748855			
370	---	MH04KU 3719	MH00302540002250	26/06/23	25/06/2024	Schindler	Riyaz 9920060124			
371	---	MH05.DK 6952	MH00101320005528	24/7/23	23/7/2024	omsai				
372	---	MH03 DV 3954	MH00300880008713	02/05/23	01/05/2024	J. K. Infos	Koli			
373	---	MH04.LQ 8014	New	---	---	Janhvi Transport	Rajesh Naik 9156008867			
374	---	MH.03.DV 5052	MH00302210002179	23/09/23	22/09/2024	Vishal Co	Ramu			
375	20/01/24	MH-01 DR-9222	MH04700650003905	28/01/2023	27/01/2024	R.N. Lime Depo	Jay Kishan 9167443825			R. Kumar
376	---	MH-48 CB-0549	MH00402600001362	22/01/2023	21/01/2024	Porter Transport	Abadul Shaikh 9500111721			R. Kumar

SR NO	DATE	VEH	PUC NO	PUC ISSUE	PUC DDDAT	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
377	20/01/24	MH-19	MH100302550002452	07/01/2023	06/11/2024	Portar Trans	Chabhan 7506940931			Ahmed
378		MH04LA 0451	NEW	X	X					
379	21/01/24	MH-04	LE-6932	NEW	X	X	Rithbi Transport Pankaj Deby 7986615758			R. Kumar
380	22/01/24	MH-46	MH0090260001185	19/01/2024	18/01/2025	Ponter	Chandrabhan 9560337537			OK
381		KA-56	MH04801120006232	31/08/2023	30/08/2024	J.K. Inf.	Digambar Koli 9702314081			
382	23/01/24	MH-43	MH04300130009745	18/10/2023	17/10/2024	Schindler	Rajesh 9867688619			
383		MH02F9 5823	MH0431060002412	3/1/24	2/1/25	Schindler	Mukesh 9136211577			
384	24/01/24	MH-47	BL-3021	NEW	X	X	X	X		
385		MH-46	MH04601040005660	16/08/2023	15/08/2024	Sara Tempo Inovator	Narish 7387484606			R. Kumar
386		MH01AR 1056	MH0030160003692	23/1/24	22/1/25	Schindler	Ishand Ali 8108632547			
387		MH01CV 8444	MH00203400004740	11/07/2023	10/07/2024	Portar	Suresh 8591475153			
388		MH05DY 0501	MH004038700000383	22/9/23	21/9/25	Shri Priya Trans	Sunil Chansija 9326095908			R. Kumar
						Shiv Shakti Convi	Ganesh 0010202229			R. Kumar

SR NO	DATE	VEH	PUC NO	PUC ISSUE	PUC EXPIRE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
3402	30/01/24	MH-46 BN 6040	MH04301140009791	30/01/2024	29/01/2024	K.R.C. (Khadi)	Faizan 9702789720			
3403	-1-	MH03DV 1754	MH0301730020244	11/08/23	10/08/2024	Porter Transport	Ajony 8055907711			
3404	31/01/2024	MH-03 CV-8742	MH00302000001643	08/09/2023	07/09/2024	Self	Nankaku Ashari d d d R. Kumar			
3405	-w-	MH-43 BP-8846	MH00300390007087	27/04/2023	26/04/2024	Bwastik Blak More Transport	Barakhu Prutap Jaiswar 9222060528			R. Kumar
3406	-w-	MH-02 FG-4083	MH00301230007852	30/11/2022	29/11/2023	Self	Nabab Ali 9326793232			R. Kumar
3407	-1-	MH.03.CV 3463	-	17/02/2023	16/02/2024	Parpad Com.	Shoib 9623830525			
3408	03/02/2024	MH-04 JU-8828	Om Sai (अशु) MH04601480008843	10/07/2023	09/07/2024	Aaditya Interpon	Sattyan Kumar 8850356531			R. Kumar
3409	03/02/2024	MH-14 GD-7105	MH01403270002415	29/10/2023	28/10/2024	Global Network	Lav Kush 8097270855			Kush
410	-w-	MH-01 EE-3731	NEIW	X	X	S.B. Interprisi	Abadul Salam 9594782359			R. Kumar
411	-w-	MH-48 CB-3397	MH0253345 (B-56)	X	X	Nand Wana Carriers	Babaloo 9046554766			R. Kumar
412	-w-	MH.04.EE 9693	MH02400360029726	11/09/23	10/09/24	Uttarcom	Sabihulla 8384826542			SABIHULLA
413	04/02/2024	MH-03	MH04700630010585	13/12/2023	12/12/2024	Porter Company	santosh Kumar			

SR NO	DATE	VEH	PUC NO	PUC ISSUED	PUC EXPIRES	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN.	REMARK
414	04/02/2024	MH-02 ER-8023	MH00200990007431	28/01/2024	27/01/2025	A one Enterprises	Nishar Ahmad 7045817423	Pot 2112	R. Kumar	
415	05/02/2024	MH 04JU 9263	MH00401360006117	20/02/2023	19/02/2024	SITS PVT	Suvinid Bhasle 8380857705			
416	05/02/24	MH 04 HY 4320	MH01400700005606	18/11/2023	17/11/2024	Akshita Roadline	Aslam 9892649961			
417	-	MH-15 GV-8055	MH00502730002909	15/03/2023	14/03/2024	Manik Transport	Bajrangji yadav 9892688206		R. Kumar	
418	-	MH47AS 2011	-	stop/23	04/04/2024	Poter (ornatecomp)	Anvind Yadav 9167389467			
419	-	MH.43.BP 1267	MH04301130027422	17/12/23	16/12/2024	Ramesh Transport.	Ramesh Dairi 9819265564			
420	06/02/24	MH.01.DR 3646	MH00100790061677	26/06/23	25/06/2024	Dhar Uttarcon	Dharamraj 9695504143			
421	-	MH04LQ 3305	New	-	-	Uttarcon	Rafiq. 8169564105			
422	-	MH01CV 1792	MH001012200380	28/2/23	27/02/24	Trunkay	Shrirang 9833515692			
423	-	MH02.FG 9469	MH0070010013169	30/04/23	29/04/24	Om Sai	Tejn Kumar 9975322565			
424	-	MH.48.CB 9770	MH040182010681	22/09/23	21/09/24	Schinolle	mohan singh 9819743805			

SR NO	DATE	VEH	PUC NO	PUC ISSUE	PUC EXPIRE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	B/SUP SIGN	REMARK
426)	07/02/2024	MH-48 AG-8313	MH0020099000 6276	24/04/2023	23/04/2024	A One Transport	Nishar Ahamed 7045817423	<u>Ahmed</u>		
427)	-	MH03DV 9534	New	-	-	Bhumees Transport	Ainkit minj 932019301459883	<u>Ahmed</u>		
428)	-	MH03DS 3124	New	-	-	Husain Sayad 9004453543	Husain Sayad 9004453543			
429)	08/02/2024	MH-01 CR-7875	MH00301230012210	24/01/2024	23/01/2025	Ishan Interprise	Brem 9920053097	<u>Ahmed</u>		
430)	09/02/2024	MH06 BD 1378	MH04601340012049	14/16/2023	10/10/2024					
431)	09/02/2024	MH46 BN7318	MH00600010017418	03/07/2023	02/07/2024	Shree ganesh transport	Atarini 8007407260	<u>Ahmed</u>		
432)	09/02/2024	MH03DV 4180	MH00502730004984	18/10/2025	17/10/2024	Mank Transport	SAH Alam 8424 917244	<u>Ahmed</u>		
433)	09/21/2024	MH04 HS 4270	MH00500530002786	1/11/2023	30/11/2023	Sadam Samadh Transport	4561334054	<u>Ahmed</u>		
434)	10/02/2024	MH01 CV 5227	MH00200110022150	08/01/24	07/01/2025	Vishal	Sonu			
435)	-	MH47 YA 4746	MH00302550005710	13/11/23	12/11/2024	Yogendra Armour	Yogendra 8604193545			
436)	13/2/24	MH46 BB9316	MH00401070015245	17/1/24	16/1/2025	Om Sai	7808470615 Prem Kumar	<u>Ahmed</u>		
437)	MH04 LE0721		MH0060570002796	10/4/23	9/4/24	Indira	8009486091 20/2/24	<u>Ahmed</u>		
438)	MH04 KF 2015		MH0060492008039	21/2/24	21/2/23	Grain India	9766853815 Kaif	<u>Ahmed</u>		

SR NO	DATE	VEH	PUC NO	PUC ISSUE	PUC EXPIRE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK	
440	14/2/24	MH-03DV 3176	MH0020130001250	5/9/23	4/9/25	Om Sai	8652847393 Govardhan				
441	14/02/24	MH-01 CR-5705	MH04701280004615	09/03/2022	08/03/2023	Turkey Transp	Shyam Lal Sharma 8779029728				
442	—	MH-02 FX-4682	New	X	X	X	X	Craft Hardware	Chetan-sharma 8655273486		
443	—	MH-04 KF-2264	MH00101220004585 Basti-wala (Damfar)	10/12/2023	09/12/2024	Self	Rakesh-Kumar 9029600784				
444	—	MH-04 KF-8762	MH00100660004894 Basti-wala (Damfar)	05/04/2023	04/04/2024	Self (Basti-wala)	Niraj Pal 9324039868				
445	—	MH-03 E.G-2297	New (Uniqe Elevator)	X	X	X	X	Self	Anand 9082106538		
446	15/2/24	MH04 LE5354	New	—	—	—	—	—	—		
447	16/2/24	MH04FS 7589	MH03005200031737	11/2/25	10/8/25	TAKKER AXIM	8169728569 Suresh				
448	—	MH03CR 5506	MH00500470006195	27/1/24	26/1/25	Om Sai	7800728097 vsw11can1				
449	—	MH01DR 6640	MH00603420005718	10/9/23	9/9/25	Basti-wala	8452909451 md1222				
450	H-L	MH.01.CG 0228	MH00300690004662	09/03/23	08/03/24	Fadarwala	Ganesh 9920326389				
451	17/02/2024	MH-02 FX-6537	New	X	X	X	X	Porter Company	Ganesh Akshita Anand 8591410648		

SR NO	DATE	VEH	PUC NO	PUC ISSUE	PUC EXPIRE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	SUP SIGN	REMARK
453	19/02/24	MH.02.KF	MH0201050005653	04/09/23	03/03/24	self.	Firtu Ram 9987818905			
454	-L	MH.04.KF	MH04010220004585	10/12/23	09/12/24	Bastiwala	Rakesh 7827109581	Shahi		
455	-	MH46BB	MH00401070015245	17/01/2024	16/01/2025	Om Sai	Dilip 9026565225	Dilip		
456	20/02/24	MH48LB	MH00402570002800	10/04/2023	09/04/2024	Innovators	Zubert Khan 7219131179		Ah	
457	-L	MH.03.DV.	New	-	-	Turnkey	mozim 8898165353			
458	-L	MH.46.BP	MH03030370031424	19/10/23	18/10/24	Posters	Shyamander Des 9022123698			
459	-L	GJ.16.AW	MH04601340012307	04/11/23	03/11/24	Ram Shreejo Arman Com.	Ram shreejo 9081683515	9081683515		
460	-L	MH.47.AS	MH04700650004915	29/11/23	28/11/24		meraj 8779567841			
461	-L	MH.48.CB	MH0220130003443	17/08/23	16/08/24	Imrain Posters	Imrain 9152900967	9152900967		
462	-L	MH.48.CB	New	-	-	Yunraj Transport	vasir Ahmad 8268168788			
463	-L	MH.43.CB	New	-	-	Rudra Transport	Santosh 9969280002			

SR NO	DATE	VEH	PUC NO	ISSUE	EXPIRE	TRANSPORT NAME	NAME	SIGN	DRIVER SIGN	REMARKS
465	19/04/2024	MH-04	AN2/200520233032		19/04/2024	S.I.T.S. Transport	H.R. Shinde	Shinde HR	R. Kumar	
		HY-5556					9702540079			
466	09/11/2024	MH-08	B17 MH04800240020728	10/11/2023	09/11/2024	शिल्पा 2 सौ	Anir	शिल्पा		
		9212					9322300774			
467	20/2/23	MH-04	HY MH04300520006585	21/2/23	20/2/23	NIS		शुभम	Akand	
		8220					8554073730			
468	01/08/24	MH-04	JIC		31/07/23	01/08/24	self	Jasad Ali		
		0356					9594762485			
		MH01EE		NEW						
		3731				S.V. Enterprises	Abdul			
							9594782359			
469	20/02/25	MH-01	CA MH04301120027173	21/02/24	20/02/25	Aravind	Aman			
		0970					7506979058			
470	09/04/2024	MH-04	MH00402570002796	10/04/2023	09/04/2024	Innovator Company	Ravishankar	राविशंकर	R. Kumar	
		LE-0721					8009486051			
471	27/12/2024	MH-04	MH00403950000800	28/12/2023	27/12/2024	Ansari Transport	Dattat Ram	दत्ताराम	R. Kumar	
		HY-8251					6397794620			
472	05/06/2024	MH-46	MH04600160005426	06/06/2023	05/06/2024	Shri Priya Trans	Ram Milan	राममिलन	R. Kumar	
		BF-2435					7738418554			
473	18/07/2024	MH-01	MH00100070011367	19/07/2023	18/07/2024	Parter Company	AAtish	आतिश	R. Kumar	
		CV-6989					9773949394			
474	12/09/2024	MH-01	MH00201170005853	13/09/2023	12/09/2024	self	Vinod	विनोद	R. Kumar	
		CV-7718					8108781794			
475	22/09/2023	MH-03	MH00301290006871	23/09/2022	22/09/2023	self	Ramesh Yadav		R. Kumar	

SR NO	DATE	VEN	PUC NO	PUC ISSUE	PUC EXPIRE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
476)	26/02/2024	MH-04	MH00401520005859	21/07/2023	20/07/2024	shrisai Tempa self	Laxman 9767549096		<u>R. Kumar</u>	
477)	-	MH-02 PGR	New 7354	-	-	sham self	shambhu 9521886481			
478)	27/02/24	MH-47-BL	New 0951	-	-	Tatat motors Ltd. self	S.B. Gupta 9820544190			
479)	28/02/24	MH-47-BL	New 2510	-	-	self	Rajesh 9819803613			
480)	1/03/24	MH-01-CU	MH001302550003185	04/01/2023	08/09/2024	Ram prasad	रामप्रसाद 9920550427		Anand	
481)	2/03/24	MH-04-HD	MH00302400003454	26/03/2023	25/03/2024	shree praju	श्रीप्राज 8450903053		श्रीप्राज	
482)	2/03/24	MH-04-JU	MH00401830017782	27/11/2023	26/11/2024	Sara Transport	9520421442 राम प्रसाद		Anand	
483)	2/03/24	MH-01-CR	MH04701280663504	06/04/2022	09/04/2024	TurnKey	श्रीप्राज 9779029728		Anand	
484)	2/3/24	MH-04	MH00100420058877	19/4/23	18/4/24	J-D	9221026412			
485)	03/03/24	MH-48	MH00402570002669	23/03/2023	22/03/2024	Innovator Company	satish yadav 9648747012 9175022472		<u>R. Kumar</u>	
486)	-	MH-01	NEW EE-3731	x	x	S.B. Interprise	Abdul Salam 9594782359		<u>R. Kumar</u>	
487)	04/03/24	MH-43	MH-0300040010666	23/02/2024	22/02/2025	barter	Shyam 9167548393	shyam	<u>R. Kumar</u>	

SR NO	DATE	VEH	PUC NO	PUC ISSUED	PUC EXPIRES	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
489	05/03/24	MH-48 AY 5400	- (online)	08/03/2023	07/03/24	Self (mahabaleshwar)	Kaitash 9820796262	<i>[Signature]</i>		
490		KA56 7418	NEW	-	-	Swaстика Transport	9867055451 8874449151	<i>[Signature]</i>	<i>[Signature]</i>	
491		MH48AY 8668	MH00301790000921	12/09/23	11/03/24	S.K. S.P.S.M	MHTM	<i>[Signature]</i>		
492		MH48AY 5810	MH04301120025 713	25/01/24	24/01/25	om sai	-			
493	05/03/24	MH-48 BM-9815	MH00402570002669	23/03/2023	22/03/2024	Innovator Company	Namdev 9175022472	<i>[Signature]</i>	<i>[Signature]</i>	R. Kumar
494	01/3/24	MH0451K 0230	MH00501170004799	18/1/24	17/1/25	maharashtra Lime	9594710828 Ghat	<i>[Signature]</i>		<i>[Signature]</i>
495	6/3/24	MH03CP 6706	MH00700110006484	26/12/2023	25/12/2024	Taj Torba	Ajay 9021287956	<i>[Signature]</i>		B. Singh
496		MH47 AS8410	MH00502550005760	15/1/23	14/1/25	SDC	8672851068	<i>[Signature]</i>		<i>[Signature]</i>
497	06/03/24	MH-47 AS-2793	MH00302310004185	09/03/2023	08/03/2024	Porter	Rajendra 9920536177			<i>[Signature]</i>
498		MH-01 CV-7822	MH00100550003563	17/01/2024	16/01/2025		Jay Prakash 7738768193			<i>[Signature]</i>
499		MH-04 HD-6384	MH00401830018618	12/02/2024	11/02/2025	Innovator Company	Narash 9387484606	<i>[Signature]</i>		<i>[Signature]</i>
500	07/03/24	MH02FL T860	MH01600450015694	28/01/23	27/01/24	OM Sai	Azhar 8879784353		Azhar	
501		MH-06	MH00100680006560	26/11/2023	25/11/2024	Amisha Transport	Sachin Rathod			<i>[Signature]</i>

SR	DATE	VEH	PUC NO	PUC ISSUE	PUC EXPIRE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
502	8/3/23	MH104 6088	MH01582980001748	22/2/25	21/2/25	Nikam Transport	8655122677			Approved
503		MH148 CB271	MH00101670000160	17/3/25	16/3/25	JDC	8291165449			Approved
504		MH104 FPS25	MH04760100081109	25/1/25	24/1/25	Om Sai	8428381906			Approved
505		MH01CR 7637	MH04700650000471	1/1/23	31/3/24	Manish Transport	9055633067			Approved
506		MH01BR 2136	MH040063001105	12/2/24	11/2/25	Hanish Transport	9651884973			Approved
507		MH07AJ 2753	MH00302310004185	09/03/2023	08/03/24	self	Rajendar 9920536177			
508	09/03/24	MH-03 CP-5595	MH00300530002838	10/03/2021	09/03/2022	self	Ram Suraj			
509		MH-01.EE 3255	MH00100890004673	11/01/2024	10/01/205	self		Sanjay S.		
510	10/03/24	MH-46 BM-7872	MH04701100028612	14/05/2023	13/05/2024	Porter	Serfan Khan 9594604882			R. Kumar
511	11/03/24	MH01CR 5695	MH00101370001728	11/10/2023	10/10/2024	B.N.K	Sameer 9867001193			
512	11/3/24	MH-01 CV-7681	MH04301120023054	27/10/23	26/10/24	Porter	Anurag 9076375938			More
513	12/03/24	MH-01 CV-9578	MH00302300000731	28/08/2023	27/08/2024	Basti Wala	Ram Kumar 9833707383			R. Kumar
514	12/03/24	MH-43		14/09/2023	13/09/2024	Poonam Transport	Bahadur 8789069502			R. Kumar

SR NO	DATE	VEH	PUC NO	PUC ISSUE	PUC EXPIRE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
516	13/3/24	MH04HY 3136	MH04901230004973	30/9/23	29/3/25	New Age	Shankar 7738785838			Ahmad
517		KA56 3330	MH04801120006670	17/10/23	16/10/24	SDC	Santosh 8762487266			Ahmad
518		MH47AS 8410	MH00302556005760	15/11/23	14/11/24	SDC	Rajesh 8692851068			Ahmad
519	13/03/2024	MH-48 CB-4617	New	X	X	X	Parter 0080609255		R. Kumar	
520		MH-01 DR-7251	MH00302480005225	05/04/2023	04/04/2024	Besti Wala	Bal Krishan 8114052172		R. Kumar	
521		MH-01 CR-9265	MH04301120021846	15/09/2023	14/09/2024	Besti Wala	Balaji 8829470581		R. Kumar	
522		MH-48 AY-3010	MH00502295008618	29/01/2024	28/01/2025	X	Rajesh Kumar 0619543060	X	R. Kumar	
523	14/3/24	MH04JU 1333	MH04500520008457	20/9/23	19/9/24	Om Sai	manoj 9982905191			Ahmad
524	14/03/24	MH-48 AY-5810	MH04301120025713	25/01/2024	24/01/2025	Gupte Transpo	Ram sajunan 9702478928		R. Kumar	
525	15/03/24	MH46BU 5623	MH0401302310007652	16/01/24	15/01/25	Sri Balaji Trans	Ahmad 7710923068			
525	15/03/24	DD of A 9283	MH0480021000 3724	10/11/2023	09/11/2024	chha chhad	Pranav 7558222451			
526		MH04JK	MH0060132000	19/01/2024	18/01/2025	J.K. Infra	Bablu		Bablu	

SR NO	DATE	VEH	PUC NO	PUC ISSUE	PUC EXPIRE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	G/SUP SIGN	REMARK
540	21/03/24	MH-01	MH04700650004171	01/04/2023	31/03/2024	Harish Transport	Dinesh 7054633067		R. Kumar	
541	-	MH-03	MH04701280005534	24/02/2023	23/02/2024	partee	Purushottam 3823088020		R. Kumar	
542	-	MH04HY	MH00702070009686	07/02/2024	06/02/2025	- orange -	A. T. V. 7039165143	A. T. V.	A	
543	22/03/24	MH15GV	MH0050273000	15/03/2023	15/03/2024	om sai	Bairangi		A	
544	-	MH03BH	MH04701150043988	27/01/24	26/07/24	W Professional	Dinesh		A	
545	23/03/24	DD.01-J	GJ02600190006211	27/07/23	26/07/24	Rohit Transport	Sandeep 8756681499			
546	23/03/24	MH04EB	MH00200740024450	16/03/2024	15/04/24	Mandlal Gupta	9810050440		Anand	
546	23/03/24	MH03DC	MH00300140009598	10/01/24	09/01/25	Schindler Jai Shankar Yadav	9930679304		Anand	
547	24/03/24	MH-01	MH00100530002986	01/08/2023	31/07/2024	Prakash Road Line	Gulab 9769239403		R. Kumar	
548	-	MH04HY	D3A057103725	11/7/23	10/7/24	Unison Transport	Indrajit 983999503		Anand	
549	26/3/24	MH A8 CB	MH04700970008412	20/09/23	19/09/2024	Venibhai Transport	Hemlal Yadav 8898142425		Sandeep	
550	-	MH04KF	MH04701280005823	20/10/23	19/10/2024	Bastiwala	Manoj Paul		Sandeep	

158	24/09 2023	MH04 JY 6020	MH0040068 000551	27/10 2022	26/10 2023	Star X Transport	Vishnu	Vishnu	Signature
159	25/09 2023	MH02 CP 8926	MH0460165 000173	19/12 2022	18/12 2023	Dangre Transport	Laxman	Laxman	Signature
160	26/09 2023	MH02 BQ 7183	MH0320018000 3914	21/03 2023	20/03 2024	Swaraj Transport	Vishwas	Vishwas	Signature
161	27/09 2023	MH04 GT 6759	MH01400089 00 82150	03/04 2022	02/04 2023	Harishchandra Transport	Govinda	Govinda	Signature
162	28/09 2023	MH 43 BX 7886	MH 014128900 2763	07/10 2022	06/10 2023	Prakash Supply chain solutions up	Jaykumar	JK	Signature
163	29/09 2023	MH04 KV4804	MH043023000 2890	16/01/23	15/01/24	Dugesh Logistic	Sachin	Sachin	Signature
164	30/09 2023	MH48 BM9921	MH GJ01500 480053071	11/02 2023	10/02 2024	Jay Bhavani Transport	Abdul	Abdul	Signature
165	01/10 2023	MH03 CV3730	MH0050046000 8615	02/08 23	01/08 2024	Sidhesh Trans Post	Savala Ram	Ram	Signature
166	02/10 2023	MH02 ER3122	MH00620089 63001321	10/05 2023	9/05 2023	Chawnilal Tempo	GhanShyam	Ram	Signature

29/10/23

30/09/23

09/10/23

NO	DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRED DATE	SPORT NAME	DRIVER NAME	DRIVER SIGN	G/SUP SIGN	REMARK	
167	03/10 2023	MH04 HD 2023	MH0010171 0000373	11/07 2023	10/07 2022	Scei Transport	Pradeep			}	
168	04/10 2023	MH04 KG 4340	MH00200 560010506	06/07 2023	05/07 2023	Eshwar T	Vishal				
169	05/10 2023	MH46 BG 0883	MH460124 0001618	13/11 2022	12/11 2023	Ramesh T	Ramesh				
170	06/10 2023	DN09 N9257	MH0480051 0003381	25/03 2023	24/03 2024	Shiv shakti's	Ram				21/10/23 05/10/23
171	07/10 2023	MH48 BH4554	MH020117 0004087	28/12 2023	27/12 2024	Vijay Travee	Rakesh Yadu				
172	08/10 2023	MH01 5185	MH005026 9003852	24/02 2023	23/02 2024	Jahid Transport	Jahid Khan				
173	09/10 2023	GA16 AU 3354	MH04800 22001200 2	30/11 2022	29/11 2023	Pro Site Company	Vijay				21/10/23 10/10/23

	DATE	VEH NO	PUC NO	PUC ISSUE DATE	EXPIRE DATE	SPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
175	11/10 2023	MH01 EB0085	MH0050069 0003624	07/02 2023	06/02 2024	Pradeep Travel	Pradeep	[Signature]	[Signature]	} 14/10/23
176	12/10 2023	MH02 BQ7183	MH0320018 0003914	21/03 2023	20/03 2024	Swaraj Transport	Vishwas	[Signature]	[Signature]	
177	18/10 2023	MH04 GF 6759	MH0080215000 9599	07/10/23	06/04/2023	Harish Transport	Rafik	[Signature]	[Signature]	
178	14/10 2023	MH04 HD 2023	MH00101710000373	11/07/2023	10/07/2024	Sai Transport	Pradeep	[Signature]	[Signature]	
179	15/10/23	MH04 FV1611	MH04015400066393	22/10/2023	21/10/2023	Yadav Roadline	Rakesh Y	Rakesh	[Signature]	
180	16/10/23	MH04 KV 4804	MH0430230002390	16/10/2023	15/10/2024	Durgesh Logistic	Sachin A.	Sachin	[Signature]	
181	17/10/23	DN09 N 9257	MH04800510003381	25/03/2023	24/03/2024	Shiv Shakti	Ram	Ram	[Signature]	
182	18/10/23	MH43 BX 7836	MH22110744907104	07/11/2022	06/11/2023	Sunny Transport	Ravi	Ravi	[Signature]	
183	19/10/23	MH03 CN4752	MH003009100 08404	23/04/23	22/04/24	J.S.S. L Transport	Mages	Mages	[Signature]	
184	20/10 2023	MH04 4020200272	MH0010171000	11/07 2023	10/07 2024	Sai Distributor	Rahul	Rahul	[Signature]	

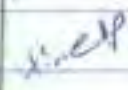


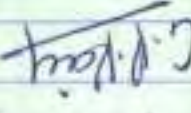
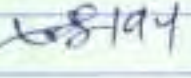
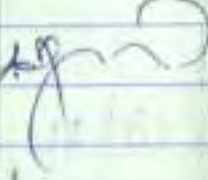

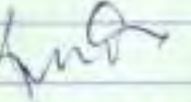

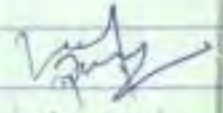
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185	21/10 2023	MH04HY 0387	MH001091000 3982	30/03 2023	30/03/2024	D.K. Aranya	Breywashi	Rhagunil	Red	
186	22/10 2023	MH48 BM4554	MH020011700 4087	28/02 2023	27/02/2024	Vijay Transport	Rakesh	Rakesh	Red	
187	23/10 2023	MH01CR 5185	MH0050269000 3852	24/02 2023	23/02 2023	Jahid Transport	Jahid K.	Jahid K.	Red	
188	24/10 2023	MH02 CP8926	MH0460165 000174	19/12 2022	18/12 2023	Dongare &	Laxman	Laxman	Red	
189	25/10 2023	MH01 CV7324	MH00320 290001294	12/12 2022	11/12 2023	Sangar &	Arjun	Arjun	Red	
190	26/10 2023	MH48 BM8609	MH002013 30001071	29/03 2023	28/03 2024	Bigblue Transport	Brijesh Yadav	Brijesh	Red	
191	27/10 2023	MH04 FP525	MH04700 100031109	25/10 2023	24/10 2024	Hansh Transport	Bharat Yadav	Bharat	Red	
192	28/10 2023	MH01 CR9414	MH001000 20011735	01/10 2023	30/09 2024	A S Chetopree	Raju	Raju	Red	
193	28/10 2023	MH08 HD2023	MH0010171 0000373	11/07 2023	10/07 2024	Scei Distributor	Pandey	Pandey	Red	

DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRD DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
194 29/10/2023	MH04 KU4306	MH0020056 0010506	06/07/2023	05/07/2024	Eswari Transport	Vishal	VISHAL	[Signature]	
195 29/10/2023	MH04 HD6332	MH00201170 005070	28/04/2023	28/04/2024	Gopal siramix Transport	Dharmendra Gupta	Dharmendra Gupta	[Signature]	
196 31/10/2023	MH01 CR 8244	MH0010066000 3931	15/11/2022	14/11/2023	Bastiwalq	chandrakant	[Signature]	[Signature]	
197 01/11/2023	MH04 LE2577	MH0470085000 3790	22/04/2023	21/04/2024	chowdary Transport	Amerchand yadav	[Signature]	[Signature]	
198 -L	MH02 ER6033	MH012037000 10842	01/08/2022	31/07/2023	S.M. Transport	Ismael Khan	[Signature]	[Signature]	
199 -L	MH01 CV947	MH0460019 0023159	31/07/2023	30/07/2024	AAKASH Logistic	Rajesh Adhadi	[Signature]	[Signature]	
200 -L	MH01 CV4006	MH00502690 003358	23/08/2023	22/08/2024	UTL T.	Radheshyam	[Signature]	[Signature]	
201 -L	MH04 HD2023	MH0410171 0000373	11/07/2023	10/07/2024	Sai Distributors	Prasad	[Signature]	[Signature]	
202 02/11/2023	MH01 CR 8244	MH0010066000 3931	15/11/2022	14/11/2023	Bastiwalq	chandrakant	[Signature]	[Signature]	
202						Ram Milan	[Signature]	[Signature]	

No	DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
204	03/11/23	MH01 CR 8244	MH0010035000 1351	12/11/22	13/11/23	Bastiwala	Chandrakant			
205	4-11-	MH03 CP 1777	MH047010 90004761	25/02 2023	24/02 2024	Chaudary Transport	Lovekush			
206	4/11/23	MH03 CV 0916	MH0040068 0005827	15/04 2023	14/04 2024	Gajanan Transport	Sohal			
207	05/11 2023	MH48 AG 5140	MH047012 80005703	20/08 2023	18/08 2024	Prad T	Sandeep Paul			
208	05/11 2023	MH05 EL 1129	MH0010067 0036107	20/02 2023	18/02 2024	Ashoka T	Santosh Kate			
209	05/11 2023	MH01 CV 7324	MH00320 290001294	12/12 2023	11/12 2023	Sangul T	Gautam			
210	05/11 2023	MH48 BM 4554	MH020117 0004088	28/12 2023	27/12 2024	Vijay T	Rakesh Yadav			
211	5/11 2023	MH01 CR 8975	MH100300 002104	03/01 2023	02/01 2024	Rajan T	Rajan			
212	06/11 2023	MH01 CV 2486	MH0460143000 2707	19/06 2023	18/06 2024	Vsha T	Sadik Khan			

Sl. No	DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRY DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
213	06/11 2023	DN-09 S'9297	GT GT 01500 520007105	08/04 2023	07/04 2024	Subham Road Line	Ajay Singh			
214	06/11 2023	MH03 DV 6928	MH0030228 0025940	29/06 2023	28/06 2024	Vishva Karma T	Seebhash			
215	06/11 2023	MH01 EE 0014	MH04701280057	07/10 2023	06/10 2024	Bastiwala	Kamlesh			
216	07/11 2023	MH48 BH 1761	MH470113 0003315	05/06 2022	04/06 2023	Falkary T	Sarim			
217	-ll-	MH03 CP 0520	MH0030157 0007397	09/02 23	08/02 2024	Rajhans T	Manoj			
218	-ll-	MH04 GR 3937	MH0460155 0013202	12/10 2023	11/10 2024	Bright T	Rafulla			
219	-ll-	MH03 DV 3847	MH003019200 00952	14/02 2023	13/02 2024	Gardina T	Naresh			
220	-ll-	MH04 PS 8751	MH0429100 00212	25/08 2021	24/08 2022	Niha. T ESHWARI T	Nandu			
221	-	MH03 CV 9046	MH0080128 0008690	25/01 2023	24/01 2024	Bhosel T	Ramdas			

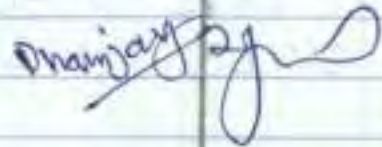
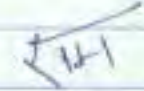
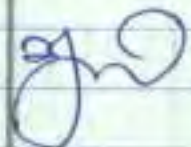

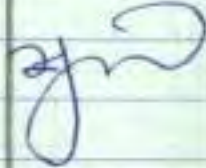
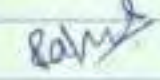
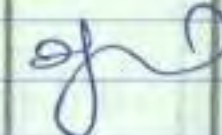


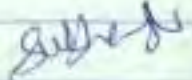
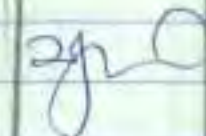
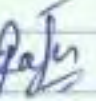
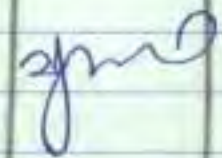
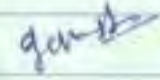
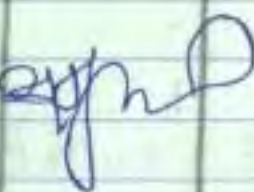
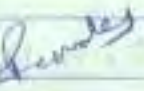
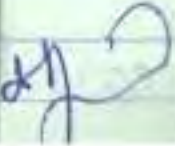
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223	08/11 2023	MH03 BG6453	MH047010 70003145	07/02 2023	06/02 2024	Prakash T	Ram bali			
224	-L	MH43 BG6747	MH004019 50004551	02/06 2023	01/06 2024	Prakash T	Pradeep Kumar			
225	-L	MH48 AY5810	MH0010057 0001958	25/01 2023	24/01 2024	Gupta T	Ram Sanjiv			
226	-L	MH47 AS7024	MH4700700 047132	07/07 2023	06/07 2024	Sandeep T	Sandeep			
227	09/11 2023	MH04 JK6832	MH004026900 02199	23/03 2023	22/03 2024	Nikram Roadline	Dilip			
228	-L	MH03 CV0916	MH0040068 0005827	15/04 2023	14/04 2024	Gajanan Transport	Sohal			
229	-L	MH04 K49750	MH00501780000 56011111	14/01 2023	13/01 2024	Ansom Transport	Sunil Yadav			
230	-L	MH01 CV0471	MH0140154 0005928	26/02 2023	25/02 2024	Ganesh Transport	Ganesh			

NO	DATE	VEH NO	PUC NO	PUC ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
232	10/11/2023	MH04 HD2003	MH0010171 0000373	11/07/2023	10/07/2024	Sai Transport	Pradip			
233	11/11/2023	MH01CV 3978	MH026006200122 47	23/01/2023	22/01/2024	Patil Transport	Balaji Patil			
234	11/11/2023	MH43BA 4969	MH0430114000 8354	14/09/2023	13/09/2024	Poonam Transport	Momin ansari	momin		
235	14/11/2023	MH04FD 7594	MH04700920028201	18/06/23	17/02/2023	'BTS Transport	HUSSEN	HUSSEN		
236	-/-	MH48AU38	MH026006200 20044	22/09/23	21/03/24	Pattil	Nanath.			
237	15/11/2023	MH01 BR9239	MH001004 80024193	20/02/2023	19/02/2024	Masdar supply	Shravandebay			
238	-/-	MH04 HD 2003	MH0010171 0000373	11/07/2023	10/07/2024	Sai Transport	Pradip			
239	-/-	MH03 CV9046	MH0080103 0008690	25/01/2023	24/01/2024	Bharel	Panda			
240	16/11/2023	MH14JP 9399	MH0430058 0016179	15/11/2023	14/11/2024	preem transport	tanvesh			

NO	DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRY DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
242	16/11/2023	MH46 BM9669	MH004033 50000731	11/11/22	10/11/23	Karanna T	Mahendrasga	Mahendrasga		
243	17/11/2023	MH46 AR5587	MH0460016 0006099	29/09/2023	28/03/2024	Ajay Transport	scraj			
244	17/11/2023	MH04 LC2274	MH003021 60002301	28/03/2023	27/03/2024	Bright T	Amol			
245	17/11/2023	MH01 CV0701	MH0010105000 2748	25/10/2023	24/10/2024	Mahavir Glass	Dada Thambe			
246	18/11/2023	MH02 EQ2183	MH0200018 0003914	21/03/2023	20/03/2024	Swara Transport	Vrshwas			
247	18/11/2023	MH01 HD) 2023	MH001017108 00373	11/07/2023	10/07/2024	Sai Distributors	Rahul			
248	18/11/2023	DN09 N9257	MH0480051 0003381	25/03/2023	24/03/2024	Shiv Sakti T	Ram			
249	18/11/2023	MH01 CV0471	MH0140154 0005928	26/02/2023	25/02/2024	Ganesh Transport	Ganesh			
250	19/11	MH12	MH014070	28/02	20/02					

NO	DATE	VEH NO	PUC NO	PUC ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
251	20/11/23	MH04TK 6040	MH0010035 0001351	12/11/22	11/11/23	Bastiwalda Transport	Ram milan			
252	- -	MH01 CV 4331	MH043011 200014812	13/03/23	12/03 2024	Lampala T	Zakir			
253	-L	MH04 FD 6862	MH00302 380010784	24/06 2023	23/06 2024	SURAJ T	Pravin			
254	21/11/23	MH01 CV 7684	-	10/01/23	10/01/2024	SHRI DYANESHWAR T.	Dyaneshwar			
255	22/11/23	MH46BF 5561	MH046016300 00451	08/12/22	07/12/23	Reresh Roadlines	Janaadhar			
256	-L	MH47 AS0023	MH0020138 0000065	25/01/23	24/01 2024	Sondu Transport	Ganesh			
257	-L	MH04 FC 5836	MH0430021 0023593	26/02 2023	25/02 2024	Hanish T	Asham			
258	23/11 2023	MH48B P 4405	MH0480020000 93091	18/07/23	17/01/24	Ganesh Container mads	Sonu			
258	-L	MH03 CV 6221	MH001013 70001823	04/09 2023	03/09 2024	Sighn T	Mahendra Singh			
259	23/11 2023	MH46 AR 5583	MH04600 160006099	29/09 2023	28/09 2024	Ajay T	SURAJ			

DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRE DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	DRIVER SIGN	REMARK
261	24/11/2023	MH04 HD2003	MH0010171 0000373	11/07/2023	10/07/2024	Sai Transport	Raadhya		
262	4/11/2023	MH43 BP4811	MH00300 90006223	14/02/2023	13/02/2024	Orange T	Dhor Singh		
263	26/11/23	MH03DV 5608	MH003015700 08048	03/10/23	02/10/24	Jyotirlinga Transport	Suresh G.		
264	29/11/23	OD01G 9259	GJ01900220250 3259	18/0/23	19/01/23	Krushna Transport	saket		
265	29/11/23	MH03DV 3415	MH0030067000 9663	03/10/23	02/10/24	Pentagon Company	manoj Tiwari		
266	28/11/2023	MH01 BR1023	MH002400 179003323	18/06/2023	17/12/2023	Baburam MILYAZ Transport	Baburam Vanna		
267	4/11/2023	MH01 CV210	MH0010056 0002812	27/03/2023	26/03/2024	Rajarom Steh T.	Rajarom		
268	28/11/2023	MH06 BW7901	MH00600 580002931	05/07/2023	04/10/2024	Rustam T	Rustam		
269	29/11/2023	MH48 AG5888	MH0010025 0005466	09/11/2023	08/05/2024	Han Om Transport	Narayan		
270	29/11	MH03	MH047010	13/04	12/04	Darshan	Manoj		

	DATE	VEH NO	PUC NO	PUC ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
271	29/11 2023	MH47 AS0539	MH04700 590005728	18/09 2023	17/09 2024	Pareesh Transport	Dhanraj			
272	30/11 2023	MH09 N9257	MH04800 51003381	25/03 2023	24/03 2024	shri sakti T	Ram			
273	-IL	MH03 CP0520	MH00301 570007397	09/02 2023	08/02 2024	Ram hans T	Manoj			
274	-L	MH04 HD2023	MH00101 710000373	11/04 2023	10/04 2024	Scei Distributors	Rahul			
274	-IL	MH04 HD2003	MH0010191 0000373	11/07 2023	10/07 2024	Sarfaemul	Rahul			
275	-IL	MH03 DV6938	MH0030228 0025940	29/06 2023	28/06 2024	Vishva Kamal Transport	Subhash			
276	01/12 2023	MH01 CR9414	MH001007 00011735	01/10 2023	30/09 2024	AS Enterprises	Raj			
277	- 1/12 2023	MH01 CV0471	MH0140154 0005928	26/02 2023	25/02 2024	Ganesh T	Ganesh			
278	-L/12	MH03	MH0080123	25/01	24/01	Bhaed. T	Ramdas			

	DATE	VEH NO	PUC NO	PUC ISSUE DATE	EXPIRE DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
280	02/12/2023	MH01 CV 2806	MH011011300 06381	16/03/2023	13/03/2024	Laxmi .M.T	Ram Navesh			
281	02/12/2023	MH03 CV 0916	MH004026 90002199	23/03/2023	22/03/2024	Gajanan T	Sachal			
282	14/12/2023	MH01 CV 0471	MH0140155 0005928	26/02/2023	25/02/2024	Ganesh Perp	Ranesh			
283	14/12/2023	MH04 JK 6832	MH004026 90002199	23/03/2023	20/03/2024	Vikram Ranabur	Dilip			
284	03/12/2023	MH06 AR 3249	MH046002 60012544	20/06/2023	19/12/2023	Sai Anand	Umesh			
285	14/12/2023	MH01 CR 5544	MH00300 530005963	14/05/2023	13/05/2024	Ganraj T	Noor Salam			
286	04/12/23	MH08 AG 8012	GJ019002800 16857	01/12/23	31/12/2024	Ascolite .T	Mahendra			
287	04/12/2023	MH01 CR 8244	MH0430120024169	24/11/2023	23/11/2024	Bastiwala	Papp Chandrika			
288	05/12/2023	MH01EE 0014	MH0470128000 5794	07/10/2023	06/10/2024	Bastiwala	Pappu Pal			

	DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	SIGN	OUT SIGN	REMARK
290	05/12 2023	MH01 CR4836	MH002085 0000451	29/09 2023	28/09 2024	ENCORE T	Awi			
291	—	MH01 CV2107	MH0010056 0002812	27/03 2023	26/03 2024	Rajaram T	Rajaram			
292	06/12 2023	MH48 AY2366	MH04800340 003668	09/01/23	05/01 2024	Shizan T. Somu	Somnath			
293	06/12 2023	MH02 ER4093	MH003024 80002153	18/01 2023	17/01 2024	Astoria T	Nonu Kumar Jee			
294	06/12 2023	MH43 BP8927	MH043446 70005446	22/11 2023	21/11 2024	Lalbecha Ravi	Rakesh			
295	8/12 2024	MH46 BF5561	MH0460 500012476	24/11 2023	23/11 2024	Rupesh Raddhe	Janardhan			
296	—	MH47 AS5356	MH0470072 0037017	12/02 2023	16/02 2024	May Lotech T	Rakesh Gupta			
297	07/12 2023	MH04KV 9334	MH004038700 00634	08/11 2023	8/10 2024	Bastiwella	Raju			
298	7/12 2023	MH03CP 9842	MH0030653000 8289	21/03 2023	20/03 2024	Rodhe Shyam Transport	Ravikant			

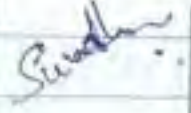
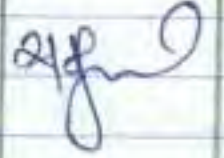

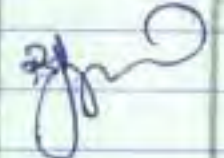
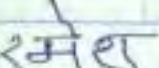

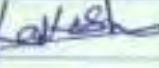

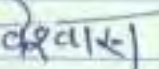
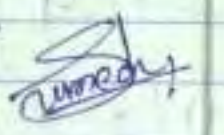
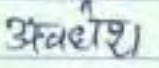
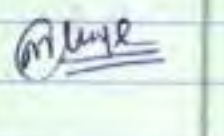
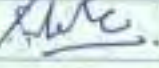


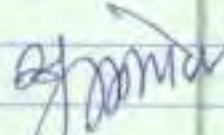
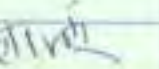
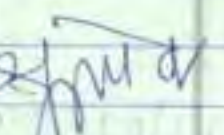
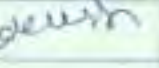
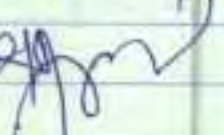
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301	09/12 2023	MH04 JK6040	MH001035000 4219	14/11/23	13/11/23	Bastiwala	Ashok	Ashok	[Signature]	
302	09/12 2023	NL01 AD9604	MH0310091000 8034	31/01/2023	30/01/2024	Milan Roadways	Dharmendra	Dharmendra	[Signature]	
303	10/12 2023	MH46AR 3219	MH046002600125 44	20/06/2023	19/12/2023	Neermala Transport	Ramesh	Ramesh	[Signature]	
304	11/12 2023	MH01CR 8244	MH04801120024169	24/11/2023	23/11/2024	Bastiwala	Chandrika	Chandrika	[Signature]	
305	12/12 2023	MH01 CR9414	MH001007 00011735	01/10 2023	31/09 2024	A-S Enterprises	Rajy	Rajy	[Signature]	
306	12/12 2023	MH04 HD2003	MH001017 0000373	11/07 2023	10/07 2024	Sar Transport	Pankaj	Pankaj	[Signature]	
307	12/12 2023	MH04 KY9750	MH0050178 000500	14/01 2023	13/01 2024	Ansan Transport	Sunil Yadav	Sunil Yadav	[Signature]	
308	12/12 2023	MH43BG 6669	-	24 NOV 2023	23 NOV 2024	Poonam Taddas	Bahadur	Bahadur	[Signature]	
309	12/12 2023	MH18 BG7982	MH0040335 0002848	09/10 2023	08/10 2024	Hansh Transport	Vinod Kumar	Vinod Kumar	[Signature]	

	DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
310	13/12/2023	RJ 19 GH3215	D221RJ 19104981	05/01/2023	01/01/2024	Tata Motors	Ganga Ram			
311	13/12/2023	MH04HS 8751	MH047006300 10307	09/11/2023	08/05/2024	Yashori Transport	Nandu			
312	14/12/2023	MH48CG 2639	MC	21 Jul 2023	26 Jul 2024	Santosh Tempo Service	Santosh			
313	16/12/2023	MH04 JK2462	MH0470128 0005423	10/03/2023	12/03/2024	Sai Transport	Lalu			
314	15/12/2023	MH04 AP5725	MH047000 10003109	23/12/2023	22/12/2024	Harish T	Yadav			
315	16/12/2023	MH03 HD5516	MH0070021 0968072	01/07/2023	31/06/2024	Shalu T	Sanjay			
316	16/12/2023	MH04 ED2896	MH0080238 0010784	24/06/2023	23/06/2024	Sueg T	Pravin			
317	16/12/2023	MH01 CV0471	MH01401 540005928	26/02/2023	25/02/2024	Ganesh Transport	Ganesh			
318	17/12/2023	MH01 CR8291	MH0030255 0003188	09/09/2023	08/09/2024	Pramad T	Tarakeswar			
319	17/12/2024	MH48 AGB632	MH00100 250005466	09/11/2023	08/11/2024	Sanjay T	Narayan			

	DATE	VEH NO	PUC NO	PUC ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
321	18/12 2023	MH02 ER3868	MH004018 50009484	03/01 2023	02/01 2024	Sarbedh Transport	Ajay	Signature	Signature	
322	-	MH04 KY1598	- MH00 3019900-06 208	28/08 2023	27/08 2024	Jay Transport	Gulzar	Signature	Signature	
323	19/12 2023	MH04 HD2063	MH001079 0000373	11/07 2023	10/07 2024	Sai Transport	Pooje	Signature	Signature	
324	-/12 2023	MH04 JK6832	MH004026 0000294	23/03 2023	22/03 2024	Nikroo Ladhu	Pilip	Signature	Signature	
325	20/12 2023	MH43 B44963	MH043011 400083 54	14/09 2023	13/09 2023	A R. Tempal	Momin	momin	Signature	
326	-	MH01 CV6828	MH0010057 0001940	12/01 2023	11/01 2024	Kadir Tempo Seru	Kadir	Signature	Signature	
327	2/12 2023	MH04 AT8075	MH0480075 0010210	17/01 2023	16/01 2024	Creative Gemma Tup	Durgesh	Signature	Signature	
328	-/12	MH02 FL5630	MH0020063 0003039	19/08 2023	18/08 2024	Subhas Elec..T	Bhagappa	Signature	Signature	
						Tata Motors	Channarayana	Signature	Signature	

	DATE	VEH NO	PUC NO	PUC ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
330	23/12/2023	MH01 CV 2806	MH011011300 06381	16/03/23	15/03/2024	Laxmi M.Y Transport	Ramnaresh	रामनरेश		
331	23/12/2023	MH4A AS 0534	MH0470059 0005728	18/09/2023	19/09/2024	Paresh Transport Services	Dhananjay	धनंजय		
332	24/12/2023	MH01 CV 4331	MH0430112000 14812	13/03/2023	12/03/2024	Ganpath Transport	Zakir	झाकिर		
333	24/12/2023	MH/46 AR 5583	MH0460016000 6099	24/09/2023	28/09/2024	Ajay Transport	Sunraj			
334	-11-	MH03 DV 3453	MH001000 50063675	25/06/2023	24/06/2024	Paway T	shripat			
335	15/12/2023	MH01 CV 5220	MH001008 4000337	14/01/2023	13/01/2024	shri Laxmi Lime T	sonu			
336	14/12/2023	GT-36 T 2001	GT 00300 590010482	26/12/2023	25/12/2023	Riddhima	Rahul Kumar			
337	25/12/2023	GT 7XX 9555	GT 7XX 480010 51A	20/10/2023	19/10/2024	Batuk Transport	Siraj	सिराज		
338	26/12/2023	MH43 BG 4969	MH043011 0008354	14/09/2023	13/09/2023	Poonam Traders	Momin.A			
339	1/12/2023	MH01 CR 9414	MH001000200 11733	01/10/2023	31/09/2024	A S Enterprises	Rugy			
340	-11-	MH01 CV 7324	MH0032029 0001294	12/12/2023	10/12/2024	Sangam T	Gautam	गौतम		

	DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRY DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
342	27/12 2023	MH01 CV5227	MH0010084 0003317	14/01 2023	13/01 2023	Shri Laxmi Transport	Sony			
343	1/12 2023	MH01 DR3779	MH0010005 0056638	11/01 2023	10/01 2024	Sai Krupa T	Rambhanut			
344	28/12 2023	MH04 JK2462	MH0470128000 5423	13/03/23	12/03/2024	Ganesh Transport	Saneleap			
345	1/12 2023	MH04 JK2462	MH0470128 0005423	13/03 2023	12/03 2024	Sai Transport	Lala			
346	1/12 2023	MH01 HD2023	MH00101708 00373	11/07 2023	10/07 2024	Sai Distributor	Rahul			
347	20/12 2023	MH01 DR6009	MH0010000 50058720	21/02 2023	20/02 2024	shiv shrobbey Transport	raithesh			
348	1/12	MH01 CV5970	MH00300 850005628	28/12 2023	27/12 2024	Adarsh T	Rajendra			
349	30/12 2023	MH04 JK6832	MH004026 00002194	23/03 2023	22/03 2024	Vithans Racker	Dilip			
350	30/12 2023	MH01 CR8244	MH043011 20024169	24/11 2023	23/11 2024	Bastwala T	chanelnika			
351	31/12 2023	MH01 CV4329	MH02600 620016071	23/05 2023	22/05 2024	Nagnath T	Nagnath			
352	1/12	MH01 CV5227	MH0010084 0003317	14/01 2023	13/01 2024	Shri Laxmi Laxmi dep	Sona			

	DATE	VEH NO	PUC NO	PUC ISSUE DATE	EXPIRY DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
353	02/01 2024	MH04 KF7523	MH0400850 016144	03/09 2023	02/09 2024	Pooja Road	Sudama			
354	-11-	MH02 ER2996	MH018100 22013453	11/03 2023	10/03 2024	Pooja Transport	Imaran			
355	03/01 2024	MH04 KF6214	MH0470086000 2406	13/04/ 2023	12/04/ 2024	New Balaji Transport	Ramesh			
356	03/01/ 2024	16/06 UP11CT3315	D47RG09110401	11/02 2023	12/02 2024	Yadav Roadlines	Rakesh Yadav			
357	03/01 2024	MH02BG 7183	MH0320018000 3914	21/03 2023	20/03 2024	Swara Transport	Vishwas			
358	04/01 2024	MH07Y 6092	- PUC Not Issued			Poonam Patis New Van	Avdesh			
359	05/01 2024	MH01W 1379	online Issued PUC.	26/10/ 2023	27/10/ 2024	S.V Zurate	Kailas			
360	05/01 2024	MH04 K49750	MH0050178 000560	14/01 2023	13/01 2024	Anson Transport	Sunil Yadav			
361	6/01 2024	MH04 JK2462	MH047030128 0005423	13/03 2023	12/03 2024	Sai Transport	Lala			
362	06/01 2023	MH03 CP177	MH0470109000 4761	25/02 2023	24/02 2024	Chounday Transport	Larkush			
363	07/01	MH04	MH0C40260000	23/03	22/03					

SR. NO	DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
364	07/01 2024	MH01 CV 6828	MH0010057 0001940	12/01 2023	11/01 2024	Kadir Tongo	Kadir			
365	08/01 2024	MH04 HD 2003	MH0010171 0000373	11/07 2023	10/07 2024	Sci Transport	Poadeep			
366	-1-	MH48 AG 2681	MH048106 0015396	29/08 2023	28/08 2024	S B Gupta T	VIJAY P			
367	09/01 2024	MH02 ER 1497	MH00201170 006113	29/10 2023	28/10 2024	star Ceramic	Chaman			
368	10/01 2024	MH01CV 4331	MH0430112000 14812	13/03 2023	12/03 2024	Ganpat Transport	Zakir			
369	11/01 2024	MH01 CV 5220	MH001008 40003317	14/01 2023	13/01 2024	Shri Laxmi HM	Sonu			
370	12/01 2024	MH02ER 1497	MH0020117000 6113	29/10 2023	28/10 2024	Satyam Transport	Lalu			
371	-1-	MH01CR 5325	MH0430104000 1505	01/12 2023	31/11/2024	Pal Transport	Akhilish			
372	13/01 2024	MH48BM 4130	MH0040263000 2146	22/08 2023	21/08 2024	Shaharaj Transport	Shafik			
373	-1-	MH43BG	MH0430114000	14/09	13/09	Gurudev Transp	Shavaji			

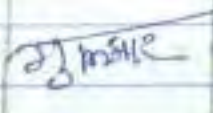
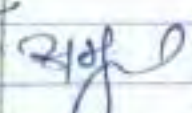
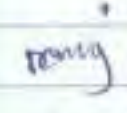
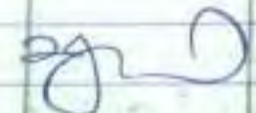
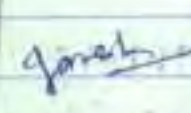
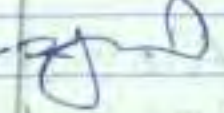
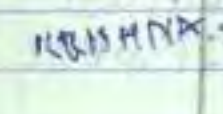
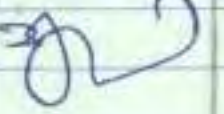
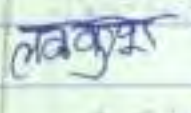
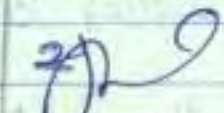
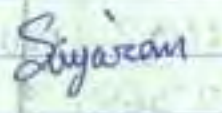
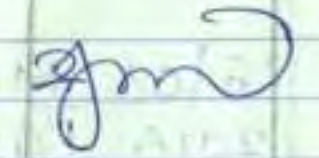
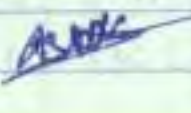
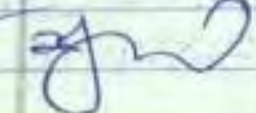
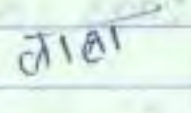
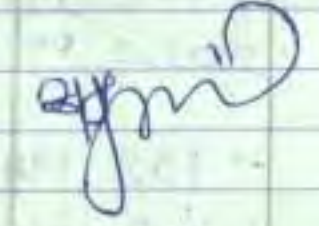
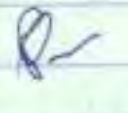
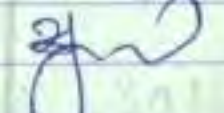
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375	16/01 2024	DD01K 9177	DD0010010000 0739	08/10/23	07/10/24	maharishi transport	Narayan			
376	11/01 2024	MH46 AR5583	MH0460059000 2016	29/09 2023	28/09 2024	Glass walk T	Suresh			
377	17/01 2024	MH05 EL1129	MH0010066000 5364	06/07 2023	05/07 2024	Ashok Bould Con Ltd	Santosh			
378	17/01 2024	MH01 CR9414	MH001007 00011735	01/10 2023	3/09 2024	A.S. Entertash	Ratna			
379	18/12 2024	MH04 H.D 2023	MH001071 0000373	11/07 2023	10/07 2024	Sai Transpms	Prakash			
380	18/11 2024	MH04 KY9750	MH0050178 000560	14/01 2023	13/01 2024	Om Sam drupal	Sumit Yadav			
381	19/01 2024	MH01 CR4805	MH001009000 387	10/03 2023	09/03 2024	Ravi plai T.	Mithlesh Yadav			
382	20/01 2024	MH01 BR1839	MH00030 00106651	30/08 2023	29/08 2024	Real Talk T.	Saraj			
383	20/01 2024	MH01 ND 2023	MH001017108 00373	11/07 2023	10/7 2024	Sai Distributer	RAHUL			
384	21/01	MH01	MH00100050	21/02	20/02	SHIV Sham bhu	NIRESH			

	DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
385	21/01 2024	MH04 HY 0319	MH002000500 07293	01/03 2023	01/03 2024	ST Animesh Transport	Soban			
386	22/01 2024	MH18 097982	MH00403350 002848	09/10 2023	08/10 2023	HARISH Transport	Vinod Kumar			
387	22/01 2024	MH04 FD 6862	MH003023800 10784	24/06 2023	23/06 2024	SURAJ Transport	Pravin			
388	23/01 2024	MH03 CV 6221	MH001013200 01625	04/09 2023	03/09 2024	Singh Transport	Mahendra Singh			
389	11/01	MH01 CV 5227	MH0010084000 3312	14/01 2023	13/01 2024	Laxmi Transport	Sony			
390	24/01 2024	MH47 AS 3048	MH0480136 0006082	18/11 2023	17/11 2024	Santosh T	Satish			
391	24/01 2024	MH47 Y 2569	MH0030129 0008362	02/08 2023	01/08 2024	R.K.G. Transport	Sunil Jyoti			
392	25/01 2024	MH02 1492	MH0020112000 6113	29/10/23	28/10/24	Star Ceramic	Babu			
393	29/01/2024	GJISAT 3677	MH004015500 12181	20/09/2023	19/09/2024	Big Block Construction	Darashankar			
394	30/01 2024	MH48AG 6191	MH04301120025 969	30/01/24 29/01/24	29/07/24	Maauti Transport	Maauti			
395	31/01	MH04	MH004026000	23/03	22/03	Nikhar Landscaping	Dilip			

	DATE	VEH NO	PUC NO	PUC ISSUE DATE	EXPIRES DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
397	02/02 2024	MH01 CR 9414	MH001000 20011735	01/10 2023	31/09 2024	A.S Enterprises	Raja	Raja	gnd	
398	02/02 2024	MH14 JC 1062	MH014020 40003506	28/02 2023	27/02 2024	Nikhil T	Nikhil	Nikhil	gnd	
399	03/02 2024	MH48 AG 2681	MH048106 0015396	29/08 2023	28/08 2024	S.B Gupta T	Vijay P	Vijay	gnd	
400	11/02 2024	MH04 JK 2462	MH047000 128005420	13/03 2023	12/03 2024	Sai Transport	Lalu	MHT	gnd	
401	04/02 2024	MH03 CV 6221	MH001013 70001624	04/09 2023	03/09 2024	Singh T	Mahendax Singh	MHT	gnd	
402	11/02 2024	MH01 CV 2107	MH0010056 0002812	27/03 2023	26/03 2024	Rajaram shah T	Rajaram	25/11/24	gnd	
403	05/02 2023	MH01 EE 1183	MH0460154 0002718	03/11 2023	02/11 2024	S.S Enterprises	Shiv Prasad	Shiv Prasad	gnd	
404	11/02	MH03 CV 9386	MH0030071 0013230	23/08 2023	22/08 2024	Kadaro Transport	Wasim	Wasim	gnd	
405	11/02	MH47 E3168	MH0480133 0003854	10/08 2023	09/08 2024	Play Plus T	Akbar Ali	AKBAR	gnd	
406	06/02 2024	MH01 CV 3566	MH00302 5500044	07/10 2023	06/10 2024	Nishal T	gwendal	gwendal	gnd	

	DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
408	07/02 2024	MH48 BM0858	ON Line ISSUED PUE	02-12 2023	13-12 2024	Sokal Transport	Arvind Patil	Arvind		
409	-	MH01 DR578	MH0040085 0015619	08/06 2023	07/06 2024	Hem record T	Mukesh	Mukesh		
410	08/01 2024	MH02 ER1497	MH0020107 0006113	29/10 2023	28/10 2024	Star Ceramic	Chaman	Chaman		
411	-	MH04 HD2003	MH001017 10000373	11/07 2023	10/07 2024	Sai Transport	Paaloo	Paaloo		
412	9/02 2024	DN09 N9257	MH048051 0003381	25/03 2023	24/03 2024	Shiv Sakt T	Ram	Ram		
413	-	MH01 CV0471	MH0140159 0005928	26/02 2023	25/02 2024	Ganesh Trends	Ganesh	Ganesh		
414	10/02 2024	MH01 HD2023	MH001017108 00373	11/07 2023	10/07 2024	Sai Distributors	Rahul	Rahul		
415	-	MH01 CR9414	MH001009 00011735	01/10 2023	30/09 2024	A.S ENT	Raju	Raju		
416	11/02 2024	MH01 CR5325	MH04301040 001505	01/12 2023	01/11 2024	PAL Transport	Akhilesh	Akhil		
417	-	MH43 BG4969	MH0430114000 8379	14/09 2023	10/09 2024	Gurudev Tempo	Shiraj	Shiraj		

DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	G/SUP SIGN	REMARK
419	12/02 2024	MH01 CV1379	online based puc	26/01 2023	25/01 2024	S.V. Zude	Kailas		
420	-11-	MH03 CV0916	MH004026 90002196	23/03 2023	22/03 2024	Gajanan T.	Satish		
421	13/02 2024	MH04 KF7523	MH004000 50016144	03/09 2023	02/09 2024	Pooja Zedline	Sadama		
422	-11-	MH43 BG6669	MH043008 00004998	04/09 2002	03/09 2024	Prachin Trus	Prabhu charan		
423	14/02 2024	RJ19 GH9215	D221RJ19104981	05/01 2023	04/01 2024	Tata motors	Gangaram		
424	14/02 2024	MH04 ED2896	MH00B02380010 784	24/06 2023	23/06 2024	Suraj Transport	Pravin		
425	15/12 2024	MH01 CR9414	MH001007000 11735	01/10 2023	31/09 2024	A.S Interprises	Raju		
426	15/12 2024	MH04 HY0319	MH0020005000 7293	02/03 2023	01/03 2024	St Anthony Transport	Soban		
427	16/12 2024	MH04 CP1777	MH0470109000 476	25/02 2023	24/02 2024	Vikas Rao Rande	Dilip		
428	16/02 2024	CG04 NV2998	CGJ019002300145 49	19/07 2023	18/07 2024	Sun Transport	Virendra		
429	17/02	MH18	MH18040885nan	09/10	08/10	Harch Transport	Vinod Kumar		

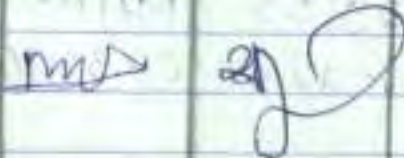
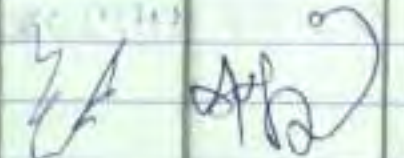
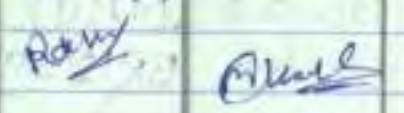

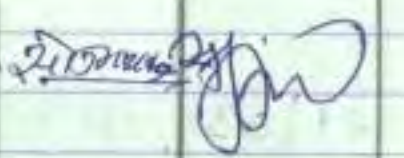
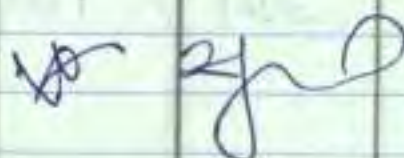
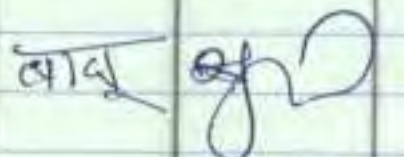
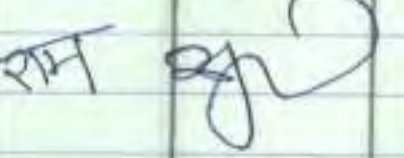
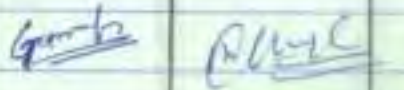
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430	17/02 2024	MH04 KY 1598	MH0080199 0006208	28/08 2023	27/08 2024	Jay Transport	Chilzar			
431	18/02 2024	MH03 CP0520	MH00301 570007397	09/02 2023	08/02 2024	Pantane-T	Manoj			
432	18/02 2024	MH04 CV047	MH040154 0005928	26/02 2023	25/02 2024	Ganesh T	Ganesh			
433	18/02 2024	MH05 EL2743	MH003024 70013357	23/05 2023	22/05 2024	Mangal rauti T	Kaishna			
434	19/02 2024	MH02 ER 1487	MH00201170 006113	29/10 2023	28/10 2024	Star Sramix T	Lovekash			
435	20/02 2024	MH01 DR6937	MH0010016000 4849	20/11 2023	19/11 2024	Honda T	Syokan			
436	-11-	MH04 LE1686	MH0040085 0018061	24/08 2023	23/08 2024	Aspa Toomew Ashok	Ashok			
437	21/02 2024	MH04 JK2462	MH0047020 1280005423	13/03 2023	12/03 2024	Sai Transport	Lala			
438	11/02 2024	MH04 HD2023	MH0010170000 373	11/07 2023	10/07 2024	Sai Distributors	Pradeep			

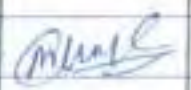

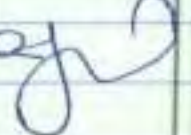
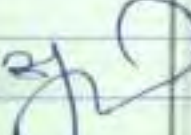
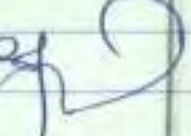
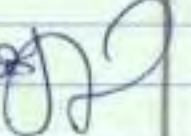
DATE	VEH NO	PUG NO	PUG INVO DATE	EXPIRD DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
22/02 2024	MH01 EE3799	MH0030039 0008426	04/02 2024	03/02 2025	Sai Krishna T	BABU			
23/02 2024	MH01 CR6539	MH00400 680005982	27/06 2023	26/06 2024	Jamal chunavda Travels	HUSSER			
24/02 2024	MH48 AG2681	MH048106 0015396	29/08 2023	28/08 2024	S.B Gupta.T	Vijay	Vijay		
24/02 2024	MH04 JK6832	MH004026 90002109	23/03 2023	20/03 2024	VIKRAM RAO	Dilip	Dilip		
25/02 2024	MH48 BM4554	MH020117 0004087	28/12 2023	27/12 2024	Vijay.T	Rakesh yada	Ryada		
25/02 2024	MH03 CV04H	MH0140154 0005928	26/02 2023	25/02 2024	Ganesh Transport	Ganesh	Ganesh		
26/02 2024	MH02 FG2368	MH0020117 0005790	24/04 2023	23/04 2024	Shri Prashant T.	Chandh	Chandh		
26/02 2024	MH04 LE3377	MH0480018 0007894	14/09 2023	13/09 2024	Hens Agency	Shalish	Shalish		
27/02 2024	MH04 M 2003	MH0010171 0000373	11/07 2023	10/07 2024	Sai Transport	Rodrup	Rodrup		
27/02 2024	MH43 AG5632	MH0010025 0005466	09/11 2023	08/11 2024	POORU Transport	Santosh	Santosh		
28/02 2024	MH46BF	MH003024	22/02/2024	21/08/2024	AGART Transport	Rakesh			

	DATE	VEH NO	PUC NO	PUC ISSUE DATE	EXPIRE DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
452	29/02 2024	MH01 DR 7914	MH0010092000 6013	05/12 2023	04/12 2024	Ravi Transport	Ramesh Yadav			
453	01/03 2024	MH04 JK 2462	MH047000 1280005423	13/03 2024	12/03 2024	Sai Transport	Lala			
454	1/03 2024	MH01 BR 1839	MH06301800 100651	30/08 2023	29/08 2024	Real Tech T	Suraj			
455	02/03 2024	MH01 CR 4805	MH001009000 3877	10/09 2023	09/03 2024	Ram Prad T	Mukesh Yadav			
456	02/03 2024	MH09 NG 257	MH0480051 0003361	25/03 2024	24/03 2024	Shiv Shakti T	Ram			
457	03/03 2024	MH04 FH 486	MH004021 80003320	19/05 2023	18/05 2024	Green channel GNT	Sanjay			
458	11/03 2024	MH02 BR 7183	MH03200 180003914	23/03 2023	20/03 2024	Swara Transport	Vishwas			
459	04/03 2024	GT 16 AW 1418	MH04800 120026165	25/01 2024	24/01 2025	Precise Con T.	Ajay			
460	05/03 2024	MH02 FR 1497	MH002011 7000619	29/10 2023	28/10 2024	Star SERA MIX T. Services	Baby			
461	11/03 2024	MH01 HD 2023	MH001017108 00373	11/07 2023	10/07 2024	Sai Distributors	Rahul			
462	06/03	MH46	MH0460116	02/09	28/09	Ashok Transport	Purni			

DATE	VEH NO	PUG NO	PUG INVT DATE	EXPIRD DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
06/03/2024	MH42 BE 6947	MH0480228 0000151	24/12/2023	23/12/2024	Orange Transport	Pradap Singh			
07/03/2024	MH01 CV 4329	MH0260062 0016071	23/05/2023	20/05/2024	Nagnath Transport	Nagnath			
08/03/2024	MH048 AY 7818	MH048001 4000938	20/02/2023	18/02/2024	Shizan Tempo Services	Samnath			
08/03/2024	MH48 AQ 5632	MH0010025 0005466	09/11/2023	08/11/2024	Sanjay Transport	Sanjay			
09/03/2024	MH01 CRG539	MH0030085 0006647	02/03/2024	01/03/2025	Jamal Dada chunwala T	Hussen			
09/03/2024	MH01 CV 2979	MH0010137 0002132	27/01/2024	26/01/2025	Phardoba Transport	Khandu			
10/03/2024	MH02 BQ 7183	MH0320018 0003914	21/03/2023	20/03/2024	Swaraj Transport	Vishwas			
L/03/2024	MH01 HD 2023	MH001017108 00373	11/07/2023	10/07/2024	Sai Distributors	Rahul			
11/03/2024	MH14 HU 3758	MH04600450010 785	03/02/2023	02/02/2024	Pratik Roadlines	Pratik Nitesh			
11/03/24	MH12 GU 7545		10/02/2025	11/02/2025	Pratik Roadlines	Ganesh			
11/03/24	MH14	MH01400570007	09/02/2024	08/02/2025	Pratik Roadlines	Nainath			

No	DATE	VEH NO	PUC NO	PUC ISSUE DATE	EXPIRE DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
474	12/03/2024	MH14LB 7946	online PUC	14/09/2023	13 Sep 2025	Pratik Roadlines	Kalidas	Kalidas		
475	12/03/2024	MH14KA 7946	MH014002900 10099	19/07/2023	18/07/2024	Pratik Roadlines	Akshay	Akshay		
476	13/03/2024	MH02ER 1497	MH0020117000 6113	29/10/2023	28/10/2024	Star Ceramic	chaman	Chaman		
477	-11-	MH43 BG4969	MH0430114000 8375	14/09/2023	13/09/2024	Crusader Transport	Shiraji	Shiraji		
478	14/03/2024	MH03 CV9386	MH0030071001 3230	23/08/2023	22/08/2024	Kalam Transport	Wasim	Wasim		
479	-11-	MH01 CV2107	MH0010066 0002812	27/03/2023	26/03/2024	Raja Ram stah.T J.T Transport	Raja Ram	Raja Ram		
480	15/03/2024	MH04 F42634	MH0470132 0042334	02/02/2024	26/08/2024	J.T Transport	Rajpal	Rajpal		
481	15/03/2024	MH01CV 2806	MH01101130006 381	16/03/2023	15/03/2024	Laxmi M.Y Roadlines	Ram naresh	Ram naresh		
482	16/03/2024	MH46AR 5583	MH0460016000 6099	29/09/2023	28/03/2024	Ajay Transport	SURAJ	SURAJ		
483	17/03/2024	MH48 AG5632	MH0010025000 5466	09/11/2023	08/11/2024	Pans Ceramic T	Pradeep	Pradeep		
484	-11-	MH47 AS6742	MH0470091000 4062	23/04/2023	22/04/2024	Maheshwari munde T	Kalpesh	Kalpesh		

No	DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
486	18/03 2024	MH43 AG 5682	MH0010025 0005466	08/11 2023	08/11 2024	Parass Transport	Santosh			
487	19/03 2024	MH04 GC 5836	MH005028 80014771	29/02 2024	27/02/ 2025	Vibhau Transport	mubank			
488	14/03 2024	MH04 JK 6832	MH00401090 00476	23/03 2023	22/03 2024	Nikam Ladene	Dilip			
489	20/03 2024	MH03 CV 9046	MH0030225000 1276	28/01 2024	27/01 2025	Bajaj T	Ramdas			
490	20/03/24	MH04 HD 2023	MH00101710000 373	11/04/2023	10/04/2024	Sai Distributors	Rahul			
491	21/03/24	MH02 FR 1437	MH00201170006113	29/10/23	29/10/24	Star Ceramic	Babu			
492	22/03 2024	MH43 BP 8541	MH04300130 009745	18/10 2023	17/10/24	Glass wall Transport	Somnath			
493	-L	MH43 BG 6388	M0010137000 2147	31/01 2024	30/01 2025	Sabbir Trading	Aana d			
494	23/03 2024	MH02 FR 1497	MH002011 7000613	29/10 2023	28/10 2024	Star Seng mix T. Services	Babu			
495	-11-	DN09 N9257	MH048051000 3381	25/03 2023	24/03 2024	Shiv Shakti T	Ram			
496	26/03 2024	MH03 CV 0471	MH0140154000 0000	26/04/ 2023	25/04/24	Ganesh Transport	Ganesh			

NO	DATE	VEH NO	PUG NO	PUG ISSUE DATE	EXPIRED DATE	TRANSPORT NAME	DRIVER NAME	DRIVER SIGN	S/SUP SIGN	REMARK
497	28/03/24	MH04FD 6862	MH002023800 10784	26/01/23	25/01/24	SURAJ TRANSPORT	pravin	pravin		
497	29/03 2024	MH03 CP3740	MH0030091000 8450	03/05 2023	02/05 2024	Lucky Transport	M. Israel			
498	29/03 2024	MH04 HD2023	MH001071000 373	11/07 2023	10/07 2024	Sai Transport	Praveen			
499	30/03 2024	MH01 BR1839	MH00300010 0657	30/08 2023	29/08 2024	Real Tak T	Suraj	2325T		
500	+	MH03 CV3481	MH0470109 0005072	13/04 2023	12/04 2024	Darshan T	Manoj			
501	31/03 2024	MH01 CR9414	MH001007020 11735	01/10 2023	31/09 2024	A.S Enterprise	Rajy			

Photograph of DG Set



Details of Organic Waste Converter

Nachiket's Semi-Automatic Batch Composting (Model - N30-400)

Organic Waste converter Capacity 400 Kg. /day

Technology - Nachiket's Semi-Automatic Batch Composting (Model - N30-400) with 150 Crates



The organic waste from the houses in general contains food waste from the pre-cooking operation and post cooking remnant or excess food.

The organic waste is inspected for contamination like metal, glass, stone, plastic etc and segregated, then fed into the container of OWC. .

If the material has more moisture content which can be seen by visual observation, then saw dust absorbing media is added into the container upto 30% of the weight of the waste depending on the moisture content in the waste.

The odour control powder along with composting enzymes are added at the dosage rate of 10 gm per kg of waste.

It is a mixed, aerated & agitated and crushed for 10 minutes.

Then container of the OWC is opened and observations are noted. Then the lid of the container is closed and again the OWC is operated for 5 minutes.

After the completion of 15 minutes, the system will stop automatically.

The lid is then opened and the processed material is observed. If it is turned to granular free flowing material, then lid is closed and the system is restarted. The bottom valve is opened for draining of the material. The material is collected in the trolley placed underneath of OWC System.



For maturing and curing the compost, the material from the trolley is shifted in the crates which have perforation for aeration and then the crate is placed in the curing system.

After 8 – 10 days curing period, the material from the tray can be used for application to the plants or any other mode of usage of manure in the agriculture.

In order to make the granular texture of the material, it is advisable that before using the organic manure from the crates, it should be passed through the OWC System for one minute – 5 minutes.

If you have waste from garden containing pruning's and small branches of the trees upto 2 cm diameter and/or bones, will be required to pass through Shredder before it is placed into the OWC.

Technical Spec's

Waste Processing Capacity - 400 Kg per day (4 hr working)		
Sr. No	Description	Technical details
1	Model	N30-400-450
2	Composting Method	Micro-organism Based Natural Composting.
3	Time to Convert Waste in to Manure	Approximately 8-10 Days.
4	Operation	Semi - Automatic
5	Drum Size	67 Ltrs
6	Machine Dimensions (L x W x H) mm	1450 x 750 x 1100
7	Approx Machine Weight	285 Kg
8	Power Supply	415-440 Volts / 50 Hz, 32 Amp
9	Phase	III Phase
10	Power Rating of Machine	3.5 HP / 2.61 kW
11	Power Consumption	20 Units / Day
12	Motor Make	ABB / Nord / Siemens / CG
13	Motor Rating	2 HP / 1.5 kW
14	Crusher Type	Petal Crusher
15	Crusher Rating	1.5 HP / 1.1 kW
16	Crusher Capacity	100 Kg / Hr (4 Hr working)
17	Batch Cycle	15 min
18	Material of Construction (MoC)	Stainless Steel (SS 304)
19	Crushing Speed	2800 RPM
20	Reduced Particle Size	2-4 mm

21	Single Crate Dimensions (L x W x H) mm	560 x 360 x 290
22	Crate Weight Capacity	20-25 Kg
23	Total no of Crates Provided With External Curing System	200 Nos
24	External Curing System Dimensions (mm)	7900 x 4800 x 2200
25	External Curing System Consists	A rack system to put crates of pre-compost. Precompost is kept for 8-10 days with intermittent spraying of water mist required to speed up the composting process as well as pH correction of the pre-compost



FORM FOR FILING ANNUAL RETURNS

[To be submitted by producer/manufacturer/refurbisher/dismantler/recycler/bulk consumer by 30th day of June following the financial year to which that return relates]

Submitted For

April 2022-March 2023

Apply As

Bulk Consumer

1. Name of the Bulk Consumer

M/s K Raheja Pvt. Ltd.

Address of the Bulk Consumer /recycler

CS No 2/1629&1A/1629 Of Lower Parel div, Plot No. 249&249A,248B of Worli estate Sch. No 52,Mumbai

2. Name of the authorised person

Mr. Vaibhav Samarth (General Manager - Engineering)

Full address of authorised person

CS No 2/1629&1A/1629 Of Lower Parel div, Plot No. 249&249A,248B of Worli estate Sch. No 52,Mumbai

Telephone

09167779454

Email

vsamarth@kraheja.com

Fax

022 26564560

3. BULK CONSUMERS:**Type**

NA

Quantity(MT)

0

4. Name of the destination where E-waste is channelized

Not Applicable

Address of the destination where E-waste is channelized

Not Applicable

Place

Mumbai

Date

Jun 15, 2023

Photograph of STP



Photographs of Green belt



Photographs of Green belt



मुंबई, बुधवार, ११ नोव्हेंबर २०२०

वृत्तिका

१५

जाहीर सूचना

पेसर्स के, रहेजा प्रावबोट लिमिटेड बांच्या न.मु.क्र. २/१६२९ व १अ/१६२९, लोअर पोल विभाग व प्लॉट क्र. २४९ व २४९अ,२४९ब वरवी इस्टेट स्कीम क्र. ५२, वरवी, मुंबई रेडील रहिवासी टॉवर इमारत, बहुमजली मार्केटिंग यान्त्रालय इमारत, कारपोरेशन इमारत व रहिवासी इमारत बांच्या प्रस्तावित विस्तारीकरण प्रकल्पस महाराष्ट्राच्या राज्यस्तरीय पर्यावरण आघात मूल्यांकन प्राधिकरणाच्या क्र. एम्.आय.ए./एम्.एम्./एम्.आय.एम्./४२८३०/२०१८ दिनांक ३१/०३/२०२०च्या पर्यावरण विवरक परवानगी मिळाली आहे. या परवानगी पत्राच्या प्रती पर्यावरण विभाग, महाराष्ट्र शासन व महाराष्ट्र प्रदूषण नियंत्रण मंडळ बांच्या कार्यालयात व parivesh.nic.in या संकेत स्थळावर उपलब्ध आहे.

स्थळ : मुंबई
दिनांक : ११/११/२०२०

PULSAR INTERNATIONAL LIMITED

Regd. Office : Adarsh Laxmi Building, Office No. 3, Sai Babanagar, Navghar Road, Bhayandar (East), Thane - 401101. Tel: 2266 0442/2266 0529, Email: pulsaribd@vsnl.net, CIN: 99999MH1999PLC131655

EXTRACT OF UNAUDITED FINANCIAL RESULTS FOR THE QUARTER ENDED 30TH SEPTEMBER, 2020

(Rs. In Lacs)

	Qtr Ended 30/Sep/20 Unaudited	Qtr Ended 30/Jun/20 Unaudited	Qtr Ended 30/Sep/19 Unaudited	6 Months Ended 30/Sep/20 Unaudited	6 Months Ended 30/Sep/19 Unaudited	Year Ended 31/Mar/20 Audited
I. Total Income	5.16	0.00	2.36	5.16	6.78	16.53
II. Profit before Tax	2.12	-3.54	-7.82	-1.42	-10.57	-9.81
III. Tax Expenses	0.00	0.00	0.00	0.00	0.00	0.00
IV. Net Profit/(Loss) for the period	2.12	-3.54	-7.82	-1.42	-10.57	-9.81
V. Total Comprehensive Income for the period (Comparing Profit/(Loss) and other Comprehensive Income for the period)	2.12	-3.54	-7.82	-1.42	-10.57	-9.81
VI. Equity Share Capital	3 Cr	3 Cr	3 Cr	3 Cr	3 Cr	3 Cr
VII. Earning per equity share	0.07	-0.12	-0.26	-0.05	-0.35	-0.33

Notes:-

- The above standalone quarterly financial results have been reviewed and recommended by the Audit Committee of the Board, has been approved by the Board of Directors of the Company at its meeting held on 10th November, 2020.
- As the Company's business activity falls within a single primary business segment, namely dealing in Mutual Fund Unit, the disclosure requirements as per Ind-AS 108 "operating segments" are not applicable.

By Order of the Board of Directors
For Pulsar International Ltd.

Sd/-
Mahesh. Ratilal. Shah
Managing Director
DIN: 00217516

Place: Mumbai
Date: 14.11.2020

ADITYA BIRLA



HINDALCO

HINDALCO INDUSTRIES LIMITED

Regd. Office : Ahura Centre, 1st Floor, B - Wing, Mahakali Caves Road, Andheri (East), Mumbai 400 093.
Tel No. 6691 7000 Fax No. 6691 7001 | Email: hindalco@adityabirla.com | CIN No.: L27020MH1958PLC011238
Website: www.hindalco.com & www.adityabirla.com

EXTRACT OF STATEMENT OF CONSOLIDATED UNAUDITED FINANCIAL RESULTS FOR THE QUARTER AND SIX MONTHS ENDED SEPTEMBER 30, 2020

(₹ in Crore, except otherwise stated)

Particulars	Quarter Ended			Six Months Ended		Year Ended
	30/09/2020	30/06/2020	30/09/2019	30/09/2020	30/09/2019	31/03/2020
	(Unaudited)	(Unaudited)	(Unaudited)	(Unaudited)	(Unaudited)	(Audited)
Revenue from Operations	31,237	25,283	29,657	56,520	59,629	1,18,144
Profit/(Loss) before Exceptional Items and Tax	2,351	(181)	1,748	2,170	3,326	6,208
Profit/(Loss) before Tax	2,422	(600)	1,492	1,822	3,048	5,824
Profit/(Loss) for the Period from Continuing Operations	1,785	(569)	974	1,216	2,037	3,767
Profit/(Loss) for the Period from Discontinued Operations	(1,398)	(140)	-	(1,538)	-	-
Profit/(Loss) for the Period	387	(709)	974	(322)	2,037	3,767
Total Comprehensive Income/(Loss) for the Period	1,249	192	(1,084)	1,431	(458)	1,044
Paid-up Equity Share Capital (Net of Treasury Shares)	222	222	222	222	222	222
Face value ₹ 1/- per share)						
Other Equity				59,415	56,519	58,096
Earnings Per Share						
Basic - Continuing Operations (₹)	8.03	(2.56)	4.38	5.47	9.16	16.94
Diluted - Continuing Operations (₹)	8.03	(2.56)	4.37	5.47	9.15	16.93
Basic - Discontinued Operations (₹)	(8.29)	(0.63)	-	(6.92)	-	-
Diluted - Discontinued Operations (₹)	(8.29)	(0.63)	-	(6.92)	-	-
Basic - Continuing and Discontinued Operations (₹)	1.74	(3.19)	4.38	(1.45)	8.51	16.94

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सिद्धांत

वती पाहता
हमारे कर्म
या दोन-चार
वेगवेगळ्या
न सुरू होते,
जे पेल्या तीन
घंटेत होते.
शिक्षाही एक

DISCLAIMER

The Free Press Journal does not vouch for the authenticity or veracity of the claims made in any advertisement published in this newspaper. Readers are advised to make their own inquiries or seek expert advice before acting on such advertisements.

The printer, publisher, editor and the proprietors of the Free Press Journal Group of newspapers cannot be held liable in any civil or criminal court of law or tribunal within India or abroad for any alleged misleading or defamatory content or claim contained in any advertisement published in this newspaper or uploaded in the paper on the official website. The liability is solely that of the advertiser in which The Free Press Journal has no role to play.

CHANGE OF NAME**NOTE**

Collect the full copy of Newspaper for the submission in passport office.

I HAVE CHANGED MY NAME FROM SHAIKH SOFEYA FARIED TO SOFEYA FARID SHAIKH AS PER GOVT. OF MAHA. GAZETTE. NO: (M-2048365) DATED: 4TH NOV. 2020. CL-110480

I HITHERTO KNOWN AS PANDURANG SON OF SATYAWAN TAWADE EMPLOYED AS POSTAL ASSISTANT IN THE INDIA POST, C/O THE DIRECTOR, MUMBAI SPO, MUMBAI - 400001, RESIDING AT A/205, KESHAV APARTMENT, SIDHARTH NAGAR, VAKOLA, SANIACHRUZ - EAST, MUMBAI 400055 HAVE CHANGED MY NAME AND SHALL HEREAFTER BE KNOWN AS PANDURANG SATYAWAN TAWADE. VIDE MAHARASHTRA GAZETTE PUBLICATION NO. M-2047029 DTD. 29.10.2020 - 04.11.2020. CL-110485

I HAVE CHANGED MY NAME FROM ARCHANA PANDURANG YADAV TO SUAD MOHAMMED GOLIS SHAIKH AS PER DOCUMENT CL-343

I HAVE CHANGED MY NAME FROM BILAL SAFEET TO MOHAMMED BILAL AKRAM SAFEET AS PER ADHAR CARD NUMBER 9487 3235 5555. CL-365

I HAVE CHANGED MY NAME FROM AMYABHUSHAN SATYANARAYN KUSHWAHA TO MY NEW AND CORRECT NAME AMYBHUSHAN SATYANARAYN KUSHWAHA AS PER ADHAR CARD NO.69477838293 CL-475

I HAVE CHANGED MY NAME FROM YISHVA VARMA THANKAPPAN TO YISHVARNNA THANKAPPAN PAMKAR AS PER THE AFFIDAVIT CL-639

I HAVE CHANGED MY NAME FROM MEEMABEN VIJAY PATEL TO MINALDEVI MANJHI AD.05 CHINEDA FALIYA PATLARA MOTI DAMAN 396220 CL-660

I HAVE CHANGED MY NAME FROM PATEL DIYAKUMARI VIJAYBHAI AND PATEL DIYA VIJAY TO DIYA VIJAYKUMAR PATEL. AD.148 TAD FALIYA KARAMBELI

PUBLIC NOTICE

BEWARE! - This is to notify you that RKSV Securities India Private Limited (Upstox) has come across cases wherein a certain non-bona-fide group is pretending to offer a job in Upstox & is asking for your PAN & Aadhar details in exchange. Kindly **DO NOT** share your PAN or Aadhar details with anyone pretending to offer you a job at Upstox. This is a scam. The authentic HR team at Upstox does not ask for these documents unless it is your date of joining at Upstox. You can go ahead and apply for a job by visiting careers page www.upstox.com/careers/ You can also write to scamcheck@rksv.in for any concerns.

For
RKSV Securities
India Private Limited
(Upstox)

Date: 11/11/2020

PUBLIC NOTICE

NOTICE Anusya R. Ganatra a Member of the Unnat Nagar Akshay Co-operative Housing Society Ltd. having address at Unnat Nagar No. 1, M.G. Road, Goregaon (West), Mumbai - 400104 and holding 1st tenement No. 649 in the building of the society, died on 31/12/2019 making nomination.

Mr. Vijaykumar V. Suchdev had made the application for transfer of share certificate under Bye-Laws No. 24 in his name.

The society hereby invites claims or objections from the heir or heirs or other claimants/ objector or objectors to the transfer of the said shares and interest of the deceased member in the capital property of the society within a period of 15 days from the publication of this notice, with copies of such documents and other proofs in support of his/her/their claims/objections for transfer of shares and interest of the deceased member in the capital property of the society. If no claims/objections are received within the period prescribed above, the society shall be free to deal with the shares and interest of the deceased member in the capital property of the society in such manner as is provided under the bye-laws of the society. The claimants/ objectors, if any, received by the society for transfer of shares and interest of the deceased member in the capital property of the society shall be dealt with in the manner provided under the bye-laws of the society. A copy of the registered bye-laws of the society is available for inspection by the claimants/ objectors, in the office of the society/ with the secretary of the society between 11 am to 4 pm, from the date of publication of the notice till the date of expiry of its period.

For and on behalf of
Unnat Nagar Akshay Co-operative Housing Society Ltd.
1st- Hon. Secretary

Date: 11/11/2020 Place: Mumbai

SAI PRASANNA CO-OP HSG. SOC. LTD. situated at plot No.1132/1133, Shahaba Village, Belapur, Sector 19 invites Expression of interest from **PROJECT MANAGEMENT CONSULTANCY SERVICES** for repairing work of our Society Buildings consisting of 31 flats on a 1580.30 sq Mtrs. Plot area.

Expression of Interest may be submitted within one weeks time from today.

Contact persons: Mr. Lakshana Swamy - Cell no. 9892417948.

Mr. Venkateshwar Nair - Cell No. 9137058474.

Public Announcement

The project for Expansion of proposed Residential Tower building, Multi-Storey Public Parking Lot Building, Office Building & Residential building on plot bearing CS No. 2/1629 & 1A/1629 of Lower Panel Division, Plot No. 249 & 249A, 249B of Worli Estate Scheme No. 62 Worli, Mumbai by M/s. K. Rajeeva Private Limited has been accorded Environmental Clearance by State Level Environment Impact Assessment Authority, Maharashtra vide letter No. **SI/WH/MIS/42830/2018**, dated **31st March 2020**. Copies of the said Environmental Clearances are available with Environment Department, Government of Maharashtra and Maharashtra Pollution Control Board and on the website parivah.nic.in

Place : Mumbai

Date : 11/11/2020

PUBLIC NOTICE

Notice is hereby given that 1) **MR. MOHAN PADMANABHA KURUP & 2) MRS. LEKHA MOHAN KURUP** are asked & requested of and/or sufficiently entitled of premises viz. Gale No.003, Ground floor, Building No.2, Unico Industrial Park Building No.2 Premises Co-op. Soc. Ltd., Nr. Jain Mandir, Tungarshwar Phata, Sabhal, Vasai (E), District Palghar, M.S., Pin 401 201, (hereinafter referred to as "the said Gale") and also holding shares therein. That the said 1) Mr. Mohan Padmanabha Kurup & 2) Mrs. Lekha Mohan Kurup have deposited the original title documents in respect of the said Gale.

All person having any claim, right, title and interest against or to the said Gale or the shares in respect thereof or any part thereof either by way of mortgage, sale, gift, inheritance, agreement, lease, ten, charge, trust, maintenance, assignment, possession or by virtue of any testamentary or non-testamentary document/s or by virtue of succession, adoption, any suit, litigation, dispute, decree, order, injunction, restriction, covenants, statutory order, notice, award, notification or otherwise howsoever, are hereby called upon and required to make the same known in writing with due evidence and detailed particulars thereof at our office at 101, Street Vallabh

THE NOTICE is hereby given to and her two children Suresh Mahtani to Co-operative Housing Skyscraper Building to transmit her and No. 250 comprising 270 (both inclusive) building known as described in the Hotchand Mahtani co-owners/joint me Shares. On account of his wife Mrs. Karol children have made on the aforesaid

Mr. Kumar Mathur (alias Renu Mathur Mahtani, since deceased Mahtani and Mrs. have inherited the equal proportion.

Thus, as on date children namely Renu and Mr. Kumar Daryanani (alias respective share in succession.

All or any person and/or interest who flat, by way of sale possession, inheritance, however is/are writing along with support of the claim a period of 15 days all such claims, waived and/or steps to process the app others and transfer.

Share Certificate Distinctive Nos. 20 Co-operative Housing 22nd floor address car park space Skyscraper Building Ltd., being C.S. situated at 74, Dhule

Place : Mumbai Date : 11th November

Notice is Kashinath Desai No. 60/6(part) described in the

२ नवरात्रि
बुध, सोमवार, १२ जून २०१७

CHANGE OF NAME

NOTE

Collect the full copy of Newspaper for the publication in passport office.

- 1. MALABIKA GOPALCHAND GHU, HAVE CHANGED MY NAME TO MALABIKA GOPALCHAND GHU AS PER GAZETTE NO. 06-754881 DATED 07/02/2013. CL-60517
- 1. A. BY VIJAY SHRI PASHUVAHSA HAVE CHANGE MY NAME TO A. BY VIJAY SHRI PASHUVAHSA AS PER AFFIDAVIT NO. PS480661 DATED 01/02/2017. CL-60519
- 1. I HAVE CHANGED MY NAME FROM DEESHA NITHIKUNATH CHUNHAM TO DEESHA BY METHUNALA AS PER GOVT GAZETTE (P-178739). CL-60520
- 1. I HAVE CHANGED MY NAME FROM EVELINA HELEN LOANA FERREZES TO EVELINA HELEN NAZARETH AS PER GOVT. OF MAHA. GAZETTE NO. M-1773881 DATED JUNE 06 14 2017. CL-60521
- 1. I HAVE CHANGED MY NAME FROM JOANNA J. LUNA MENDES / MENDOS TO JOANNA MENDES AS PER GOVT. OF MAHA. GAZETTE NO. M-1773984 DATED JUNE 08-14, 2017. CL-60521 A
- 1. I HAVE CHANGED MY NAME FROM LUDVIN GYATIUS PEREIRE TO JORDES EDUARD PEREIRA AS PER GOVT. OF MAHA. GAZETTE NO. M-1774229. CL-60522
- 1. I HAVE CHANGED MY OLD NAME DENZIL FRANCIS CORREA TO NEW NAME DENZIL FRANCIS CORREA AS PER AFFIDAVIT DATED 03 MAY 2016. CL-125
- 1. I HAVE CHANGED MY NAME FROM GIRISH KUMAR SENGU TO GIRISH R SINGH AS PER AFFIDAVIT - (36 960717) DATED 9TH JUNE 2017. CL-163
- 1. I HAVE CHANGED MY NAME FROM MRS. SUMATHI BAI M. TO MRS. SUMATI FANDURANG DAVAK AS PER AFFIDAVIT DATED 6TH JUNE 2017. CL-242
- 1. I HAVE CHANGED MY NAME FROM

जन्मेला नूयना उद्दण
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भारतभूत कार्यानि अ
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पुलेला किना त्या वि
मकर ६ जून, २०१७

'जाहीर सूचना'

महाराष्ट्र राज्यस्तरीय पर्यावरण आघात मुल्यांकन समितीने मे. के. राहेजा प्रा. लि. यांच्या मूळड क्र. २/१६२९ आणि १३२/१६२९, लोअर परेल विभाग, मूळड क्र. २४९ आणि २४९अ, २४८ब, वरळी इन्स्टे स्कीम नं. ५२, वरळी, मुंबई येथील रहिवाशी इमारत व सार्वजनिक जाहानकड या प्रकल्पासाठीच्या फेरबदलात SEAC-2016/C.R.-424/TC-1 दिनांक १२ मे, २०१७ द्वारे पर्यावरण संमती दिलेली आहे. सदर पर्यावरण संमती पत्राची प्रत महाराष्ट्र प्रदूषण नियंत्रण बंदळाकडे तसेच महाराष्ट्र सरकारच्या ec.maharashtra.gov.in या संकेतस्थळावर उपलब्ध आहे.

**राष्ट्रीय कंपनी विधि न्यायाधिकरणासमोर
मुंबई खंडपीठ
कंपनी याचिका अर्ज क्र. ३६९/२०१७**

१२-०६-२०१७, २०१७/३/१३/२०१७/२०१७
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**'PUBLIC ANNOUNCEMENT'
'K RAHEJA PVT. LTD.'**

The amendment in environmental clearance for proposed Residential Tower Building and Multi Storied Public Parking Lot Building on Plot bearing C.S. No. 2/1629 & 1A/1629 of Lower Parel Division. Plot No. 249 & 249A, 249 B of World Scheme No. 52, Mumbai, by K. Raheja Pvt. Ltd. been accorded Environmental Clearance by State Environmental Impact Assessment Authority of Government of Maharashtra vide Letter No. SEAC-2016/C.R.424/TC-1 dated 12.05.2017. The copies of Environmental Clearance Letter are available with Maharashtra Pollution Control Board and may also be seen on Environment Department Govt. of Maharashtra website at <http://ec.maharashtra.gov.in>.

**THE FREE PRESS JOURNAL
MUMBAI | MONDAY | JUNE 12, 2017**



महाराष्ट्र आरोग्य विज्ञान विद्यापीठ, नाशिक
MAHARASHTRA UNIVERSITY OF HEALTH SCIENCES, NASHIK
Mhasrul, Dindgori Road, Nashik - 422 004.
Tel : (0253) 2530238/182
Email: registrar@muhs.ac.in, civil@muhs.ac.in,
Website: www.muhs.ac.in

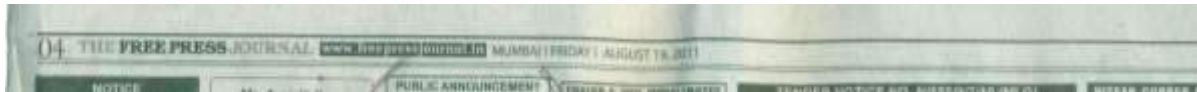
E-TENDER NOTICE NO. CIVIL/01/2017-16

Maharashtra University of Health Sciences, Nashik invites e-tender for preparing temporary cricket ground (As per Drawing) near TTI Building in MUHS Campus, Nashik. Tender Form, Fee, EMD, detail terms and conditions are available on website of <http://mahatenders.gov.in>. University authority reserves right to accept or reject any or all tender without giving any reason.

(Dr. K. D. Chavan)
Registrar.
*MUHS, Nashik.

Date : 12/06/2017.

Advertisement



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PUBLIC ANNOUNCEMENT

The proposed "Composite Building with Residential Wing and a Municipal Public Parking Lot" at C. S. No. 2/1829 of Lower Parel Division, Plot No. 248 & 249 A of Work-Estate Scheme No. 52, 11/3 Ward, Work, Mumbai by M/s. K. Raheja Pvt. Ltd. has been accorded Environmental Clearance by the Environment Department, Government of Maharashtra vide letter No. SEAC 2010/CR.323/TC.2 dated 22.07.2011. Copies of the said environmental clearance are available with Maharashtra Pollution Control Board and on website of the Environment Department, Government of Maharashtra at <http://envis.maharashtra.gov.in>



जाहीर सुचना

वेसर्स के. रोजे प्रा. लि. यांच्या सी. एस. क्रमांक २/१६२२ लोअर पार्ले विभाग, प्लॉट क्रमांक २४९ व २४९ ए वरळी इस्टेट स्कीम क्रमांक ५२, जी/एस वार्ड, वरळी, मुंबई येथील निघोजित निवासो व महानगरपालिकेच्या सार्वजनिक वाहतूकसाठी बोट इमारत यांच्या बांधकामासाठी पर्यावरण विभाग महाराष्ट्र शासन यांची पर क्रमांक SEAC-2010/CR.323/TC.2 दिनांक २२ जुलै २०११ अन्वये परवानगी मिळाली आहे. या परवानगी पत्राची प्रत पर्यावरण विभाग महाराष्ट्र शासन यांच्या <http://envis.maharashtra.gov.in> या संकेत स्थळावर तसेच महाराष्ट्र प्रदूषण नियंत्रण मंडळ यांच्या कार्यालयात उपलब्ध आहे.

Get prediction sitting at home with Palm Print Love, romance, sex, family relations, job, wealth, home happiness, house, education, marriage, children, luck, work, honor, sorrow, illness, etc. R. R. Mishra Astrologer, Palmist, Numerologist, Vastu & Gems Specialist, Former TV & Press Whatsapp & Mobile 9820113194

Public Announcement The project for Expansion of proposed Residential Tower buildings, Multi Storied Parking Lot Building & Office Building on plot bearing CS No. 249 & 249A, 249B of Worli Estate Scheme No. 52 Worli, Mumbai by M/s. K. Rajate Private Limited has been accorded Environmental Clearance by State Level Environment Impact Assessment Authority, Maharashtra vide letter No. SIAM/HW/INFR24/1166/2023 dated 26th May 2023.

Public Notice NOTICE is hereby given that My Client has intention to purchase the residential Flat No.4103 on the 41st Floor in Parkside B Wing (along with two car parks within the project) in the Project 'Lodha Park' at Senapati Bapat Marg, Lower Parel, Mumbai-400013 from M/S. BHOLE REALTY PVT. LTD., free from all encumbrances.

CHITTARANJAN LOCOMOTIVE WORKS E-TENDER NOTICE Tender Notice No: PCMM/CLW/HWH/E-Procurement/24/21 Dated: 12/04/2024, PCMM/CLW/HWH on behalf of the President of India invites electronic bids from established reliable manufacturer for supply of the following: The following E-Tenders are for supply of materials for manufacture of Electric Locomotive. The Prospective bidders are requested to look up the website www.ireps.gov.in for detailed instructions.

State Bank of India Stressed Assets Recovery Branch, Mumbai (05168)-6th Floor, "The International", 16, Maharashtra Karve Road, Churghate, Mumbai-400 020. Phone : 022 - 22053163 / 22053164 / 22053165 E-mail: sbi.05168@sbi.co.in SALE NOTICE FOR SALE OF IMMOVABLE PROPERTIES | Appendix - IV-A [See Proviso to rule 8(6)] E-AUCTION SALE NOTICE FOR SALE OF IMMOVABLE ASSETS UNDER THE SECURITISATION AND RECONSTRUCTION OF FINANCIAL ASSETS AND ENFORCEMENT OF SECURITY INTEREST ACT, 2002 READ WITH PROVISOS TO RULE 8(6) OF THE SECURITY INTEREST (ENFORCEMENT) RULES, 2002

DISCLAIMER The Free Press Journal does not vouch for the authenticity or veracity of the claims made in any advertisement published in this newspaper. Readers are advised to make their own inquiries or seek expert advice before acting on such advertisements. The printer, publisher, editor and the proprietors of the Free Press Journal Group of newspapers cannot be held liable in any civil or criminal court of law or tribunal within India or abroad for any alleged misleading or defamatory content or claim contained in any advertisement published in this newspaper or uploaded in the epaper on the official website. The liability is solely that of the advertiser in which the Free Press Journal has no role to play.

Public Notice Notice is hereby given to all that FERRUM REALTORS PRIVATE LIMITED, a company incorporated under the provisions of the Companies Act, 2013, holding CIN U70109MH2021PTC363067, and having its registered office at 702, N. Traj, M. V. Road Junction, Western Express Highway, Andheri (East), Mumbai 400069 is redeveloping the property of Sind Cooperative Housing Society Limited accordance with Re-Development Agreement dated 24th June, 2022.

Public Notice Notice is hereby given to all that my clients have agreed to purchase from Jaykali Developers Private Limited (a Shapoorji Pallonji Group Company) having its registered office at SP Centre, 41/44, Minoo Desai Marg, Colaba, Mumbai 400005, commercial units in the Retail Project known as 'Shapoorji Pallonji The Impulse Phase 2' having MahAREERA Registration No. P51700027197, hereinafter referred to as the 'said Premises' and more particularly described in the Schedule written hereunder free from all encumbrances and with clear and marketable title, for agreed consideration and on the terms and conditions agreed by my clients and Jaykali Developers Private Limited.

Public Notice To know you all by this public notice we hereby inform that the property Old Survey No. 128/1 and 130A/12, New Survey No. 128/B/1, area measuring 8,10.57 R. Square Meters, assessment Rs. 810.57 Paise, Plot No. 1, along with approved FSI of Industrial Building with an area of 1624.21 Sq. Mt. P-Line area situated at, along with entire present and future potential and undivided interest and right of common access from survey No. 128/B/1 in the layout, situated in Village: Rajavali, Taluka: Vasai, District: Palghar, is owned by Mr. Ruban Anthony Colaco. Our client is interested in purchasing the said property. By this public notice we hereby invite objections from any person who is having interest in the said property by way of gift, agreement, conveyance, Will, easement rights, possession, tenancy, heirship or any other type of right. We hereby declare that any person having interest in the said property should forward his objections along with relevant documents to the undersigned within 14 days of publication of this notice.

CHANGE OF NAME NOTE Collect the full copy of Newspaper for the submission in passport office. I HAVE CHANGED MY NAME POST MARRIAGE FROM PRIYANKA SURESH JAIN TO PRIYANKA HARDIK JAIN AS PER GOVT OF MAHA.GAZETTE NO. (M-23265587).

Public Notice All persons/entities including inter alia any bank and/or financial institution and/or authority having any claim, objection, right, title, benefit, interest, share, and/or demand of any nature whatsoever in respect of the said Premises or any part thereof, by way of sale, transfer, exchange, lease, sub-lease, assignment, mortgage, charge, lien, inheritance, bequest, succession, gift, maintenance, easement, trust, tenancy, sub-tenancy, leave and license, care-taker class, occupation, possession, family arrangement/settlement, decree or order of any court of law, contracts/agreements, partnership, any writing and/or arrangement or otherwise, howsoever, are hereby, required to make the same known in writing, along with documentary evidence, to the undersigned at the address at 407, Panchshel, 'C' Road, P. M. Shukla Marg, Marine Drive, Mumbai 400020 within 7 (seven) days from the date hereof, failing which such right, title, benefit, interest, claim and/or demand in the said Premises shall be deemed to have been waived, released, relinquished, and/or abandoned and no such right, title, benefit, interest, claim and/or demand will deem to exist.

Public Notice Notice is hereby given to the public that the property described in the Schedule hereunder written (hereinafter referred to as 'the said Property') is proposed to be held by Mrs. Ruchika Verma. The said Property has been charged in favour of State Bank of India in pursuance of availing a housing loan from State Bank of India, branch at Wodehouse Road, Mumbai vide Home Loan A/c No. 40074006076. Further, the said Property has been used on leave and license basis vide Leave and License Agreement dated 14th January, 2022, registered with the office of the concerned Sub-Registrar of Assurances under Serial No. 752 of 2022.

Public Notice The Form of Notice inviting claims or objections to the transfer of the shares and the interest of the Deceased Member in the Capital/Property of the Society MRS. TILOTTAMA SATCHIDANAND DADARKAR, joint member of Kamla Terrace C.H.S. Ltd., having address at Subhash Road, Vile Parle (East), Mumbai-400 057 and jointly holding Shop No.8 on the Ground Floor of the building of the Society, expired on 06th May 2023. She was holding the said Shop and the shares issued in respect thereof jointly with Mr. Bhagwantrao Narayan Dadarkar.

CHANGE OF NAME NOTE Collect the full copy of Newspaper for the submission in passport office. I HAVE CHANGED MY NAME FROM AFRIN BANO TO AFRIN BANO MOHAMMED ALTAF SHAIKH AS PER AADHAAR. CL- 201 A I HAVE CHANGED MY NAME FROM (OLD NAME) DARKSHAN SIDDIQUE TO (NEW NAME) DARAKSHAN ABDUL KADAR SHAIKH AS PER DOCUMENTS. CL- 256 I HAVE CHANGED MY NAME FROM PAYAL SATISH BARIYA TO MAHI IRFAN KHAN AS PER MAHA. GOVT. GAZETTE NO. M-249413 PUBLISHED DATE 12 APRIL 2024. CL- 301 I HAVE CHANGED MY NAME FROM JAIWANT K. GUNJAL TO JAIWANT KESHAV GUNJAL AS PER GAZETTE NO. (M-24250). CL- 521 I HAVE CHANGED MY NAME FROM HEMLATA MANOJ BHATIA TO HEMLATA BHATIA AS PER AADHAAR CARD NO. 2510 3333 8445. CL- 522 I, HUMERA BANO R/O KURLA WEST MUMBAI 400070, HAVE CHANGED MY NAME AFTER MARRIAGE AND SHALL HEREAFTER BE KNOWN AS HUMERA NAGORI AS PER DOCUMENT. CL- 601 I HAVE CHANGED MY NAME FROM PRAMODKUMAR NAIR TO PRAMOD NAIR AS PER DOCUMENTS. CL- 701

THE SCHEDULE (The said Flat) Flat No. 601, admeasuring in 1749.69 square feet carpet area with an exclusive area appurtenant to the unit of 204.95 square feet and Total RERA Area of 1954.64 square feet on the 6th Habitable Floor of the building known as "Rustumjee Ashiana" to be constructed on land bearing Plot No.6 in the layout of the Maharashtra Housing and Area Development Authority at Juhu Vile Parle Development (JVPD) Scheme and bearing Survey No.287 (P) and Survey No. 70 (P) (D) and corresponding CTS No. 197(A) (Pt) of Village Juhu and CTS No. 20 (A) (Pt) of Village Vile Parle, both in Taluka Andheri, Mumbai Suburban District, lying, being and situate at 10 to North South Road, JVPD Scheme, Juhu, Mumbai 400 049 together with 3 covered car parking spaces. Dated this 15th day of April, 2024 K. K. RAMANI & ASSOCIATES (Advocates) 118, Ramani Villa, 1st Road, T.P.S. IV, Bandra (W), Mumbai -400 050

APPENDIX-16 (Under Bye Law No.35) The Form of Notice inviting claims or objections to the transfer of the shares and the interest of the Deceased Member in the Capital/Property of the Society MRS. TILOTTAMA SATCHIDANAND DADARKAR, joint member of Kamla Terrace C.H.S. Ltd., having address at Subhash Road, Vile Parle (East), Mumbai-400 057 and jointly holding Shop No.8 on the Ground Floor of the building of the Society, expired on 06th May 2023. She was holding the said Shop and the shares issued in respect thereof jointly with Mr. Bhagwantrao Narayan Dadarkar.

THE SCHEDULE (i) Shop no. 14 admeasuring RERA carpet area 68.35 sq. mtr equivalent to 735.72 sq. ft. on ground/floor (ii) Shop no. 15 admeasuring RERA carpet area 84.46 sq.mtr equivalent to 909.13 sq. ft. on ground floor (iii) Shop no. 11 admeasuring RERA carpet area 128.52 sq. mtr equivalent to 138.39 sq. ft. on 1st floor (iv) Shop no. 12 admeasuring RERA carpet area 67.19 sq. mtr equivalent to 723.23 sq. ft. on 1st floor (v) Shop no. 14 admeasuring RERA carpet area 68.35 sq. mtr equivalent to 735.72 sq. ft. on 1st floor (vi) Shop no. 15 admeasuring RERA carpet area 84.84 sq. mtr equivalent to 913.22 sq. ft. on 1st floor (vii) Shop no. 16 admeasuring RERA carpet area 80.21 sq. mtr equivalent to 863.38 sq. ft. on 1st floor (viii) Shop no. 17 admeasuring RERA carpet area 95.81 sq. mtr equivalent to 1031.30 sq. ft. on 1st floor of building known as "SKYRAA Tower-5" in the project known as 'Shapoorji Pallonji The Impulse Phase-2' being developed on land bearing (i) survey no. 509 admeasuring approximately 100 sq. mtr and (ii) survey no. 510 Hissa no. A admeasuring approximately 34.340 sq. mtr all situate, lying and being at Village Panchpankhadi, Subhash Nagar, Pokhran Road No. 2, Thane (West), 400610. Dated this 15th day of April, 2024. Sd/- Chhaya K. Virani Advocate and Solicitor

Public Notice Notice is hereby given that we PAYAL CO-OPERATIVE HOUSING SOCIETY LTD., a Society duly registered under the provisions of the Maharashtra Co-operative Societies Act, 1960 bearing REG. NO. BOW/W-1993/GT/7045 OF 1992-93 DATED 08-04-1993 and having its office at PAYAL CO-OP. PREMISES, CTS No. 1184, YARI ROAD EXTENSION, VERSOVA, ANDHERI WEST, MUMBAI 400061, being the owners of all the piece and parcel of land bearing Final Plot No. C.T.S. No. 1184 admeasuring about 2185 sq. mtrs, along with the buildings standing thereon consisting of ground plus six upper floors, situated at the aforesaid address, having passed the General Body Resolution dated 20th April, 2008 and Letter of Intent (LOI)/Minutes dated 1st September, 2008 and the Memorandum of Understanding executed on or about 1st September, 2008, development Agreement and related documents executed on 20th March, 2012 and all other consents and any and all writings, etc. in favour of one M/s. Ayyappa Construction Company have been cancelled, terminated and revoked the same and all other rights, if any, with immediate effect from and vide Special General Body Resolution dated 1st June 2008 and all the rights and benefits thereto, if any, of the said M/s. Ayyappa Construction Company have accordingly come to an end. The same is duly notified to the said M/s. Ayyappa Construction Company. The general public is hereby forewarned not to deal with the said M/s. Ayyappa Construction Company pertaining to the said property and/or the development rights then issued to the said Company, in any manner whatsoever and in case if any persons and/or body have done so, we shall not be answerable or responsible for the same in any manner whatsoever and M/s. Ayyappa Construction Company shall alone be liable for all its commitments and dealings, which may please be noted. Dated this 15th day of April, 2024. For Payal Co-operative Housing Society Ltd CTS No. 1184, Yari Road Extension, Versova Andheri (West), Mumbai 400061.

Public Notice Notice is hereby given that 1) Mr. Manohar Hariram Manchandya 2) Mr. Navin Omprakash Manchandya 3) Mr. Hitesh Sunilkumar Motwani owns and possesses and/or otherwise well and sufficiently intend to the commercial premises being Shop bearing No. 1 & 2, on Ground Floor, admeasuring 1807.90 Sq. ft. (Carpet), in Wing "A", in the building Known as "SHREE KESHAV CONDOMINIUM OF APARTMENT", on lease to State Bank of India under the Lease Deed dated 24/07/2020 registered at the office of Sub-Registrar of Assurances at Kalyan-2 under Serial No. 5770/2020 for a period of ten years, with effect from 26/02/2019 to 25/02/2029 and on the terms and conditions as mentioned therein and along with the benefits of the above said lease executed in favour of the State Bank of India and along with the undivided right, title and interest in the common areas and facilities to said building, lying, being and situated at Village Kasabe Kalyan, Taluka Kalyan, District Thane, constructed on all those pieces and parcels of land bearing City Survey No. 2021-B and City Survey No. 2022-A and within the limits of Kalyan Dombivli Municipal Corporation and within the Jurisdiction of Registration District Thane and Sub-Registration District Kalyan.

Public Notice The above said owners are desirous of selling and transferring the said Shop along with the membership, right, title and interest in the said society along with the benefits of the above said lease executed in favour of the State Bank of India to my client free from encumbrances and doubts any my client is intending to acquire the same free from encumbrances and doubts by executing requisite agreements, deeds and documents with the said owners and my client has instructed me to issue the public notice for ascertaining and verifying the clear and marketable title to the said Shop. Any person having or claiming any right, title, estate or interest by way of sales, mortgage transfer, lease, tenancy, exchange, gift, demise, bequest, trust, share, inheritance, possession, charge, lien or otherwise howsoever under any agreements or arrangements into or upon the said Shop or any part thereof are hereby required to give notice thereof and file their objections if any in writing with documentary proof (copies duly certified) to the undersigned at the address mentioned herein below within 15 (Fifteen) days from the date of publication hereof, after which period any such claims shall be disregarded and such claims if any shall be considered as waived. Date: 15/04/2024. Sd/- Nilesh S. Patil (Advocate)

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Public Notice The above said owners are desirous of selling and transferring the said Shop along with the membership, right, title and interest in the said society along with the benefits of the above said lease executed in favour of the State Bank of India to my client free from encumbrances and doubts any my client is intending to acquire the same free from encumbrances and doubts by executing requisite agreements, deeds and documents with the said owners and my client has instructed me to issue the public notice for ascertaining and verifying the clear and marketable title to the said Shop. Any person having or claiming any right, title, estate or interest by way of sales, mortgage transfer, lease, tenancy, exchange, gift, demise, bequest, trust, share, inheritance, possession, charge, lien or otherwise howsoever under any agreements or arrangements into or upon the said Shop or any part thereof are hereby required to give notice thereof and file their objections if any in writing with documentary proof (copies duly certified) to the undersigned at the address mentioned herein below within 15 (Fifteen) days from the date of publication hereof, after which period any such claims shall be disregarded and such claims if any shall be considered as waived. Date: 15/04/2024. Sd/- Nilesh S. Patil (Advocate)

Public Notice The above said owners are desirous of selling and transferring the said Shop along with the membership, right, title and interest in the said society along with the benefits of the above said lease executed in favour of the State Bank of India to my client free from encumbrances and doubts any my client is intending to acquire the same free from encumbrances and doubts by executing requisite agreements, deeds and documents with the said owners and my client has instructed me to issue the public notice for ascertaining and verifying the clear and marketable title to the said Shop. Any person having or claiming any right, title, estate or interest by way of sales, mortgage transfer, lease, tenancy, exchange, gift, demise, bequest, trust, share, inheritance, possession, charge, lien or otherwise howsoever under any agreements or arrangements into or upon the said Shop or any part thereof are hereby required to give notice thereof and file their objections if any in writing with documentary proof (copies duly certified) to the undersigned at the address mentioned herein below within 15 (Fifteen) days from the date of publication hereof, after which period any such claims shall be disregarded and such claims if any shall be considered as waived. Date: 15/04/2024. Sd/- Nilesh S. Patil (Advocate)

JM FINANCIAL JM Financial ASSET RECONSTRUCTION COMPANY LIMITED Corporate Identification No.: U67190MH2007PLC174287 Registered Office: 7th Floor, Energy, Appasahab Marathe Marg, Prabhadevi, Mumbai - 400 025 Authorised Officer: Vaibhav Shetty and Kumar Gaurav Mobile: 9820387460, 9930144745 Email: vaibhav.shetty@jmf.com, kumar.gaurav@jmf.com Website: www.jmfinancialarc.com Sale Notice for Sale of Movable and Immovable Property Notice for Sale of Movable and Immovable Assets under the Securitisation and Reconstruction of Financial Assets and Enforcement of Security Interest Act, 2002 read with provision to Rule 6(2) and 8(6) of the Security Interest (Enforcement) Rules, 2002. Notice is hereby given to the public in general and in particular to the Borrower (s) and Guarantor(s) that the below described immovable property mortgaged/charged to JM Financial Asset Reconstruction Company Limited acting in its capacity as trustee of various trusts including JMIFARC - IRIS March 2016 - Trust, JMIFARC - Exim Iris March 2016 - Trust, JMIFARC - Axis Iris March 2016 - Trust, JMIFARC - IRIS December 2016 - Trust, JMIFARC - IRIS March 2016 - Trust, JMIFARC - IRIS UBOI December 2016 - Trust and JMIFARC - IRIS PNB January 2017 - Trust (the "Secured Creditor"), the possession of which has been taken by the Authorised Officer of the Secured Creditor will be sold on "As is where is", "As is what is", and "Whatever there is" for recovery of Rs. 3,552.30 Crores (Rupees Three Thousand Five Hundred Fifty Two Crores and Thirty Laks Only) as on March 31, 2017 together with interest and costs thereon till the date of repayment due to the Secured Creditor from Arch Pharmaceuticals Ltd. (hereinafter referred to as the "Borrower") and its guarantors i) Mr. Ajit Kamath, ii) Mr. Manoj Jain, iii) Mr. Rajendra Kaimal by way of public auction on May 22, 2024 between 11.00 am to 12.00 pm through public-auction for sale consideration which shall not be less than reserve price as mentioned in the table given below on expiration of 15 days from the date of this notice

JM Financial ASSET RECONSTRUCTION COMPANY LIMITED Corporate Identification No.: U67190MH2007PLC174287 Registered Office: 7th Floor, Energy, Appasahab Marathe Marg, Prabhadevi, Mumbai - 400 025 Authorised Officer: Vaibhav Shetty and Kumar Gaurav Mobile: 9820387460, 9930144745 Email: vaibhav.shetty@jmf.com, kumar.gaurav@jmf.com Website: www.jmfinancialarc.com Sale Notice for Sale of Movable and Immovable Property Notice for Sale of Movable and Immovable Assets under the Securitisation and Reconstruction of Financial Assets and Enforcement of Security Interest Act, 2002 read with provision to Rule 6(2) and 8(6) of the Security Interest (Enforcement) Rules, 2002. Notice is hereby given to the public in general and in particular to the Borrower (s) and Guarantor(s) that the below described immovable property mortgaged/charged to JM Financial Asset Reconstruction Company Limited acting in its capacity as trustee of various trusts including JMIFARC - IRIS March 2016 - Trust, JMIFARC - Exim Iris March 2016 - Trust, JMIFARC - Axis Iris March 2016 - Trust, JMIFARC - IRIS December 2016 - Trust, JMIFARC - IRIS March 2016 - Trust, JMIFARC - IRIS UBOI December 2016 - Trust and JMIFARC - IRIS PNB January 2017 - Trust (the "Secured Creditor"), the possession of which has been taken by the Authorised Officer of the Secured Creditor will be sold on "As is where is", "As is what is", and "Whatever there is" for recovery of Rs. 3,552.30 Crores (Rupees Three Thousand Five Hundred Fifty Two Crores and Thirty Laks Only) as on March 31, 2017 together with interest and costs thereon till the date of repayment due to the Secured Creditor from Arch Pharmaceuticals Ltd. (hereinafter referred to as the "Borrower") and its guarantors i) Mr. Ajit Kamath, ii) Mr. Manoj Jain, iii) Mr. Rajendra Kaimal by way of public auction on May 22, 2024 between 11.00 am to 12.00 pm through public-auction for sale consideration which shall not be less than reserve price as mentioned in the table given below on expiration of 15 days from the date of this notice

Public Notice The above said owners are desirous of selling and transferring the said Shop along with the membership, right, title and interest in the said society along with the benefits of the above said lease executed in favour of the State Bank of India to my client free from encumbrances and doubts any my client is intending to acquire the same free from encumbrances and doubts by executing requisite agreements, deeds and documents with the said owners and my client has instructed me to issue the public notice for ascertaining and verifying the clear and marketable title to the said Shop. Any person having or claiming any right, title, estate or interest by way of sales, mortgage transfer, lease, tenancy, exchange, gift, demise, bequest, trust, share, inheritance, possession, charge, lien or otherwise howsoever under any agreements or arrangements into or upon the said Shop or any part thereof are hereby required to give notice thereof and file their objections if any in writing with documentary proof (copies duly certified) to the undersigned at the address mentioned herein below within 15 (Fifteen) days from the date of publication hereof, after which period any such claims shall be disregarded and such claims if any shall be considered as waived. Date: 15/04/2024. Sd/- Nilesh S. Patil (Advocate)

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Table with 5 columns: Short Description of the immovable and movable Property, Reserve Price (IN Rs.), Earnest Money Deposit (IN Rs.), and Date/Place. Row 1: I, all that piece and parcel of land known as Plot No. C-6, admeasuring 4387 sq. Mtr., along with a factory building constructed thereon having built up area admeasuring 1722.45 sq. mtrs. lying being and situated at Talaja Industrial Area, MIDC, Talaja, Village Navade, Taluka Panvel, District Raigad, within the limits of Registration District Raigad and Sub-District Panvel and bounded as follows: On or towards the North by: Plot No. 17/30, 17/31, 17/32, On or towards the South by: Estate Road, On or towards the East by: Tower Line, On or towards the West by: Estate Road. Row 2: I, fixed plant and machinery, installed or erected or to be installed/erected thereon and anything attached to earth or anything permanently fastened to anything attached to earth. On the above property.

Encumbrances known, if any: Not Known For detailed terms and conditions of the sale, please refer to the link provided on the Secured Creditor's website i.e. https://www.jmfinancialarc.com/assets-for-sale and on https://www.bankauctions.in Date: April 15, 2024 Place: Mumbai Sd/- Authorised Officer JM Financial Asset Reconstruction Company Limited acting in its capacity as trustee of JMIFARC - IRIS March 2016 - Trust, JMIFARC - Exim Iris March 2016 - Trust, JMIFARC - Axis Iris March 2016 - Trust, JMIFARC - IRIS December 2016 - Trust and JMIFARC - IRIS PNB January 2017 - Trust

Public Notice Notice is hereby given that 1) Mr. Manohar Hariram Manchandya 2) Mr. Navin Omprakash Manchandya 3) Mr. Hitesh Sunilkumar Motwani owns and possesses and/or otherwise well and sufficiently intend to the commercial premises being Shop bearing No. 1 & 2, on Ground Floor, admeasuring 1807.90 Sq. ft. (Carpet), in Wing "A", in the building Known as "SHREE KESHAV CONDOMINIUM OF APARTMENT", on lease to State Bank of India under the Lease Deed dated 24/07/2020 registered at the office of Sub-Registrar of Assurances at Kalyan-2 under Serial No. 5770/2020 for a period of ten years, with effect from 26/02/2019 to 25/02/2029 and on the terms and conditions as mentioned therein and along with the benefits of the above said lease executed in favour of the State Bank of India and along with the undivided right, title and interest in the common areas and facilities to said building, lying, being and situated at Village Kasabe Kalyan, Taluka Kalyan, District Thane, constructed on all those pieces and parcels of land bearing City Survey No. 2021-B and City Survey No. 2022-A and within the limits of Kalyan Dombivli Municipal Corporation and within the Jurisdiction of Registration District Thane and Sub-Registration District Kalyan.

Public Notice The above said owners are desirous of selling and transferring the said Shop along with the membership, right, title and interest in the said society along with the benefits of the above said lease executed in favour of the State Bank of India to my client free from encumbrances and doubts any my client is intending to acquire the same free from encumbrances and doubts by executing requisite agreements, deeds and documents with the said owners and my client has instructed me to issue the public notice for ascertaining and verifying the clear and marketable title to the said Shop. Any person having or claiming any right, title, estate or interest by way of sales, mortgage transfer, lease, tenancy, exchange, gift, demise, bequest, trust, share, inheritance, possession, charge, lien or otherwise howsoever under any agreements or arrangements into or upon the said Shop or any part thereof are hereby required to give notice thereof and file their objections if any in writing with documentary proof (copies duly certified) to the undersigned at the address mentioned herein below within 15 (Fifteen) days from the date of publication hereof, after which period any such claims shall be disregarded and such claims if any shall be considered as waived. Date: 15/04/2024. Sd/- Nilesh S. Patil (Advocate)

Table with 5 columns: Property ID No, Detail of Property, Reserve Price (IN Rs.), Earnest Money Deposit (IN Rs.), Bid Increase Amount (IN Rs.), and Date & Time of inspection. Row 1: SBIN085512881315, All that part and parcel of property consisting of Flat No. 505, 5th floor, Platinum Tower 31, MHADA Layout CTS No. 195 (pt) Survey No. 106A (part), D.N. Nagar, Andheri (W), Mumbai - 400 053 admeas. 309 sq.ft.

FEDBACK FINANCIAL SERVICES LTD. AUCTION NOTICE This is to inform the public at large, that FEDBACK FINANCIAL SERVICES LTD., has decided to conduct Auction of Gold ornaments belonging to accounts (mentioned below) which have become overdue or which have defaults or margin breach customers. The Auction would be held at respective Branches specified below on Friday 26-04-2024 between 10.00 a.m. to 12.00 p.m. This would continue till the auction process is over. ADAT PETH 0230-2434303 FEDGL0060016361, 0016363, 0013129, 0013130, 0013131, 0013144, 0013153, 0013165, 0013178, 0013179, 0013183, 0013184, 0013199, 0013226, 0013227, 0013229, 0013230, 0013231, 0013232, 0013233, 0013234, 0013235, 0013236, 0013237, 0013238, 0013239, 0013240, 0013241, 0013242, 0013243, 0013244, 0013245, 0013246, 0013247, 0013248, 0013249, 0013250, 0013251, 0013252, 0013253, 0013254, 0013255, 0013256, 0013257, 0013258, 0013259, 0013260, 0013261, 0013262, 0013263, 0013264, 0013265, 0013266, 0013267, 0013268, 0013269, 0013270, 0013271, 0013272, 0013273, 0013274, 0013275, 0013276, 0013277, 0013278, 0013279, 0013280, 0013281, 0013282, 0013283, 0013284, 0013285, 0013286, 0013287, 0013288, 0013289, 0013290, 0013291, 0013292, 0013293, 0013294, 0013295, 0013296, 0013297, 0013298, 0013299, 0013300, 0013301, 0013302, 0013303, 0013304, 0013305, 0013306, 0013307, 0013308, 0013309, 0013310, 0013311, 0013312, 0013313, 0013314, 0013315, 0013316, 0013317, 0013318, 0013319, 0013320, 0013321, 0013322, 0013323, 0013324, 0013325, 0013326, 0013327, 0013328, 0013329, 0013330, 0013331, 0013332, 0013333, 0013334, 0013335, 0013336, 0013337, 0013338, 0013339, 0013340, 0013341, 0013342, 0013343, 0013344, 0013345, 0013346, 0013347, 0013348, 0013349, 0013350, 0013351, 0013352, 0013353, 0013354, 0013355, 0013356, 0013357, 0013358, 0013359, 0013360, 0013361, 0013362, 0013363, 0013364, 0013365, 0013366, 0013367, 0013368, 0013369, 0013370, 0013371, 0013372, 0013373, 0013374, 0013375, 0013376, 0013377, 0013378, 0013379, 0013380, 0013381, 0013382, 0013383, 0013384, 0013385, 0013386, 0013387, 0013388, 0013389, 0013390, 0013391, 0013392, 0013393, 0013394, 0013395, 0013396, 0013397, 0013398, 0013399, 0013400, 0013401, 0013402, 0013403, 0013404, 0013405, 0013406, 0013407, 0013408, 0013409, 0013410, 0013411, 0013412, 0013413, 0013414, 0013415, 0013416, 0013417, 0013418, 0013419, 0

MAHARASHTRA POLLUTION CONTROL BOARD

☎: 24010437/4701/24020781

24037174/S273

FAX: 24024068

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Kalpataru Point, 3rd & 4th Floor,
Sion Malunga Scheme Road No 8,
Opp Cine Planet Cinema,
Near Sion Circle, Sion (East),
Mumbai-400 022

11/11/06

ORANGE/LSI

Date: 28 July 2006.

Consent No. BO/RO (P&P) 649

Consent to Establish is granted to

M/s. K. Raheja Pvt. Ltd.,
"Metal Box", CTS No. 2/1629 of Lower Parel Division,
Plot No. 249, 249A of Worli Scheme No.52G/South Ward,
Mumbai.

located in the area declared under the provisions of Water Act (P&CP) 1974, Air Act (P&CP), 1981 and Authorization under the provisions of H W (M & H) Rules and amendments thereto subject to the provisions of the Acts and the Rules and the Orders that may be made further and subject to the following terms and conditions :-

1. The Consent to Establish is issued to M/s. K. Raheja Pvt. Ltd.,
"Metal Box", CTS No. 2/1629 of Lower Parel Division,
Plot No. 249, 249A of Worli Scheme No.52G/South Ward,
Mumbai.

For development of land/plot as new construction activities named as M/s K. Raheja Pvt. Ltd., "Metal Box" CTS No. 2/1629 of Lower Parel Division, Plot No. 249, 249A of Worli Scheme No.52G/South Ward Mumbai of 14638.91 sq mtrs including utilities and services such as residential 128 no. of flats etc. as per construction commencement certificate issued by local body

2. CONDITION UNDER WATER ACT :-

- (i) The daily quantity of (a) sewage effluent from above construction project including (b) waste water from swimming tank/water sports shall not exceed 102.7 cubic meters per-day
- (ii) **Sewage Effluent Treatment**:- The Applicant shall provide a comprehensive sewage treatment plant as is warranted with reference to influent quality and corresponding mode of disposal and operate and maintain the same continuously so as to achieve the quality of treated effluent to the following standards -

PARAMETERS	Limit	Standards for sub-streams		
		(A)	(B)	Unit
pH	In between	5.5 to 9	7 to 8.5	
Suspended Solids	Not to exceed	100	10	mg/l
BOD, 3 days 27 C	Not to exceed	30	10	mg/l
Oil & Grease	Not to exceed	10	NEL	mg/l
Dissolved Phosphates (as P)	Not to exceed	5	5	mg/l
Dissolved Oxygen	Not less than	5	5	mg/l
R Chlorine	Not to exceed	0.1	0.1	Mg/l

(iii) Sewage effluent Disposal:-

Domestic treated effluent shall be disposed of on land for gardening/ irrigation/ lawns/ tree-plantations within own premises. Excess treated sewage effluent shall be disposed into to under ground drainage scheme provided by local body. In no case, effluent shall find its way to any water body directly/indirectly at any time

(iv) Non-Hazardous Solid Waste:-

The total quantity shall not exceed 320 Kg per day and shall be segregated and treated as follows:-

Sr No.	Type of Segregated solid waste	Quantity Kg/day	Treatment	Disposal
1	Organic	192	In-vessel Composting at site only	Self-use
2	Inert		Segregation	At approved landfill
3	Paper Packing		Segregation	Sale
4	Rubber	116	Segregation	At approved landfill
5	Glass		Segregation	
6	Miscellaneous (STP Sludge)	10	Segregation	Sale at approved landfill



3. Other Conditions:-

1. ~~All activities shall be in accordance with the provisions of Indian Forest Act, 1927 (18 of 1927), Forest (Conservation) Act, 1980 (69 of 1980) and Wildlife (Protection) Act, 1972 (53 of 1972), CRZ notification, and special notifications published for Dahanu, Murud Jangwa, Matheran and Mahabaleshwar area wherever applicable and all the Environmental Statutes and Instruments.~~
2. This Consent to Establish is issued only for Developing Construction Project purposes
3. No quarrying activities shall be commenced in the area unless appropriate permissions are obtained for a limited quarrying material required for construction of local residential housing and traditional road maintenance work provided that such quarrying is not done on Forest Lands and the material is not exported to the outside area.
4. There shall be no felling of trees whether on Forest, Government, Revenue or Private lands except as per prevailing Rules.
5. Extraction of Groundwater for the residential complex shall require prior permission of the State Ground Water Authority or other relevant authorities, as applicable;
6. Near the activities that are related to water (like activity of water parks, water sports) and/or in the vicinity of lake, Dissolved Oxygen shall not be less than 5 mg/liter.
7. In order to ensure that the water from this residential complex do not enter into outside environment, the nallas crossing the township/complex premises, shall be lined, covered and made water tight by the applicant within the premises with intermittent inspection of chambers following good engineering practices as per the regulations of local body. This management shall be such as also to help in excluding the external pollutants degrading the internal environment of residential complex.
8. The Applicant shall prepare management plan for water harvesting, roof-water reclamation, water/storm water conservation and implement the same before handing over of complex for occupation
9. The Applicant shall draw plans for the segregation of solid wastes into biodegradable and non-biodegradable components. The biodegradable material shall be recycled through scientific in-house composting with the approval of local body and the inorganic material shall be disposed off at approved Municipal Solid Waste landfill site of local body environmentally acceptable location and method. It is clarified that the term solid waste includes domestic, commercial, and garden wastes, but does not include hazardous and bio-medical wastes. The activities of bio-composting and engineered land fill shall be as per the Municipal Solid Waste (M&H) Rules, 2000
10. Applicant shall be responsible to take adequate precautionary measures as detailed in this consent
11. The applicant/generator shall be responsible for safe and scientific collection, transportation, treatment and disposal of Bio-Medical Waste as per the provisions made under the Bio-Medical Waste (Management & Handling) Rules, 1998. Any activity as defined under BMW (M & H) Rules has to obtain a separate Authorization from Maharashtra Pollution Control Board.
12. The applicant, during the construction stage shall provide.
 - i) Septic tank and soak pit of adequate capacity for the domestic effluent generated due to workers residing at site
 - j) Proper loading and unloading of construction material, excavated material and its proper disposal as per MSW (M&H) Rules 2000.
 - ki) Cutting of trees is not permitted, however in unavoidable conditions necessary permission from the local body shall be obtained.
 - lj) Green belt of 33% of the open space shall be developed excluding lawns.
4. The Applicant shall comply with all the provisions of, the Water (Prevention and Control of Pollution) Cess Act, 1977 (to be referred as Cess Act) and Rules as Amended, 2003 and Rules there under :-
The daily water consumption for the following categories shall not exceed as under

(i) Domestic	From ULB (In CMD)	From other sources (In CMD)
a) During construction stage	---	70
b) After completion	156	---
c) For Fire Fighting (make up water)	---	---

The Applicant shall regularly submit to the Board, the returns of water consumption in the prescribed form and pay the Cess as specified under Section 3 of the said Act.



6. CONDITIONS UNDER AIR ACT :-

The Applicant may install ----- numbers of diesel generating sets (DG Sets) of capacity ----- and shall be equipped ~~with comprehensive control system as is warranted~~ with reference to generations of emissions and operate and maintain the same continuously so as to achieve the level of pollutants to the following standards:-

(i) Standards for emissions of air Pollutants

i)	SPM/TPM	Not to Exceed	150	mg/Nm ³
ii)	SO ₂	Not to Exceed	50	PPM
iii)	NO _x	Not to Exceed	60	PPM
iv)	SO ₂ (D.G. Set)	Not to Exceed	48	Kg/8 Hrs.

(ii) The Applicant shall observe the following fuel patterns

No.	Type of Fuel	Quantity
1	---	---

(iii) The Applicant shall erect the Chimney (s) of the following specifications

No	Chimney attached to	Height above roof level
1.	---	---

- The Applicant shall provide ports in the chimney and facilities such as ladder, platform etc for monitoring the air emissions and the same shall be open for inspection to and for use of the Board's staff. The chimneys shall be numbered as S-1, S-2 etc and these shall be painted/ displayed to facilitate identification.
- Water spraying shall be done on ground to avoid fugitive emissions.
- Construction material shall be carried in enclosed vehicles during construction activities

(iv) Conditions for DG Sets :-

- Noise from DG Sets shall be controlled by providing acoustic enclosure or by treating the room acoustically
- Applicant should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room shall be designed for minimum 25 dB(A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB(A) shall also be provided. The measurement of insertion loss shall be done at different points at 0.5 meters from acoustic enclosure/ room and then average.
- The Applicant should make efforts to bring down noise level due to DG Set, outside the premises, with ambient noise level requirements by proper setting and control measures.
- Installation of DG Set must be strictly in compliance with recommendations of DG set manufacturer;
- A proper routine and preventive maintenance procedure for DG Set shall be set and followed in consultation with the DG manufacturers, which would help to prevent noise levels of DG Sets from deteriorating with use
- The DG set shall be operated only in case of power failure. The applicant shall make arrangement for regular electrical power
- The Applicant shall not cause any nuisance in the surrounding area due to operation of DG sets
- In case of problems, the D.G. set shall not be operated until it is set back to satisfactory position

(v) Conditions For Utilities like Kitchen, Eating Places etc., :-

- The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting
 - The toilet shall be provided with exhaust system connected to chimney through ducting.
 - The air conditioner shall be vibration proof and the noise shall not exceed 68 dB (A).
 - The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such way that no nuisance is caused to neighbors
- (i) The Applicant shall take adequate measures for control of noise levels from its own sources within the complex (residential cum Commercial) in respect of noise to less than 55 dB(A) during day time and 45 dB(A) during the night time. Day time is reckoned as between 6 a.m. to 10 p.m. and night time is reckoned between 10 p.m. to 6 a.m.
- (ii) Construction equipments generating noise of less than 65/90 db(A) are permitted.
- (iii) No construction work is permitted during night time.



6. CONDITIONS UNDER HW (M & H) & AMENDMENT RULES 2003

The Applicant shall not generate or handle any hazardous waste

- ~~7. The proposed activity comes under Entry 31 (New Construction Project) listed in schedule I of the EIA Notification dated January 27, 1994 (as amended till date) issued by Ministry of Environment & Forest, Govt. of India, New Delhi and therefore, Environmental Clearance from Govt. of India (MoEF) shall be required as per conditions in the amended EIA Notification dated July 07, 2004~~
8. The applicant shall certify that the bricks used in construction are manufactured using the ash from Thermal Power stations if it is within a radius of 100 km. from Thermal Power Plant and submit the names of bricks manufacturer.
9. This "Consent to Establish" is issued subject to the planning permission and permission for non-agricultural (N.A.) use from the Competent Authority.
10. The applicant shall obtain Environmental Clearance from MoEF, GOI before taking any steps to develop/ start construction the site.
11. The applicant shall not handover the residential complex unless obtain Consent to Operate/NOC from Maharashtra Pollution Control Board and compliance of Environment Clearance granted by MoEF Government of India.
12. The applicant shall take the proper remediation measures to ensure that the ground water and soil contamination is prevented and follow due diligence at the construction stage.
13. This Board reserves the right to amend or add any conditions in this consent and the same shall be binding on the Applicant;
14. This consent is issued with the post facto approval of the consent appraisal committee.

For and on behalf of the
Maharashtra Pollution Control Board.

(Dr. D.B. Boralkar)
Member Secretary



To
M/s. K. Raheja Pvt. Ltd.,
"Metal Box", CTS No. 2/1629 of Lower Parel Division,
Plot No. 249, 249A of Worli Scheme No.52G/South Ward,
Mumbai.

Copy forwarded with compliments to

1. The Collector, Mumbai (City)

Copy to

1. Regional Officer, MPCB, Mumbai.
2. Sub Regional Officer MPCB, Mumbai-I.
3. Chief Accounts Officer, MPCB, Mumbai

Received consent fee of

Amount	DD No.	Date	Drawn on
Rs. 1,01,680/-	096039	14.07.2006	UTI Bank

4. Cess Branch, MPCB, Mumbai.
5. Master file,
6. EIC, M.P.C.Board, Mumbai

MAHARASHTRA POLLUTION CONTROL BOARD

Phone : 022-22640345

Shri Chatrapati Shivaji Maharaj Municipal Market
Building 4th floor, Mata Ramabai Ambedkar Road
Mumbai - 400 001

Fax : 022-22640345

Email : sromumbai1@mpcb.gov.inVisit At : <http://mpcb.gov.in>

EIC No. MU-3025/11
Infrastructure/Orange/L.S.I

Consent No. BO/RO(HQ)/CO/CAC- 323

Date: 28/2/2012

Consent to Establish under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 5 of the Hazardous Wastes (Management, Handling & Transboundary Movement) Rules 2008

.....
CONSENT is hereby granted to

M/s. K. Raheja Pvt. Ltd.
C.S. No. 2/1629, Plot No. 249 &
249A of Worli Scheme No. 52,
Lower Parel Division, G/S Ward,
Worli, Mumbai

located in the area declared under the provisions of the Water Act, Air act and Authorization under the provisions of HW(M&H) Rules and amendments thereto subject to the provisions of the Act and the Rules and the Orders that may be made further and subject to the following terms and conditions:

1. **The Consent to Establish** is valid up to Commissioning of the Project or 5 years whichever is earlier.

For development of land/plot as new construction activities for construction of project on total plot area of 14,638.91 Sq mtrs and total Built up area as per FSI 29,435.93 Sq mtrs, total construction area of 1,20,129.17 Sq mtrs including utilities and services such as per construction commencement certificate issued by local body.

2. **The Consent is valid -**

Sr. No.	Product Name	Built Up area	Total Construction area	UOM
1	Residential Building	29,435.93	86839.67	Sq. mtrs.
2	MCGM Car Parking	---	33,289.50	Sq. mtrs.
Total			1,20,129.17	Sq. mtrs.

3. **CONDITIONS UNDER WATER ACT:**

- (i) The daily quantity of trade effluent from the factory shall be Nil.
(ii) The daily quantity of sewage effluent from the factory shall not exceed 88.20 M³.



- (iii) **Sewage Effluent Treatment:** The applicant shall provide comprehensive treatment system as is warranted with reference to influent quality and operate and maintain the same continuously so as to achieve the quality of treated effluent to the following standards.

1	pH	Not to exceed	6.5 to 9.0
3	Suspended Solids	Not to exceed	100 mg/l.
4	BOD 3 Days 27 degree C	Not to exceed	100 mg/l.
5	Fecal Coliform	Not to exceed	500/100/1 mg/l.
6	Residual Chlorine	Not to exceed	01 mg/l.
7	Detergent	Not to exceed	01 mg/l.
8	Floating matters	Not to exceed	10 mg/l.

- (vi) **Sewage Effluent Disposal:** The treated domestic effluent shall be 80% recycled and reused for flushing, fire fighting and cooling of Air conditioners etc. In no case, effluent shall find its way to any water body directly/indirectly at any time.

Project proponent shall operate STP for five years from the date of obtaining Occupation Certificate.

- (vii) **Non-Hazardous Solid Wastes:**

Sr.No.	Type Of Waste	Quantity	UOM	Treatment	Disposal
1	Municipal Solid Waste	229.5	Kg/Day	Segregation	Local Body
2	Non Biodegradable				
3	STP sludge	--	Kg/M	--	used as manure

- (viii) **Other Conditions (during Construction Phase):**

- All activities shall be in resonance with the provisions of Indian Forest Act, 1927 (16 of 1927), Forest (Conservation) Act, 1980 (69 of 1980) and Wildlife (Protection) Act, 1972 (53 of 1972), and special notification published for area wherever applicable and all the Environmental Statutes and Instruments.
- This Consent to Establish is issued only for New Construction/Developing Construction Project purposes.
- No quarrying activities shall be commenced in the area unless appropriate permissions are obtained for a limited quarrying material required for construction of local residential housing and traditional road maintenance work, provided that such quarrying is not done on Forest Lands and the material is not exported to the outside area.
- There shall be no felling of trees whether on Forest, Government, Revenue or Private lands except as per prevailing Rules.
- Extraction of Groundwater for the project shall require prior permission of the State Ground Water Authority or other relevant authorities, as applicable.
- Near the activities that are related to water (like activity of water parks, water sports) and/or in the vicinity of lake, Dissolved Oxygen shall not be less than 5 mg/liter.
- In order to ensure that the water from this project do not enter into outside environment, the nallas crossing the township/complex premises, shall be lined, covered and made water tight by the applicant within the premises with intermittent inspection of chambers following good engineering practices as per the regulations of local body.



8. The Applicant shall prepare management plan for water harvesting, roof-water reclamation, water/storm water conservation and implement the same before handing over of complex for occupation.
 9. Applicant shall provide fixtures for showers, toilet, flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
 10. The Applicant shall draw plans for the segregation of solid wastes into biodegradable and non-biodegradable components. The biodegradable material shall be recycled through scientific in-house composting (i.e vermi-composting facility within premises) with the approval of local body. The proper demarked area shall be identified for collection & storage of MSW properly which, shall be finally disposed off at approved Municipal Solid Waste landfill site of local body environmentally acceptable location and method. It is clarified that the term solid waste includes domestic, commercial, and garden wastes, but does not include hazardous and bio-medical wastes. The activities of bio-composting and engineered landfill shall be as per the Municipal Solid Waste (M&H) Rules, 2000
 11. Applicant shall be responsible to take adequate precautionary measures as detailed in this consent.
 12. The applicant/generator shall be responsible for safe and scientific collection, transportation, treatment and disposal of Bio-Medical Waste as per the provisions made under the Bio-Medical Waste (Management & Handling) Rules, 1998. Any activity as defined under BMW (M & H) Rules has to obtain a separate Authorization from Maharashtra Pollution Control Board.
 13. For disinfections of waste water ultra violet radiation shall be used in place of chlorination.
 14. Vehicles hired for construction activities should be operated only during non peak hours.
 15. Ready mixed concrete used in building construction should apply separately for consent from the Board.
 16. applicant, during the construction stage shall provide
 - a. Septic tank and soak pit of adequate capacity for the domestic effluent generated due to workers residing at site.
 - b. Proper loading and unloading of construction material, excavated material and its proper disposal as per MSW (M&H) Rules 2000.
 - c. Cutting of trees is not permitted, however in unavoidable conditions necessary permission from the local body shall be obtained.
 - d. Green belt of 33% of the open space shall be developed.
 17. E-Waste shall be disposed to authorized re processor.
4. **The applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Cess Act, 1977 (to be referred as Cess Act) and amendment Rules, 2003 there under**

The daily water consumption for the following categories is as under:

(i) Domestic	...	120.50 CMD
(ii) Water gets Polluted & Pollutants are Biodegradable	...	0.00 CMD
(iii) Water gets Polluted, Pollutants are not Biodegradable & Toxic	...	0.00 CMD
(iv) Industrial Cooling, spraying	...	0.00 CMD

The applicant shall regularly submit to the Board the returns of water consumption in the prescribed form and pay the Cess as specified under Section 3 of the said Act.



5. CONDITIONS UNDER AIR (Prevention & Control of Pollution) ACT, 1981:

(i) The Applicant may install 3 nos. of diesel generating sets (DG Sets), of capacity 1010 x 2 KVA, 200 KVA, and shall be equipped with comprehensive control system as is warranted with reference to generations of emissions and operate and maintain the same continuously so as to achieve the level of pollutants to the following standards:

a. for Emissions of Air Pollutants:

(i) SPM/TPM	Not to exceed	150 mg/Nm ³
(ii) SO ₂ (DG Set)	Not to exceed	2.0 Kg/day

(ii) The following measures shall be taken:

a. Adequate mitigation measures shall be taken to control emissions of SO₂, NO_x, SPM, and RSPM.

b. Applicant shall achieve following Ambient Air Quality standards.

1.	SPM Not to Exceed (Annual Average)	140	µg/ m ³
	Not to Exceed (24 hours)	200	µg/ m ³
2.	SO ₂ Not to Exceed (Annual Average)	60	µg/ m ³
	Not to Exceed (24 hours)	80	µg/ m ³
3.	NO _x Not to Exceed (Annual Average)	60	µg/ m ³
	Not to Exceed (24 hours)	80	µg/ m ³
4.	RSPM Not to Exceed (Annual Average)	60	µg/ m ³
	Not to Exceed (24 hours)	100	µg/ m ³

(iii) The applicant shall observe the following fuel pattern:-

Sr. No.	Type Of Fuel	Quantity	UOM
1	HSD	205	Ltrs./day

(iv) The applicant shall erect the chimney(s) of the following specifications:-

Sr. No.	Chimney Attached To	Height in Mtrs.
1	D.G. Set	2.2

(v) **Conditions for D.G. Set**

- Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
- Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
- The industry shall take adequate measures for control of noise levels from its own sources within the premises in respect of noise to less than 75 dB(A) during day time and 70 dB(A) during the night



- time. Day time is reckoned between 6 a.m. to 10 p.m and night time is reckoned between 10 p.m to 6 a.m.
4. Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
 5. Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 6. A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 7. D.G. Set shall be operated only in case of power failure.
 8. The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.

(vi) Other Condition

- a) The applicant shall provide ports in the chimney/(s) and facilities such as ladder, platform etc. for monitoring the air emissions and the same shall be open for inspection to/and for use of the Board's Staff. The chimney(s) vents attached to various sources of emission shall be designated by numbers such as S-1, S-2, etc. and these shall be painted/ displayed to facilitate identification.
- b) Water spraying shall be done on ground to avoid fugitive emissions.
- c) Construction material shall be carried in enclosed vehicles during construction activities.

(vii) Conditions for Utilities like Kitchen, Eating Places etc:

1. The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
2. The toilet shall be provided with exhaust system connected to chimney through ducting.
3. The air conditioner shall be vibration proof and the noise shall not exceed 68 dB (A).
4. The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such way that no nuisance is caused to neighbors.

(viii) The Applicant shall take adequate measures for control of noise levels from its own sources within the complex (residential cum Commercial) in respect of noise to less than 55 dB(A) during day time and 45 dB(A) during the night time. Daytime is reckoned as between 6 a.m. to 10 p.m. and Nighttime is reckoned between 10 p.m. to 6 a.m.

(ix) Construction equipments generating noise of less than 65/90 db(A) are permitted.

(x) No construction work is permitted during night time.

6. CONDITIONS UNDER HAZARDOUS WASTE (MANAGEMENT, HANDLING & TRANSBOUNDARY MOVEMENT) RULES, 2008:

(i) The Industry shall not generate any hazardous waste.

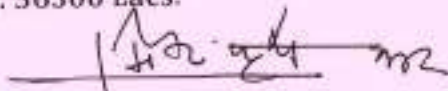
7. The applicant shall certify that the bricks used in construction are manufactured using the ash from Thermal Power stations if it is within a radius of 100 km. from Thermal Power Plant and submit the names of bricks manufacturer. The applicant shall use fly ash based material/products as



per the provisions of fly ash Notification of 14.09.1999 and as amended on 27.08.2003.

8. The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.
9. The applicant shall adopt environment friendly technology in development of the project.
10. The applicant shall comply with the conditions stipulated in the Environmental Clearance granted by Env. Dept. Govt. Of Maharashtra, vide No.SEAC-2010/CR.323/TC.2 dt. 22/07/2011.
11. The applicant shall take the proper remediation measures to ensure that the ground water and soil contamination is prevented and follow due diligence at the construction stage.
12. Energy conservation measures like installation of solar panels for lighting the area outside the building should be integrated part of the project design.
13. This Board reserves the right to amend or add any conditions in this consent and the same shall be binding on the Applicant.
14. This consent shall not be construed as exemption from obtaining necessary NOC from any other Government agencies as may deemed fit necessary.
15. The applicant shall submit a Bank Guarantee of Rs.10,00,000/- (Rupees ten lacs only) within 15 days for compliance of the consent conditions.
16. This is issued with the approval of Consent Appraisal Committee of the Board in its meeting held on 14th February 2012
17. The Capital investment of the industry is Rs. 56500 Lacs.




(Milind Mhaiskar, IAS)
Member Secretary

To,
M/s. K. Raheja Pvt. Ltd.
C.S. No. 2/1629, Plot No. 249 & 249A of Worli Scheme No. 52,
Lower Parel Division, G/S Ward,
Worli, Mumbai

- Copy to:
- a. RO- Mumbai /SRO-Mumbai-I
 - b. CAO/Cess Branch/Master File

Received Consent fee of -

Sr. No.	Amount(Rs.)	DD. No.	Date	Drawn On
1	1130100	090381	21 Oct 2011	Axis Bank

MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/ 24010437
 Fax: 24023516
 Website <http://mpcb.gov.in>
 E-mail: cac-cell@mpcb.gov.in



Kalpatearu Point, 2nd - 4th Floor
 Opp. Cine Planet Cinema,
 Near Sion Circle, Sion (E)
 Mumbai-400 022.

Consent order No: - BO/CAC-cell/CE(Reval)/CAC- 1702000695
Date- 14/02/2017

To,
M/s. K. Raheja Private Ltd.,
CS No. 2/1629 Lower Parel Division, Plot No 249 & 249A Worli, Mumbai

Subject: Amendment and Revalidation in consent to establish for Construction of Residential building and Multi Storied Public Parking Lot building project under ORANGE category.

Ref :

- 1) Environmental Clearance granted by Environment Department, GoM vide no. No. SEAC-2010/CR-323/TC.2 dated 22.07.2011, and EC amendment granted vide SEAC-2010/CR-323/TC.2 dated 11.06.2014.
- 2) Consent to Establish granted by Board vide no BO/RO(HQ)/CO/CAC 323 dated 28.02.2012
- 3) Your Application approved in 5th CAC meeting of 2016-17 (2nd sitting) held on 08.12.2016

Your application MPCB-CONSENT-0000011646
 Dated: 11.08.2016

For: Amendment and Revalidation in consent to establish for Construction of Residential building and Multi Storied Public Parking Lot building project under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization under Rule 6 of the Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I, II, III & IV annexed to this order

1. The Amendment and Revalidation in Consent to Establish is granted for a period up to: commissioning of the project or upto 28.02.2022 whichever is earlier.
2. The proposed capital investment of the project is Rs. 750.17 crs (As per documents submitted by applicant).
3. The Amendment and Revalidation in consent to establish is valid for Construction of Residential building and Multi Storied Public Parking Lot building project of M/s. K. Raheja Private Ltd., CS No. 2/1629 Lower Parel Division, Plot No 249 & 249A Worli, Mumbai on Total Plot area of 14,638.91 sq.m. and total Construction BUA of 1,29,818.90 sq.m. as per amended EC dtd. 11.06.2014, including utilities and services as per construction commencement certificate issued by local body.
4. **Conditions under Water (P&CP), 1974 Act for discharge of effluent:**

Sr. no.	Description	Permitted quantity of discharge (CMD)	Standards to be achieved	Disposal
1.	Trade effluent	Nil	NA	N.A.
2.	Domestic effluent	85.5	As per Schedule -I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and

				remaining shall be used on land for gardening and connected to the sewerage system provided by local body
--	--	--	--	---

5. **Conditions under Air (P& CP) Act, 1981 for air emissions:**

Sr. No.	Description of stack/ source	Number Of Stack	Standards to be achieved
1	DG Set (2x1010 KVA), (1 x 200 KVA)	3	As Per Schedule -II

6. **Conditions under Municipal Solid Waste (Management and Handling) Rule, 2000 :**

Sr. No.	Type Of Waste	Quantity	Treatment	Disposal
1	Wet Garbage	135 Kg/day	Organic Waste Converter (OWC)	use as manure
2	Dry Garbage	84 kg/day	-	Hand over to local body or sale for recycle
3	STP sludge	As actual kg/day	-	use as manure

7. **Conditions under E-Waste (Management and Handling) Rule, 2011 :**

Sr. No.	Type Of Waste	Quantity	Treatment	Disposal
1	E-waste	AS actual in T/A	Nil	Through authorized recyclers

8. **Conditions under Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 for treatment and disposal of hazardous waste**

Sr. No.	Type Of Waste	Quantity	UOM	Treatment	Disposal
1	Nil	--	--	--	--

- The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the Industry.
- This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
- Applicant shall submit an affidavit in prescribed format regarding compliance of conditions of EC and Consent to Establish.
- Consent to establish is being issued without prejudice to the orders passed/ being passed by the Hon'ble High Court.
- MCGM shall comply with the order passed and being passed in PIL No. 217 of 2009 by the Hon'ble High Court, Mumbai.
- The applicant shall comply with the conditions stipulated in Environmental Clearance granted by Environment Department, GoM vide no. No. SEAC-2010/CR-323/TC.2 dated 22.07.2011, and EC amendment granted vide SEAC-2010/CR-323/TC.2 dated 11.06.2014.
- This is issued as per the Office Order issued by Environment Department, GoM vide no. 2017/P.K.26/Establishment dated 23.01.2017.

For and on behalf of the
Maharashtra Pollution Control Board

(P.K. Mirashe)

Assistant Secretary (Technical)

Received Consent fee of -

Sr. No.	Dr.No.	Bank Name	Transaction Type	Amount	Received date
1	0171773	Axix bank	RTGS	15,00,400/-	30.08.2016

Copy to:

- Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai-1
-- They are directed to ensure the compliance of the consent conditions.
- Chief Accounts Officer, MPCB, Mumbai
- CC/CAC desk- for record & website updation purposes

Schedule-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A) As per your application, you have proposed to install Sewage Treatment Plants (STPs) of total capacity 100 CMD based on MBBR Technology.
- B) The Applicant shall operate the effluent treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr No.	Parameters	Standards prescribed by Board
		Limiting Concentration In mg/l, except for pH
01	BOD (3 days 27°C)	10
02	Suspended Solids	10
03	COD	50
04	Residual Chlorine	1ppm

C) The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be used on land for gardening and connected to the sewerage system provided by local body. In no case, effluent shall find its way to any water body directly/indirectly at any time. Project proponent shall provide flow meter to ensure 60% recycling of treated sewage and shall maintain the record with data logging system.

- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) In case, the water consumption of the project is not covered under the water consumption of local body, in that situation, the project proponent shall submit the CESS Returns in the prescribed format given under the provision of Water (Prevention & Control of Pollution) Cess Act, 1977 and Rules made there under for various category of water consumption.
In case the water consumption is duly assessed under the quantity of water consumption of local body, the project proponent shall submit certificate to that effect from the concern local body with the request not to assess CESS on their water consumption, being already assessed on the water consumption of local body.

Sr. no.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	--
2.	Domestic purpose	100
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	Nil
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	Nil

Schedule-II

Terms & conditions for compliance of Air Pollution Control:

1. As per your application, you have proposed to install the Air pollution control (APC) system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Sr. No.	Stack Attached To	APC System	Height in Mtrs.	Type Of Fuel	Quantity and UOM	S%
1	D.G. Set (2x1010 KVA),	Acoustic enclosure	6.3* each	HSD	@ 0.21 liters/hr/KVA at full load.	1
2	D.G. Set (1 x 200 KVA)	Acoustic enclosure	2.8*			

* Above roof of the building in which it is installed.

2. The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Particulate matter	Not to exceed	150 mg/Nm ³ .
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3. The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement alteration well before its life come to an end or erection of new pollution control equipment.
4. The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).



Schedule-III
Details of Bank Guarantees

PP shall extend the BG as below:

Sr. No.	Consent (C to E/O/R)	Amt of BG Imposed	Submission Period**	Purpose of BG #	Compliance Period	Validity**
1	Consent to Establish	Rs. 25 lakh	15 days from date of issue of consent	Towards compliance of EC and Consent to Establish condition	COU or 5 years whichever is earlier	Validity of this consent + 4 months

- ** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.
- ** The Bank Guarantee(s) shall be valid for a period upto: Validity of consent + 4 months
- ** Existing BG obtained for above purpose if any may be extended for period of validity as above.



Schedule-IV

Conditions during construction phase:

a	During construction phase, applicant shall provide temporary sewage disposal and MSW facility for staff and worker quarters.
b	During construction phase, the ambient air and noise quality should be closely monitored to achieve Ambient Air Quality Standards and Noise by the project proponent through MoEF approved laboratory.
c	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

General Conditions:

- 1) The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2) The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Municipal Solid Waste (Management & Handling) Rule 2000, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling) Rule 2011.
- 3) Drainage system shall be provided for collection of sewage effluent. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4) Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5) Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Applicant should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) Applicant should make efforts to bring down noise level due to DG set, outside their premises, within ambient noise requirements by proper siting and control measures.
 - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D-G Set
 - h) The applicant shall comply with the notification of MoEF dated 17.05.2002 regarding noise limit for generator sets run with diesel
- 6) Solid Waste – The applicant shall provide onsite municipal solid waste processing system & shall comply with Municipal Solid Waste (Management & Handling) Rule 2000 & E-Waste (M & H) Rule 2011.
- 7) Affidavit undertaken in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8) Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9) The treated sewage shall be disinfected using suitable disinfection method
- 10) The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st March in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11) The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.

MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/ 24010437
 Fax: 24023516
 Website: <http://mpcb.gov.in>
 E-mail: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd - 4th Floor
 Opp. Cine Planet Cinema,
 Near Sion Circle, Sion (E)
 Mumbai-400 022.

Consent order No: - Format 1.0/BO/CAC-cell/UAN No. 0000028220/CE (Exp) & Amalgamation/CAC- 1808000657
Date- 16/08/2018

To,

M/s. K. Raheja Pvt. Ltd.
 CS no. 2/1629 & 1A/1629 of
 Lower Parel division, Plot no. 249 &
 249A, 248 B of Worli estate scheme no. 52
 Lower Parel, Worli Mumbai.

Subject: Consent to establish for expansion and amalgamation with existing Consent to establish in RED Category.

- Ref :** 1. Environmental Clearance accorded by Env.Dept, GoM vide No.SEAC-2010/C.R.323/TC.2 dated 22.7.2011 and amendment in Environment Clearance accorded by Env. Dept, GoM vide No.SEAC-2010/C.R.323/TC.2 dated 11.6.2014.
 2. Consent to Establish vide no.BO/RO(HQ) /CO/CAC-323 dated 28.2.2012.
 3. Amendment and Revalidation in Consent to Establish vide no,BO/CAC-Cell/CE(Revalid)/CAC-1702000695 dated 14.2.2017.
 4. Amendment in Environmental Clearance accorded by Env.Dept, GoM vide No.SEAC-2016/C.R.424/TC.1 dated 12.5.2017 .
 5. Minutes of Consent Appraisal Committee (CAC) meeting held on 27.3.2018

Your application No . 0000028220 Dated 9.6.2017

For: Consent to establish for expansion and amalgamation with existing Consent to Establish under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization under Rule 6 of the Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I, II, III & IV annexed to this order:

1. The Consent to establish for expansion and amalgamation with existing Consent to establish is granted for a period upto commissioning of the project or upto 28.2.2022 whichever is earlier.
2. The capital investment of the project for expansion is Rs. 455.95 Crs and existing C to E of earlier issued Consent to Establish by Board dated 14.2.2017 is 750.17 Cr(As per undertaking submitted by project proponent).
3. The Consent to Establish for expansion (for residential and car parking) Sq. mtrs. and amalgamation with existing consent to establish for project named as **M/s. K. Raheja Pvt. Ltd. CS no. 2/1629 & 1A/1629 of Lower Parel div. plot no. 249 & 249A, 248 B of Worli estate scheme no. 52 Lower Parel, Worli, Mumbai for Total plot area 20,117.27 sq. mtrs and total construction BUA area 1,59,739.22 sq.mtrs (ie. additional BUA- 29,920.52 : C to E for expansion + 1,29,81.90 Sq.Mtrs : as per existing C to E dated 14.2.2017) as per Environmental Clearance dated 12.5.2017** including utilities and services.

4. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr. no.	Description	Permitted quantity of discharge (CMD)	Standards to be achieved	Disposal
1.	Trade effluent	NIL	NA	NA
2.	Domestic effluent	97	As per Schedule -I	The treated domestic effluent shall be 60% recycled for secondary purposes and remaining shall be utilized on land for gardening.

5. Conditions under Air (P&CP) Act, 1981 for air emissions:

Sr. No.	Description of stack/ source	Number Of Stack	Standards to be achieved
1	DG set (2000 KVA)	1	As Per Schedule -II
2	DG set (500 KVA)	1	As Per Schedule -II

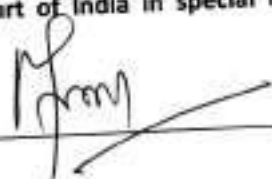
6. Conditions under Municipal Solid Waste (Management and Handling) Rule, 2000:

Sr. no.	Type Of Waste	Quantity	Treatment	Disposal
1	Biodegradable	240 Kg/Day	OWC	Used as Manure
2	Non-Biodegradable	160 Kg/day	---	Segregate and Hand over to Local Body for recycling

7. Conditions under Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 for treatment and disposal of hazardous waste

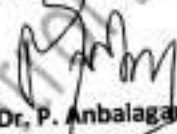
Sr. No.	Type Of Waste	Quantity	UOM	Treatment	Disposal
			NIL		

8. The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
9. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
10. PP shall submit an undertaking in prescribed format regarding compliance of conditions of EC and Consent to Establish condition.
11. PP shall submit an undertaking regarding the area for which expansion of Consent to Establish application is made is included in Environment Clearance.
12. PP shall install online monitoring system for parameters BOD, TSS, flow at the outlet of STP and shall be connected to MPCB Server.
13. PP shall install organic waste digester along with composting facility/biodigester (biogas) with composting facility to treat the biodegradable MSW.
14. PP has submitted Approval letter from the MCGM vide No. EX.ENG/SWM/000360/2018/G/5/CTY -dated 23.5.2018 for construction and demolition waste management plan for the said site in respect of order passed or being passed by the Hon'ble Supreme Court of India in special leave petition (Civil No. D23708/2017) dated 15.3.2018.



15. PP shall not dispose off any construction debris to the Deonar and Mulund Dumping sites.
16. This consent is issued without prejudice to the order passed or being passed by the Hon'ble Supreme Court of India in special leave petition (Civil No. D23708/2017).
17. PP shall comply conditions stipulated in Environmental clearance issued by GoM Environment Clearance accorded by Env. Dept, GoM vide No.SEAC-2010/C.R.323/TC.2 dated 22.7.2011 and amendment in Environment Clearance accorded by Env. Dept, GoM vide No.SEAC-2010/C.R.323/TC.2 dated 11.6.2014 and Amendment in Environment Clearance accorded by Env. Dept, GoM vide No.SEAC-2016/C.R.424/TC.1 dated 12.5.2017 .
18. This consent is issued with overriding effect to existing amendment and revalidation Consent to Establish issued by Board vide No. 3. in Consent to Establish vide no.BO/CAC-Cell/CE(Revalid)/CAC-1702000695 dated 14.2.2017

For and on behalf of the
Maharashtra Pollution Control Board


(Dr. P. Anbalagan, IAS)
Member Secretary

Received Consent fee of -

1	TXN1706001098	HDFC Bank	9,11,900/-	14.06.2017

Copy to:

1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai-I.
-- They are directed to ensure the compliance of the consent conditions.
2. Chief Accounts Officer, MPCB, Mumbai.
3. CC/CAC desk- for record & website updation purposes.

Schedule-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A] As per your application, you have proposed to provide provided 2 Nos of Sewage Treatment Plants (STP) of capacity 125 CMD for residential building and 10 CMD for car parking.
- 2) B] The Applicant shall operate the effluent treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

B] The Applicant shall operate the Sewage Treatment Plant (STP) to treat the sewage so as to achieve the following standards/ prescribed under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr. No.	Parameters	Standards prescribed by Board
		Limiting Concentration in mg/l, except for pH
01	pH	6.5 to 9
02	BOD (3 days 27°C)	20
03	Total Suspended Solids(TSS)	50
04	COD	100
05	Residual Chlorine	1 ppm
06	Detergent	2
07	Fecal Coliform(FC)	<1000

- 3) C] The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to the sewerage system provided by local body. In no case, effluent shall find its way to any water body directly/indirectly at any time. Project proponent shall provide flow meter to ensure 60% recycling of treated sewage and shall maintain the record with data logging system. **PP shall achieve the treated domestic effluent standard for the parameter BOD- 10 mg/lit within 6 months period and PP shall install online monitoring system for parameters BOD, TSS; flow at the outlet of STP and shall be connected to MPCB Server.**
- 4) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of water works for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 5) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 6) **The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution)Act,1974 and as amended, and other provisions as contained in the said act.**

1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	113
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

Schedule-II

Terms & conditions for compliance of Air Pollution Control:

1. As per your application, you have proposed to installed the Air pollution control (APC) system and also erected following stack (s) and to observe the following fuel pattern-

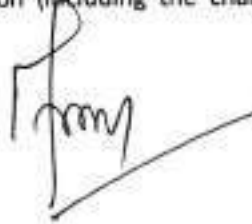
Sr. No.	Stack Attached To	APC System	Height in Mtrs.	Type of Fuel	Quantity & UoM
01.	DG set (2000 KVA)	Acoustic Enclosure	10.0*	Diesel	505 Ltr/Hr
02.	DG set (500 KVA)	Acoustic Enclosure	10.0*	Diesel	125 Ltr/Hr

* Above roof of the building in which it is installed.

2. The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Particulate matter	Not to exceed	150 mg/Nm ³
--------------------	---------------	------------------------

3. The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement alteration well before its life come to an end or erection of new pollution control equipment.
4. The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).



Schedule-III
Details of Bank Guarantees

Project Proponent shall extend the Bank Guarantee as below:

Sr. No.	Consent (Renewal Of C to O)	Amt of BG Imposed	of Submission Period**	Purpose of BG #	Compliance Period	Validity
1	Consent to establish for expansion and amalgamation with existing Consent to Establish.	Rs. 25 Lakh*	Extend existing BG of Rs. 25 Lakh	Towards compliance of EC and C to E Condition.	COU or 28.2.2022 whichever is earlier	Validity of Consent+ 4 months

* The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.

++ The Bank Guarantee(s) shall be valid for a period upto: Validity of consent + 4 months

Existing BG obtained for above purpose if any may be extended for period of validity as above.



Maharashtra Pollution Control Board

Schedule-IV

Conditions during construction phase:

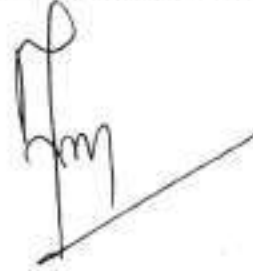
a	During construction phase, applicant shall provide temporary sewage disposal and MSW facility for staff and worker quarters.
b	During construction phase, the ambient air and noise quality should be closely monitored to achieve Ambient Air Quality Standards and Noise by the project proponent through MoEF approved laboratory.
c	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

General Conditions:

- 1) The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2) The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Municipal Solid Waste (Management & Handling) Rule 2000, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling) Rule 2011.
- 3) Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4) Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5) Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Applicant should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) Applicant should make efforts to bring down noise level due to DG set, outside their premises, within ambient noise requirements by proper siting and control measures.
 - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure.
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - h) The applicant shall comply with the notification of MoEF dated 17.05.2002 regarding noise limit for generator sets run with diesel.
- 6) Solid Waste – The applicant shall provide onsite municipal solid waste processing system & shall comply with Municipal Solid Waste (Management & Handling) Rule 2000 & E-Waste (M & H) Rule 2011.
- 7) Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.

- 8) Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9) The treated sewage shall be disinfected using suitable disinfection method.
- 10) The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11) **The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.**

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Maharashtra Pollution Control Board

MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437
Fax: 24023516
Website: <http://mpcb.gov.in>
Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and 4th floor,
Opp. Cine Planet Cinema, Near Sion
Circle, Sion (E), Mumbai-400022

No:- Format1.0/CAC-CELL/UAN No.0000076911/CE 19|2000|03

Date: 04/12/2019

To,
M/s K. Raheja Pvt. Ltd.,
CS Nos. 2/1629 & 1A/1629 of Lower Parel division,
Plot Nos. 249, 249-A & 248-B of Worli Estate Scheme No. 52, Worli, Mumbai.

Sub: Grant of Consent to Establish for expansion of Residential & Commercial Building construction project with Public Parking Lot under Red Category

- Ref:**
1. Consent to Establish accorded by Board vide No. Format 1.0/BO/CAC-Cell/UAN No. 0000028220/CE(Exp) & Amalgamation/CAC-1808000657 dtd. 16/08/2018.
 2. Environment Clearance accorded by Env. Dept GoM vide No. SEIAA-EC-0000001926 dtd. 03/08/2019.
 3. Consent to Operate (Part-I) accorded by Board vide No. BO/CAC-Cell/CR(part)/CAC-1702000515 dtd. 10/02/2017.
 4. Minutes of Consent Appraisal Committee meeting held on 07/11/2019.

Your application No.MPCB-CONSENT-0000076911 Dated 18.07.2019

For: grant of Consent to Establish under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundary Movement) Rules 2016 is considered and the Consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I, II, III & IV annexed to this order:

1. **The Consent to Establish is granted for a period upto commissioning of project or upto 30-11-2024 whichever is earlier.**
2. **The capital investment of the project is Rs.201.24 Crs. (As per undertaking submitted by pp).**
3. **The Consent to Establish is valid for expansion of Residential & Commercial Building construction project with Public Parking Lot of M/s K. Raheja Pvt. Ltd. at plot bearing CS Nos. 2/1629 & 1A/1629 of Lower Parel division, Plot Nos. 249, 249-A & 248-B of Worli Estate Scheme No. 52, Worli, Mumbai on total plot area 20,117.24 sq. mtrs. for increase in total construction BUA from 1,59,739.22 sq. mtrs. to 1,78,767.03 sq. mtrs. i.e. additional construction BUA of 19,027.81 sq. mtrs. as per Environment Clearance and construction permission issued by Local Body including utilities and services.**

Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)
1	Environment Clearance	20117.24	178767.03
2	Consent to Establish	20117.24	159739.22
3	Consent to Operate (Part-I)	20117.24	33119.24

4. **Conditions under Water (P&CP), 1974 Act for discharge of effluent:**

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	NA	NA
2.	Domestic effluent	150	As per Schedule - I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to local body sewer line.

5. **Conditions under Air (P& CP) Act, 1981 for air emissions:**



Maharashtra Pollution Control Board

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Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
S-1 to S-3	DG Sets (2x250 & 2250 KVA)	3	As per Schedule -II

6. Conditions under Solid Waste Rules, 2016:

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Biodegradable waste	408 Kg/Day	OWC followed by composting	Used as manure for gardening
2	Non-Biodegradable waste	322 Kg/Day	Segregation	To be hand over to Local Recyclers for recycling
3	STP sludge	8 Kg/Day	Drying	Used as manure for gardening

7. Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for treatment and disposal of hazardous waste:

Sr No	Category No.	Quantity	UoM	Treatment	Disposal
1	5.1 Used or spent oil	10	Ltr/M	--	Sale to Auth. Party/ Re-processor

- 8 This Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- 9 This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government agencies.
- 10 PP shall provide/ operate STP so as to achieve the treated domestic effluent standard for the parameter BOD-10 mg/lit.
- 11 The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to local body sewer line.
- 12 PP shall install/ operate organic waste digester along with composting facility/bio-digester (biogas) with composting facility for the treatment of wet garbage.
- 13 PP shall obtain NOC from MCGM for disposal of construction debris at specific site inspected and approved by Municipal Corporation.
- 14 PP shall extend existing BG of Rs. 25 Lakhs towards compliance of EC and Consent to Establish conditions.
- 15 Consent is issued without prejudice to the order passed as may be passed by the Hon'ble Supreme Court of India in special leave petition Civil No. D23708/2017.

For and on behalf of the
Maharashtra Pollution Control Board.

(E. Ravendiran IAS),
Member Secretary

Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	402480.00	TXN1907001546	18/07/2019	Online Payment

Copy to:

1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai I
- They are directed to ensure the compliance of the consent conditions.
- They are directed to forfeit the proportionate bank guarantee, in case, if the JVS results exceeds Consented limits.
2. Chief Accounts Officer, MPCB, Sion, Mumbai
3. CC-CAC Desk- for record & website updating purpose



SCHEDULE-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A) As per your application, you have proposed to provide SBR based Sewage Treatment Plants (STPs) of combined capacity **195 CMD for treatment of domestic effluent of 150 CMD.**
- B) The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr. No.	Parameters	Standards prescribed by Board
		Limiting Concentration in mg/l, except for pH
1.	BOD (3 days 27o C)	10
2.	Suspended Solids	20
3.	COD	50
4.	Residual Chlorine	1ppm

- C) The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, fire-fighting etc. and remaining shall be utilized on land for gardening and connected to local body sewer line. In no case, effluent shall find its way outside Project's premise.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) **The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act, 1974 and as amended, and other provisions as contained in the said act.**

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	159.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

- 5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.



SCHEDULE-II

Terms & conditions for compliance of Air Pollution Control:

- 1) As per your application, you have proposed to provide the Air pollution control (APC) system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Stack No.	Stack Attached To	APC System	Height in Mtrs.	Type of Fuel	Quantity & UoM
S-1 & S-2	DG Sets (2x250 KVA)	Acoustic Enclosure/ Stack	5	HSD	125 Kg/Hr
S-3	DG Set (2250 KVA)	Acoustic Enclosure/ Stack	10	HSD	562.5 Kg/Hr

- 2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards,

Total Particular matter	Not to exceed	150 mg/Nm ³
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- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

5) **Conditions for utilities like Kitchen, Eating Places, Canteens:-**

- a) The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
- b) The toilet shall be provided with exhaust system connected to chimney through ducting.
- c) The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
- d) The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.



SCHEDULE-III
Details of Bank Guarantees:

Sr. No.	Consent(C2E/C2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	C2E (Expansion)	2500000	Existing	Towards compliance of the Environmental Clearance & Consent to Establish conditions	30.11.2024	31.03.2025

** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.
Existing BG obtained for above purpose If any may be extended for period of validity as above.

BG Forfeiture History

Srno.	Consent (C2E/C2O/C2R)	Amount of BG imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	Reason of BG Forfeiture
			NA			

SCHEDULE-IV

Conditions during construction phase

A	During construction phase, applicant shall provide temporary sewage disposal and MSW facility for staff and worker quarters.
B	During construction phase, the ambient air and noise quality should be closely monitored to achieve Ambient Air Quality Standards and Noise by the project proponent through MoEF approved laboratory.
C	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

General Conditions:

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling) Rule 2011.
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Applicant should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) Applicant should make efforts to bring down noise level due to DG set, outside their premises, within ambient noise requirements by proper siting and control measures.
 - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure.
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - h) The applicant shall comply with the notification of MoEF dated 17.05.2002 regarding noise limit for generator sets run with diesel.
- 6 Solid Waste - The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11 The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.

MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437
Fax: 24023516
Website: <http://mpcb.gov.in>
Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and
4th floor, Opp. Cine Planet
Cinema, Near Sion Circle,
Sion (E), Mumbai-400022

No:- Format1.0/CAC-CELL/UAN No.0000083236/CO -2007000074 Date: 01/07/2020

To,
M/s K. Raheja Private Ltd., C.S. Nos.
2/1629, 1A/1629 of Lower Parel Division,
Plot Nos. 249 & 249A, 248B of Worli
Estate Scheme No. 52, Worli, Mumbai.

**Sub: Grant of Consent to 1st Operate (Part-II) for Residential Tower
"Artesia" under Red Category**

- Ref:**
1. Environment Clearance accorded by Env. Dept., GoM vide No. SEIAA-EC-0000001926 dtd. 03/08/2019.
 2. Consent to Establish accorded by the Board vide No. Format 1.0/BO/CAC-Cell/UAN No. 0000028220/CE(Exp) & Amalgamation/CAC-1808000657 dtd. 16/08/2018.
 3. Minutes of Consent Appraisal Committee meeting held on 03 & 04/03/2020.

Your application NO. MPCB-CONSENT-0000083236

For: grant of Consent to Operate under Section 26 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundary Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

1. **The 1st Consent to Operate is granted for a period up to 31.03.2021**
2. **The capital investment of the project is Rs.1309.67 Crs. (As per C.A Certificate submitted by industry).**
3. **The Consent to 1st Operate (Part-II) is valid for Residential Tower "Artesia" of M/s K. Raheja Private Ltd. at plot bearing C.S. Nos. 2/1629, 1A/1629 of Lower Parel Division, Plot Nos. 249 & 249A, 248B of Worli Estate Scheme No. 52, Worli, Mumbai on total plot area 20,117.27 sq. mtrs. for construction BUA 69,400.89 sq. mtrs. out of total construction BUA 1,78,767.03 sq. mtrs. as per Environment Clearance granted dtd. 03/08/2019 and construction permission issued by Local Body including utilities and services.**
4. **Conditions under Water (P&CP), 1974 Act for discharge of effluent:**

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	NA	NA
2.	Domestic effluent	51	As per Schedule - I	60% recycle for secondary purposes and remaining for construction activity and/ or on land for gardening



5. Conditions under Air (P& CP) Act, 1981 for air emissions:

Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
S-1	DG Set (2250 KVA)	1	As per Schedule -II

6. Conditions under Solid Waste Rules, 2016:

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Biodegradabel waste	139 Kg/Day	OWC followed by composting	Used as Manure
2	Non-Biodegradable waste	209 Kg/Day	Segregation	Auth. Vendor/ Local Body
3	STP Sludge	11 Kg/Day	Dewatering	Used as Manure

7. Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for treatment and disposal of hazardous waste:

Sr No	Category No.	Quantity	UoM	Treatment	Disposal
1	5.1 Used /spent oil	100	Ltr/A	Recycle	Sale to Auth. Party/ Recycler

- 8 The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- 9 This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
- 10 PP shall submit undertaking in Board's prescribed format within 15 days towards compliance of conditions of Environmental Clearance (EC) and Consent to Operate conditions.
- 11 PP shall submit the undertaking within 15 days in the prescribed format towards the part of the built-up area/ building for which application for 1st Consent to Operate(Part-II) is made and that the same is included in the Environmental Clearance.
- 12 PP shall operate STP to achieve the treated domestic effluent standard for the parameter BOD- 10 mg/lit.
- 13 The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilised for construction activity and on land for gardening.
- 14 PP shall operate organic waste converter followed by composting facility and obtained compost shall be used as manure in their own garden/ plantation.
- 15 PP shall extend the existing BGs of Rs. 25 Lacs towards O & M of pollution control system & compliance of consent to operate.
- 16 PP shall provide bus transport for residents/ employee to the extent possible directly or indirectly through the operator to reduce traffic congestion and resultant in reduction of air pollution.
- 17 PP will be responsible for proper operation & maintenance of pollution control systems for initial period of five years after Society formation and afterwards handover the facility to the Society for its further operation in good and working conditions.

For and on behalf of the
Maharashtra Pollution Control Board.

(E. Ravendiran IAS),
Member Secretary



Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	2619340.00	TXN1911002014	26/11/2019	Online Payment

Copy to:

1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai I
- They are directed to ensure the compliance of the consent conditions.
2. Chief Accounts Officer, MPCB, Sion, Mumbai
3. CAC-Cell-for record purpose.





SCHEDULE-I

Terms & conditions for compliance of Water Pollution Control:

1) A) As per your application, you have provided MBBR based Sewage Treatment Plants (STPs) of combined capacity **150 CMD for treatment of domestic effluent of 51 CMD.**

B) The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr. No.	Parameters	Standards prescribed by Board
		Limiting Concentration in mg/l, except for pH
1.	BOD (3 days 27o C)	10
2.	Suspended Solids	20
3.	COD	50
4.	Residual Chlorine	1ppm

C) The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilised for construction activity and/ or on land for gardening. In no case, effluent shall find its way outside Project's premise.

- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) **The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act,1974 and as amended, and other provisions as contained in the said act.**

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	57.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.



SCHEDULE-II

Terms & conditions for compliance of Air Pollution Control:

- 1) As per your application, you have provided the Air pollution control (APC) system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Stack No.	Stack Attached To	APC System	Height in Mtrs.	Type of Fuel	Quantity & UoM
S-1	DG Set (2250 KVA)	Acoustic Enclosure/ Stack	22	HSD	388 Kg/Hr

- 2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm ³
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- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement/alteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) **Conditions for utilities like Kitchen, Eating Places, Canteens:-**

- a) The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
- b) The toilet shall be provided with exhaust system connected to chimney through ducting.
- c) The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
- d) The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.



SCHEDULE-III
Details of Bank Guarantees:

Sr. No.	Consent(C2E/C2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	C2O (Part-II)	2500000	Existing	Towards O & M of pollution control system & compliance of consent to operate	31.03.2021	31.07.2021

** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.
Existing BG obtained for above purpose if any may be extended for period of validity as above.

BG Forfeiture History

Srno.	Consent (C2E/C2O/C2R)	Amount of BG Imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	Reason of BG Forfeiture
NA						



SCHEDULE-IV

General Conditions:

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011).
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
 - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure.
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.
- 6 Solid Waste - The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11 The applicant shall make an application for renewal of the consent at least 60 days before date of the expiry of the consent.

MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437
Fax: 24023516
Website: <http://mpcb.gov.in>
Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and
4th floor, Opp. Cine Planet
Cinema, Near Sion Circle,
Sion (E), Mumbai-400022

No:- Format1.0/CAC-CELL/UAN No.0000092970/CE - 2011000702

Date: 11/11/2020

To,
K. Raheja Pvt Ltd., Plot bearing CS No.
2/1629 & 1A/1629 of Lower Parel Division,
Plot No. 249 & 249A, 248B of Worli estate
scheme No. 52, Worli, Mumbai.

**Sub: Consent to Establish for Expansion in existing Residential project
under L.S.I Red Category**

- Ref:**
1. Consent to Establish accorded by the Board vide letter BO/RO(P&P)/648 dtd 28/09/2006.
 2. Environment Clearance accorded by MoEF GoI vide 21-413/2006-IA.III GoI, MoEF (IA-Division) dtd. 06/02/2007.
 3. 1st Consent to Operate (part) accorded by the Board vide letter BO/CAC-Cell/CR(part)/CAC-1702000515 dtd. 10/02/2017.
 4. Consent to Establish for expansion & amalgamation of existing C2E accorded by the Board vide letter No. Format 1.0/BO/CAC-Cell/UAN No. 0000028220/CE(Exp) & amalgamation)/CAC-1808000657 dtd. 16/08/2018.
 5. Environment Clearance for expansion accorded by Env. Dept, GoM vide letter SEIAA-EC-0000001926 dtd. 03/08/2019.
 6. Consent to Establish for expansion accorded by the Board vide letter Format 1.0/CAC-CELL/UAN No. 0000076911/CE-1912000103 dtd. 04/12/2019.
 7. Environment Clearance for expansion accorded by Env. Dept, GoM vide letter SIA/MH/MIS/42830/2018 dtd. 31/03/2020
 8. Minutes of Consent Appraisal Committee meeting held on 07/09/2020 & 11/09/2020.

Your application NO. MPCB-CONSENT-0000092970

For: Grant of Consent to Establish for expansion under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundary Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

1. **The Consent to Establish is granted for a period upto commissioning of project**
2. **The capital investment of the project is Rs.66.23 Crs. (As per C.A Certificate submitted by industry).**
3. **The Consent to Establish for expansion is valid for Residential project named as K. Raheja Pvt Ltd., Plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249A, 248B of Worli estate scheme No. 52, Worli, Mumbai. on Total Plot Area of 20,117.24 SqMtrs for construction BUA of 38,143.17 SqMtrs out of Total Construction BUA of 2,16,910.20 SqMtrs**



Maharashtra Pollution Control Board

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(i.e. existing 1,78,767.03 Sq.m + proposed 38,143.17 Sq.m) as per EC granted dated 31/03/2020 including utilities and services

Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)
1	C to E - dtd. 28/09/2006	14638.91	42094.00
2	EC- dtd. 06/02/2007	14638.91	42094.00
3	1st C to O (part) - dtd. 10/02/2017	14638.91	33119.24
4	C to E (exp + amlg) - dtd. 16/0/2018	20117.27	159739.22
5	EC for exp - dtd. 03/08/2019	20117.24	178767.03
6	C to E for exp - dtd. 04/12/2019	20117.24	178767.03
7	EC for exp - dtd. 31/03/2020	20117.24	216910.20

4. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	Nil	Nil
2.	Domestic effluent	223	As per Schedule - I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be connected to the sewerage system provided by local body

5. Conditions under Air (P& CP) Act, 1981 for air emissions:

Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
S-1	DG Set 2250 KVA	01	As per Schedule -II
S-2, S-3	DG Sets 1250 KVA x 2	02	As per Schedule -II
S-4	DG Set 250 KVA	01	As per Schedule -II

6. Conditions under Solid Waste Rules, 2016:

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Biodegradable Waste	561 Kg/Day	Organic waste converter followed by Composting facility.	Used as Manure.
2	Non-Biodegradable Waste	653 Kg/Day	Segregation	By Sale to Auth. Vendor
3	STP Sludge	25 Kg/Day	SDB	Used as Manure.

7. Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for treatment and disposal of hazardous waste:

Sr No	Category No.	Quantity UoM	Treatment	Disposal
1	5.1 Used /spent oil	100 Ltr/A	Stored in drum	By sale to Auth. reprocessor.

Signature



Maharashtra Pollution Control Board

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- 8 This Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- 9 This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government agencies.
- 10 PP shall provide STP so as to achieve the treated domestic effluent standard for the parameter BOD-10 mg/lit.
- 11 The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening.
- 12 PP shall install online monitoring system for BOD, TSS and flow at the outlet of STP with connectivity to MPCB Server.
- 13 PP shall submit BG of Rs. 25 Lakhs towards compliance of EC and Consent to Establish conditions.
- 14 PP shall install organic waste digester along with composting facility/biodigester (biogas) with composting facility for the treatment of wet garbage.
- 15 PP shall submit Board Resolution within 15 days stating that they have violated Consent condition by continuing construction work without obtaining re-validation of Consent to Establish and they will not do so in future. PP shall furnish BG of Rs. 2 Lakh towards compliance of this condition (ie. if PP started construction without obtaining consent to Establish from Board and PP has Environment Clearance for said project).
- 16 This consent is issued without prejudice to the order passed or may be passed by the Hon'ble Supreme Court of India in special leave petition (Civil No. D23708/2017) (if construction in Mumbai region-)
- 17 PP shall not take effective steps without obtaining EC from the Competent Authority (if EC not procured) PP shall comply conditions stipulated Environment Clearance accorded by Environment Department, GoM vide. SEAC 2013/CR-350/TC-1 dtd 31.5.2014.
- 18 PP has obtained approval from MCGM vide No. SWM/000907/2018/G/S/CTY dated 21.6.2018 for transportation of construction & demolition waste from construction site to the designated filling & leveling site.

For and on behalf of the
Maharashtra Pollution Control Board.


(Ashok Shingare IAS),
Member Secretary

Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	100000.00	MPCB-DR-0544	28/06/2020	RTGS

Copy to:

1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai I
- They are directed to ensure the compliance of the consent conditions.
2. Chief Accounts Officer, MPCB, Sion, Mumbai



SCHEDULE-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A) As per your application, you have proposed to provide MBBR Technology based Sewage Treatment Plants (STPs) of combined capacity **295 CMD for treatment of domestic effluent of 223 CMD.**
- B) The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr. No.	Parameters	Standards prescribed by Board
		Limiting Concentration in mg/l, except for pH
1.	BOD (3 days 27o C)	10
2.	Suspended Solids	20
3.	COD	50
4.	Residual Chlorine	1ppm

- C) The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to the sewerage system provided by local body.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) **The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act,1974 and as amended, and other provisions as contained in the said act.**

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	238.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

- 5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.

Signature



SCHEDULE-II

Terms & conditions for compliance of Air Pollution Control:

- 1) As per your application, you have proposed to provide the Air pollution control (APC) system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Stack No.	Stack Attached To	APC System	Height in Mtrs.	Type of Fuel	Quantity & UoM
S-1	DG Set 2250 KVA	Acoustic enclosure	9.49	HSD	388 Ltr/Hr
S-2, S-3	DG Sets 1250 KVA x 2	Acoustic enclosure	7.07	HSD	621 Ltr/Hr
S-4	DG Set 250 KVA	Acoustic enclosure	3.16	HSD	62.5 Ltr/Hr

- 2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm ³
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- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement/alteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) **Conditions for utilities like Kitchen, Eating Places, Canteens:-**
- The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
 - The toilet shall be provided with exhaust system connected to chimney through ducting.
 - The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
 - The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.



SCHEDULE-III
Details of Bank Guarantees:

Sr. No.	Consent(C2E/C2O /C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	Consent to Establish for Expansion	25 Lakh	15 days	Towards Compliance of Environment Clearance and Consent conditions.	COU	Up to Commissioning of the project or 5 years whichever is earlier.

** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.
Existing BG obtained for above purpose if any may be extended for period of validity as above.

BG Forfeiture History

Srno.	Consent (C2E/C2O/C2R)	Amount of BG imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	Reason of BG Forfeiture
NA						

Signature



SCHEDULE-IV

Conditions during construction phase

A	During construction phase, applicant shall provide temporary sewage and MSW treatment and disposal facility for the staff and worker quarters.
B	During construction phase, the ambient air and noise quality shall be maintained and should be closely monitored through MoEF approved laboratory.
C	Noise should be controlled to ensure that it does not exceed the prescribed standards. During night time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

General Conditions:

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011.
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
 - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure.
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.

Signature



Maharashtra Pollution Control Board

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- 6 Solid Waste - The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11 The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.

A. Raheja

MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437
Fax: 24023516
Website: <http://mpcb.gov.in>
Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and
4th floor, Opp. Cine Planet
Cinema, Near Sion Circle,
Sion (E), Mumbai-400022

Infrastructure/RED/LSI

No:- Format1.0/CAC-CELL/UAN No.0000109931/CO - 2111000812

Date: 22/11/2021

To,
K. Raheja Pvt Ltd.,
Plot bearing CS No. 2/1629 & 1A/1629 of
Lower Parel Division, Plot No. 249 & 249A,
248B of Worli estate scheme No. 52, Worli,
Mumbai.



Sub: Consent to Operate (Part) including BUA of existing Consent to Operate (Part-II) for Commercial & Residential Building project under Red/LSI category.

- Ref:**
1. Environmental Clearance for expansion accorded by Env. Dept. GoM vide letter No SIA/MH/MIS/42830/2018 dtd. 31/03/2020.
 2. 1st Consent to Operate (Part-II) accorded by the Board vide letter Format1.0/CAC-CELL/UAN No. 0000083236/CO-2007000074 dtd. 01/07/2020.
 3. Consent to Establish for Expansion accorded by the Board vide letter Format1.0/CAC-CELL/UAN No. 0000092970/CE-2011000702 dtd. 11/11/2020.
 4. Minutes of Consent Appraisal Committee meeting held on 23/06/2021.

Your application NO. MPCB-CONSENT-0000109931

For: Grant of Consent to Operate (Part) under Section 26 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundary Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

1. **The 1st Consent to Operate is granted for a period up to 31.03.2022**
2. **The capital investment of the project is Rs.2047.82 Cr. (As per C.A Certificate submitted by industry).**
3. **The Consent to Operate (Part) is valid for Commercial & Residential Building project named as K. Raheja Pvt Ltd., Plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249A, 248B of Worli estate scheme No. 52, Worli, Mumbai on Total Plot Area of 20,117.24 SqMtrs for Construction BUA of 1,41,069.75 SqMtrs out of Total Construction BUA of 2,16,910.20 SqMtrs as per EC granted dated 31/03/2020 including utilities and services**

Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)
1	EC- dtd. 31/03/2020	20117.24	216910.20
2	1st C to O (Part-II)- dtd. 01/07/2020	20117.24	69400.89
3	C to E for Exp - dtd. 11/11/2020	20117.24	38143.17

4. **Conditions under Water (P&CP), 1974 Act for discharge of effluent:**

Sr No	Description	Permitted (in CMD)	Standards to Disposal
1.	Trade effluent	Nil	Nil

Sr No	Description	Permitted	Standards to	Disposal
2.	Domestic effluent	110	As per Schedule - I	The treated effluent shall be 60% recycled for secondary purposes and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.

5. **Conditions under Air (P& CP) Act, 1981 for air emissions:**

Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
S-1 & S-2	DG Sets of 250 kVA x 2	02	As per Schedule -II

6. **Conditions under Solid Waste Rules, 2016:**

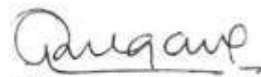
Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Bio-degradable Waste	313 Kg/Day	OWC followed by composting facility	Used as Manure.
2	Non-biodegradable Waste	209 Kg/Day	Segregation	Handed over to Auth. Vendor.
3	STP Sludge	8 Kg/Day	Drying	Used as Manure.

7. **Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for treatment and disposal of hazardous waste:**

Sr No	Category No.	Quantity UoM	Treatment	Disposal
1	5.1 Used or spent oil	100	Ltr/A Recycle	By Sale to Auth. recycler.

- The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
- PP shall properly operate STP to achieve the treated domestic effluent standard for the parameter BOD-10 mg/lit including disinfection facility to the treated sewage.
- The treated sewage shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.
- PP shall properly operate organic waste digester along with composting facility/bio-digester (biogas) for the treatment of wet garbage.
- PP shall make provision of charging ports for electric vehicles at least 10% of total available parking slots.
- PP shall extend existing BG of Rs. 25 Lakh towards O & M of Pollution Control Systems and compliance of Consent conditions.

For and on behalf of the
Maharashtra Pollution Control Board.


(Ashok Shingare IAS),
Member Secretary



Maharashtra Pollution Control Board

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Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	4095640.00	TXN2103001103	09/03/2021	Online Payment

Copy to:

1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai
- They are directed to ensure the compliance of the consent conditions.
2. Chief Accounts Officer, MPCB, Sion, Mumbai



SCHEDULE-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A] As per your application, you have provided SBR based Sewage Treatment Plants (STPs) of combined capacity **150 CMD for treatment of domestic effluent of 110 CMD.**
- B] The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr.No	Parameters	Limiting concentration not to exceed in mg/l, except for pH
1	pH	5.5-9.0
2	BOD	10
3	COD	50
4	TSS	20
5	NH4 N	5
6	N-total	10
7	Fecal Coliform	less than 100

- C] The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) **The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act, 1974 and as amended, and other provisions as contained in the said act.**

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	117.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

- 5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.



SCHEDULE-II

Terms & conditions for compliance of Air Pollution Control:

- 1) As per your application, you have provided the Air pollution control (APC) system and erected following stack (s) and to observe the following fuel pattern-

Stack No.	Stack Attached To	APC System	Height in Mtrs.	Type of Fuel	Quantity & UoM
S-1 & S-2	DG Sets of 250 kVA x 2	Acoustic enclosure	3.16	HSD	125 Ltr/Hr

- 2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm ³
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- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement/alteration well before its life come to an end or erection of new pollution control equipment.

- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

- 5) **Conditions for utilities like Kitchen, Eating Places, Canteens:-**

- The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
- The toilet shall be provided with exhaust system connected to chimney through ducting.
- The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
- The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.

SCHEDULE-III

Details of Bank Guarantees:

Sr. No.	Consent(C2E/C 20/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	1st Consent to Operate (Part)	25 Lakh	Extension of existing BG	Towards O & M of Pollution Control Systems and Compliance of Consent conditions.	Monthly	30/09/2022



Sr. No.	Consent (C2E/C2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
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** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.

Existing BG obtained for above purpose if any may be extended for period of validity as above.

BG Forfeiture History

Srno.	Consent (C2E/C2O/C2R)	Amount of BG Imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	Reason of BG Forfeiture
NA						

BG Return details

Srno.	Consent (C2E/C2O/C2R)	BG imposed	Purpose of BG	Amount of BG Returned
NA				

SCHEDULE-IV

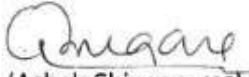
General Conditions:

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011).
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
 - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.

- e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure.
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.
- 6 Solid Waste - The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
 - 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
 - 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
 - 9 The treated sewage shall be disinfected using suitable disinfection method.
 - 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
 - 11 The applicant shall make an application for renewal of the consent at least 60 days before date of the expiry of the consent.

For and on behalf of the
Maharashtra Pollution Control Board.




(Ashok Shingare IAS),
Member Secretary



Maharashtra Pollution Control Board
619b36c4219b594cc8141c7e

MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437
Fax: 24023516
Website: <http://mpcb.gov.in>
Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and
4th floor, Opp. Cine Planet
Cinema, Near Sion Circle,
Sion (E), Mumbai-400022

Infrastructure/RED/L.S.I

No:- Format1.0/CAC-CELL/UAN No.0000132222/CR/2310000492

Date: 08/10/2023

To,
K. Raheja Pvt Ltd.,
Plot bearing CS No. 2/1629 & 1A/1629 of
Lower Parel Division, Plot No. 249 & 249A,
248B of Worli Estate Scheme No. 52,
Worli, Mumbai.



Sub: Grant of Renewal of Consent to Operate (Part-I & II) Residential & Commercial Construction project under Red/LSI Category.

Your application NO. MPCB-CONSENT-0000132222

For: Grant of Renewal of Consent to Operate (Part-I & II) under Section 26 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundary Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

- The Renewal of Consent to Operate (Part-I & II) is granted for a period up to 31/03/2024.**
- The capital investment of the project is Rs.2116.68 Cr. (As per C.A Certificate submitted by industry).**
- The Renewal of Consent to Operate (Part-I & II) is valid for Residential & Commercial Construction project named as K. Raheja Pvt Ltd., Plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249A, 248B of Worli Estate Scheme No. 52, Worli, Mumbai on Total Plot Area of 20,117.24 SqMtrs for Construction BUA of 1,41,459.76 SqMtrs out of Total Construction BUA of 2,16,910.20 SqMtrs as per EC granted dated 31/03/2020 including utilities and services**

Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)
1	EC- dtd. 31/03/2020	20117.24	216910.20
2	C to O (Part-I & II) - dtd. 22/11/2021	20117.24	141069.75
3	1st C to O (Part)- dtd. 01/07/2021	28328.79	24792.77

- Conditions under Water (P&CP), 1974 Act for discharge of effluent:**

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	Nil	Nil
2.	Domestic effluent	110	As per Schedule - I	The treated sewage shall be 60% recycled for secondary purposes and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.

5. **Conditions under Air (P& CP) Act, 1981 for air emissions:**

Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
S-1	DG Set of 2250 kVA	01	As per Schedule -II

6. **Conditions under Solid Waste Rules, 2016:**

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Biodegradable Waste	313 Kg/Day	OWC followed by composting facility.	Used as Manure.
2	Non- Biodegradable Waste	209 Kg/Day	Segregation	Handed over to Auth. Vendor.
3	STP Sludge	08 Kg/Day	Drying	Used as Manure.

7. **Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for Collection, Segregation, Storage, Transportation, Treatment and Disposal of hazardous waste:**

Sr No	Category No.	Quantity	UoM	Treatment	Disposal
1	5.1 Used or spent oil	100	Ltr/A	Recycle	Handed over to Auth. reprocessor.

8. The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
9. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
10. PP shall operate STP scientifically to achieve the treated domestic effluent standard for the parameter BOD-10 mg/lit including disinfection facility to the treated sewage.
11. The treated sewage shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.
12. PP shall properly operate organic waste digester along with composting facility/bio-digester (biogas) for the treatment of wet garbage.
13. PP shall make provision of charging ports for electric vehicles at least 30% of total available parking slots.
14. PP shall extend existing BG of Rs. 25 Lacs towards O & M of Pollution Control Systems and compliance of Consent conditions.

Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	8466720.00	MPCB-DR-10586	25/02/2022	RTGS

Copy to:

1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai I
- They are directed to ensure the compliance of the consent conditions.
2. Chief Accounts Officer, MPCB, Sion, Mumbai



SCHEDULE-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A] As per your application, you have provided SBR based Sewage Treatment Plants (STPs) of combined capacity **160 CMD for treatment of domestic effluent of 110 CMD.**
- B] The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr.No	Parameters	Limiting concentration not to exceed in mg/l, except for pH
1	pH	5.5-9.0
2	BOD	10
3	COD	50
4	TSS	20
5	NH4 N	5
6	N-total	10
7	Fecal Coliform	less than 100

- C] The treated sewage shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) **The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act,1974 and as amended, and other provisions as contained in the said act.**

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	142.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

- 5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.

SCHEDULE-II

Terms & conditions for compliance of Air Pollution Control:

- 1) As per your application, you have provided the Air pollution control (APC) system and erected following stack (s) and to observe the following fuel pattern-

Stack No.	Source	APC System provided/proposed	Stack Height(in mtr)	Type of Fuel	Sulphur Content(in %)	Pollutant	Standard
S-1	DG set of 2250 kVA	Acoustic Enclosure	30.00	HSD 461.36 Ltr/Hr	1	SO ₂	221.45 Kg/Day

- 2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm ³
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- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement/alteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

SCHEDULE-III

Details of Bank Guarantees:

Sr. No.	Consent(C2E/C2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	Renewal of Consent to Operate (Part-I & II)	Rs. 25 Lacs	Extension of existing BG	Towards O & M of Pollution Control Systems and Compliance of Consent conditions.	Monthly	30/09/2024

** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.
Existing BG obtained for above purpose if any may be extended for period of validity as above.

BG Forfeiture History

Srno.	Consent (C2E/C2O/C2R)	Amount of BG imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	Reason of BG Forfeiture
NA						

BG Return details

Srno.	Consent (C2E/C2O/C2R)	BG imposed	Purpose of BG	Amount of BG Returned
NA				

SCHEDULE-IV

General Conditions:

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011).
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
 - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure.
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.
- 6 Solid Waste - The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.

- 11 The applicant shall make an application for renewal of the consent at least 60 days before date of the expiry of the consent.

This certificate is digitally & electronically signed.



MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437
Fax: 24023516
Website: <http://mpcb.gov.in>
Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and
4th floor, Opp. Cine Planet
Cinema, Near Sion Circle,
Sion (E), Mumbai-400022

Infrastructure/RED/L.S.I

No:- Format1.0/CAC-CELL/UAN No.0000180774/CE/2401001498

Date: 11/01/2024

To,
K. Raheja Pvt Ltd.,
Plot bearing CS No. 2/1629 & 1A/1629 of
Lower Parel Division, Plot No. 249 & 249A,
248B of Worli Estate Scheme No. 52,
Worli, Mumbai.



Sub: Grant of Consent to Establish for Expansion of Residential & Commercial Construction project under Red/LSI Category.

- Ref:**
1. Environmental Clearance for Expansion of proposed Residential tower building, Multi storied public parking lot building, office building & residential building project accorded by Env. Dept, GoM vide SIA/MH/MIS/42830/2018 dtd. 31/03/2020.
 2. Consent to Operate (Part-I & II) accorded by the Board vide Format 1.0/CAC-CELL/UAN No. 0000109931/CO-2111000812 dtd.22/11/2021.
 3. 1st Consent to Operate rehab building B & C and Renewal of Consent to Operate for Rehab Building A & J and amalgamation of both vide letter Format 1.0/CAC-CELL/UAN No.0000043288/CO-2107000002 dtd. 01/07/2021.
 4. Environmental Clearance for proposed Expansion of Residential & Commercial Construction project accorded by Env, Dept, GoM vide letter No. SIA/MH/INFRA2/417166/2023 dtd. 26/05/2023.
 5. Minutes of Consent Appraisal Committee meeting held on 05/12/2023.

Your application NO. MPCB-CONSENT-0000180774

For: Grant of Consent to Establish for Expansion under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundary Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

1. **The Consent to Establish for Expansion is granted for a period up to Commissioning of the project or up to 5 years whichever is earlier.**
2. **The capital investment of the project is Rs.34.37 Cr. (As per undertaking submitted by pp).**
3. **The Consent to Establish for Expansion is valid for Residential & Commercial Construction project named as K. Raheja Pvt Ltd., Plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249A, 248B of Worli Estate Scheme No. 52, Worli, Mumbai on Total Plot Area of 20,117.24 SqMtrs for additional Construction BUA of 7893.36 SqMtrs out of Total Construction BUA of 2,24,400.49 SqMtrs as per specific condition No. B(5) EC granted dated 26/05/2023 including utilities and services**

Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)
1	EC- dtd. 31/03/2020	20117.24	216910.20
2	C to O (Part- I & II) - dtd. 22/11/2021	20117.24	141069.75
3	1st C to O (Part-III)- dtd. 01/07/2021	28328.79	24792.77
4	EC for Exp- dtd. 26/05/2023	20117.24	224400.49

4. **Conditions under Water (P&CP), 1974 Act for discharge of effluent:**

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	Nil	Nil
2.	Domestic effluent	270	As per Schedule - I	The treated sewage shall be 60% recycled for secondary purposes and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.

5. **Conditions under Air (P& CP) Act, 1981 for air emissions:**

Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
S-1	DG Set of 500 kVA	01	As per Schedule -II
S-2 to S-3	DG Sets of 1500 kVA x 02	02	As per Schedule -II
S-4	DG Set of 2250 kVA	01	As per Schedule -II

6. **Conditions under Solid Waste Rules, 2016:**

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Bio-degradable Waste	652 Kg/Day	OWC followed by composting facility.	Used as Manure.
2	Non-biodegradable Waste	937 Kg/Day	Segregation	Handed over to Auth. Vendor.
3	STP Sludge	13.50 Kg/Day	Drying	Used as Manure.

7. **Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for Collection, Segregation, Storage, Transportation, Treatment and Disposal of hazardous waste:**

Sr No	Category No.	Quantity	UoM	Treatment	Disposal
1	5.1 Used or spent oil	100	Ltr/A	Recycle	Handed over to Auth. reprocessor.

8. **Conditions under E-Waste Management:**

Sr No	Type of Waste	Quantity	UoM	Disposal Path
1	E-Waste	4.50	Ton/Y	Handed over to Auth. Vendor.

9. This Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.

10. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government agencies.

11. PP shall provide STP of adequate capacity to achieve the treated domestic effluent standard for the parameter BOD-10 mg/lit including disinfection facility.

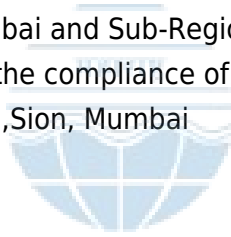
12. The treated sewage shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.
13. PP shall provide organic waste digester along with composting facility/bio-digester (biogas) for the treatment of wet garbage.
14. PP shall make provision of charging ports for electric vehicles at least 30% of total available parking slots.
15. PP shall submit BG of Rs. 25 Lacs towards compliance of EC and Consent conditions.

Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	75000.00	TXN2309001012	07/09/2023	Online Payment

Copy to:

1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai I
- They are directed to ensure the compliance of the consent conditions.
2. Chief Accounts Officer, MPCB, Sion, Mumbai



SCHEDULE-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A] As per your application, you have proposed to provide MBBR based Sewage Treatment Plants (STPs) of combined capacity **320 CMD for treatment of domestic effluent of 270 CMD.**
- B] The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr.No	Parameters	Limiting concentration not to exceed in mg/l, except for pH
1	pH	5.5-9.0
2	BOD	10
3	COD	50
4	TSS	20
5	NH4 N	5
6	N-total	10
7	Fecal Coliform	less than 100

- C] The treated sewage shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) **The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act,1974 and as amended, and other provisions as contained in the said act.**

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	326.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

- 5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.

SCHEDULE-II

Terms & conditions for compliance of Air Pollution Control:

- 1) **As per your application, you have proposed to provide the Air pollution control (APC) system and also proposed to erect following stack (s) and to observe the following fuel pattern-**

Stack No.	Source	APC System provided/proposed	Stack Height(in mtr)	Type of Fuel	Sulphur Content(in %)	Pollutant	Standard
S-1	DG Set of 500 kVA	Acoustic Enclosure	4.47	HSD 104 Ltr/Hr	1	SO ₂	49.92 Kg/Day
S-2 to S-3	DG Sets of 1500 kVA x 02	Acoustic Enclosure	7.75	HSD 624 Ltr/Hr	1	SO ₂	299.52 Kg/Day
S-4	DG Set of 2250 kVA	Acoustic Enclosure	9.49	HSD 468 Ltr/Hr	1	SO ₂	224.64 Kg/Day

- 2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm ³
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- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement/alteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) **Conditions for utilities like Kitchen, Eating Places, Canteens:-**
- The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
 - The toilet shall be provided with exhaust system connected to chimney through ducting.
 - The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
 - The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.

SCHEDULE-III

Details of Bank Guarantees:

Sr. No.	Consent(C2E/C2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	Consent to Establish for Expansion	Rs. 25 Lacs	15 days	Towards Compliance of EC & C to E conditions.	Commissioning of the project or 5 years whichever is earlier.	Commissioning of the project or 5 years whichever is earlier.

** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.

Existing BG obtained for above purpose if any may be extended for period of validity as above.

BG Forfeiture History

Srno.	Consent (C2E/C2O/C2R)	Amount of BG imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	Reason of BG Forfeiture
NA						

BG Return details

Srno.	Consent (C2E/C2O/C2R)	BG imposed	Purpose of BG	Amount of BG Returned
NA				



SCHEDULE-IV

Conditions during construction phase

A	During construction phase, applicant shall provide temporary sewage and MSW treatment and disposal facility for the staff and worker quarters.
B	During construction phase, the ambient air and noise quality shall be maintained and should be closely monitored through MoEF approved laboratory.
C	Noise should be controlled to ensure that it does not exceed the prescribed standards. During night time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

General Conditions:

1. Consumers or bulk consumers of electrical and electronic equipment listed in Schedule I shall ensure that e-waste generated by them is channelised through collection centre or dealer of authorised producer or dismantler or recycler or through the designated take back service provider of the producer to authorised dismantler or recycler
2. Bulk consumers of electrical and electronic equipment listed in Schedule I shall maintain records of e-waste generated by them in Form-2 and make such records available for scrutiny by the concerned State Pollution Control Board
3. Consumers or bulk consumers of electrical and electronic equipment listed in Schedule I shall ensure that such end-of-life electrical and electronic equipment are not admixed with e-waste containing radioactive material as covered under the provisions of the Atomic Energy Act, 1962 (33 of 1962) and rules made there under;
4. Bulk consumers of electrical and electronic equipment listed in Schedule I shall file annual returns in Form-3, to the concerned State Pollution Control Board on or before the 30th day of June following the financial year to which that return relates. In case of the bulk consumer with multiple offices in a State, one annual return combining information from all the offices shall be filed to the concerned State Pollution Control Board on or before the 30th day of June following the financial year to which that return relates.
5. The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
6. The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011).
7. Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
8. Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
9. Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.

- b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
- c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
- d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
- e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
- f) D.G. Set shall be operated only in case of power failure.
- g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
- h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.
- 10 Solid Waste - The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 11 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 12 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 13 The treated sewage shall be disinfected using suitable disinfection method.
- 14 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 15 The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.

This certificate is digitally & electronically signed.



Maharashtra Pollution Control Board

महाराष्ट्र प्रदूषण नियंत्रण मंडळ

Application for Consent/ Authorisation

Sir,
I/We hereby apply for*

1. Consent to Establish/Operate/Renewal of consent under section 25 and 26 of the Water (Prevention & Control of Pollution) Act, 1974 as amended.
2. Consent to Establish/Operate/Renewal of consent under Section 21 of the Air (Prevention and Control of Pollution) Act, 1981, as amended.
3. Authorization/renewal of authorization under Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 in connection with my/our/existing/proposed/altered/ additional manufacturing/processing activity from the premises as per the details given below.

Consent Information

UAN No:
MPCB-CONSENT-0000197389

Application submitted on:
05-02-2024

Industry Information

Consent To:
Operate

IIN No.:

Submit to:
SRO - Mumbai I

Type of institution:
Other Planning Authority

Industry Type:
O21 Building and construction
project more than 20,000 sq. m
built up area

Category:
Orange

Scale:
L.S.I

**Location of
industry/activity/etc:**
Local Body

Name of Local Body:
MCGM

EC Reqd.
Yes

EC Obtained
EC Obtained

EC Ref. No.

Date of issue of EC

Parivesh Proposal Number

MoEFCC/SEIAA File Number

• EC Letter No. 21-413/2006-IA.III dated 6th February 2007 • Amended letter SEAC 2010/CR.323/TC.2 dated 22nd July 2011 • Amended letter SEAC 2010/CR.323/TC.2 dated 11th June 2014 • Amendment letter SEAC-2016/CR424/TC-1 dated 12th May 2017 • Expansion in Environmental Clearance vide letter SEIAA-EC-0000001926 dated 3rd August 2019 • Expansion in Environmental Clearance vide letter SIA/MH/MIS/42830/2018 dated 31st March 2020. • Expansion in Environmental Clearance vide letter SIA/MH/INFRA2/417166/2023 dated 26th May 2023

SIA/MH/INFRA2/417166/2023

SIA/MH/INFRA2/417166/2023

Whether construction-buildup area is more than 20,000 sq.mtr.(Existing Expansion Unit)

Yes

General Information

1. Name, designation, office address with Telephone/Fax numbers, e-mail of the Applicant Occupier/Industry/Institution / Local Body.

Name Nikhil Mehta	Address C S No 2/1629 of Lower Parel division, Plot No 249 & 249A of Worli, Mumbai,
Designation Vice President	Taluka Kurla
Area Kurla (West)	District Mumbai Suburban
Telephone 9167755305	Fax
Email MetalboxMPCB@kraheja.com	Pan Number AAACK1949H

2. (a) Name and location of the industrial unit/premises for which the application is made (Give revenue Survey Number/Plot number name of Taluka and District, also telephone and fax number)

Industry name M/s. K. RAHEJA PRIVATE LTD	Survey number/Plot Number C.S. No.2/1629, 1A/1629 & Plot No.249 & 249A, 248B
Location of Unit Residential Tower (Part) on land bearing at CS No 2/1629 & 1A/1629 of Lower Parel division, Plot No. 249 & 249 A, 248B of Worli estate scheme no. 52, Worli, Mumbai.	District Mumbai city
Taluka Mumbai	

(b) Details of the planning permission obtained from the local body/Town and Country Planning authority/Metropolitan Development authority/ designated Authority.

Planning permission Municipal Corporation of Greater Mumbai (MCGM)	Planning Authority Municipal Corporation of Greater Mumbai (MCGM)
Name of the local body under whose jurisdiction the unit is located and Name of the licence issuing authority	
Name of Local Body Municipal Corporation of Greater Mumbai (MCGM)	Name of the licence issuing authority Municipal Corporation of Greater Mumbai (MCGM)

3. Names, addresses with Telephone and Fax Number of Managing Director / Managing Partner and officer responsible for matters connected with pollution control and/or Hazardous waste disposal.

Name of Managing Director

Mr. Raman Sapru (Director - Design & Engineering)

Telephone number

09167779454

Fax number

02226564604

Officer responsible for day to day business

Mr. Vaibhav Samarth

4. (a.) Are you registered Industrial unit ?

Yes

Registration number

17018/1973-74

Date of registration

Apr 3, 1982

5. Gross capital investment of the unit without depreciation till the date of application (Cost of building, land, plant and machinery). (To be supported by an affidavit/undertaking on Rs.20/- stamp paper, annual report or certificate from a Chartered Accountant for proposed unit(s), give estimated figure)

Gross capital (in Lakh)

298356.00

*** Verified**

CA Certificate

*** Terms**

1

*** Consent Fee**

5967120.00

6. If the site is located near sea-shore/river bank/other water bodies/Highway, Indicate the crow fly distance and the name of the water body, if any.

Distance From

SH/NH

Distance(Km)

4.56

*** Name**

National Highway8

River

0.00

--NA--

Human Habitation

1.00

Religious Place

1.00

Historical Place

0.00

--NA--

Creek/Sea

1.50

Creek/Sea

6b. Enter Latitude and Longitude details of site

Latitude

190033.2

Longitude

724910.08

7. Does the location satisfy the Requirements Under relevant Central/State Govt. Notification such as Coastal Regulation Zone. Notification on Ecologically Fragile Area, Industrial Location policy, etc. If so, give details.

Location	Approved Industry Area	Sensitive Area	If Yes, Name Of Area	Industry Location with Reference to CRZ
Not Applicable	No	No	Not Applicable	

8. If the site is situated in notified industrial estate,

Details

(a) Whether effluent collection, treatment and disposal system has been provided by the authority.

No

(b) Will the applicant utilize the system, if provided.

No

(c) If not provided, details of proposed arrangement.

STP of capacity 160 KLD (SBR based) is installed.

9.

(a) Total plot area (in square meter)

(b) Built up area and (in square meter)

(c) Area available for the use of treated sewage/ trade effluent for gardening/irrigation. (in square meter)

20117.24

144863.93 Sq.m.(FSI: 62993.62 Sq.m. +
Non FSI: 81870.31 Sq.m.) out of total BUA
224803.56 sq.m.

5811.61 sq.m

10. Month and year of commissioning of the Unit.

2020-01-01

11. Number of workers and office staff

Workers	staff	Hrs. of shift	Weekly off
182	0	9	1

12.

(a) Do you have a residential colony Within the premises in respect of Which the present application is Made ?

No

The present application is for an entire Residential building having BUA of 1,44,863.93 sq. mtrs. W

(b) If yes, please state population staying

Number of person staying

Water consumption

Not Applicable

Sewage generation

Not Applicable

Whether is STP provided?

No

(c) Indicate its location and distance with reference to plant site.

Number of person staying

Not Applicable

Water consumption

Not Applicable

13. List of products and by-products Manufactured in tonnes/month, Kl/month or numbers/month with their types i.e.Dyes, drugs etc. (Give figures corresponding to maximum installed production capacity)

Products Name and Quantity

Product Name	UOM	Product Name	Existing	Consented	Proposed Revision	Total	Remarks
OTHERS	Sq.M	Building construction project	0	0	144863.93	144863.93	The present application is for an entire Residential building having BUA of 1,44,863.93 sq. mtrs. We have already been granted Renewal of Consent to Operate (Part-I & II) for Residential Bldg having BUA of 1,41,459.76 SqMtrs for period up to 31/03/2024

Products Name and Quantity

Product Name	UOM	Quantity	Remarks
Not Applicable	--NA--	0	Not applicable

14. List of raw materials and process chemicals with annual consumption corresponding to above stated production figures, in tonnes/month or kl/month or numbers/month.

Name of Raw Material	UOM	Quantity	Hazardous Waste	Hazardous Chemicals	Remarks
Not Applicable	--NA--	0	No	No	Not applicable

15. Description of process of manufacture for each of the products showing input, output, quality and quantity of solid, liquid and gaseous wastes, if any from each unit process.

NA

Part B : Waste Water aspects

16. Water consumption for different uses (m3/day)

Purpose	Consumption	Effluent Generation	Treatment	Remarks	Disposal	Remarks
Domestic Pourpose	142	110	STP	STP of capacity 160 CMD with SBR based Technology is provided to treat sewage generated.	Recycle	Treated water will be used for flushing & gardening.
Water gets Polluted & Pollutants are Biodegradable	Nil	0	--NA--	Not applicable	--NA--	Not applicable
Water gets Polluted, Pollutants are not Biodegradable & Toxic	Nil	0	--NA--	Not applicable	--NA--	Not applicable
Industrial Cooling, spraying in mine pits or boiler feed	Nil	0	--NA--	Not applicable	--NA--	Not applicable
Others	Gardening- 30 CMD (R)					

17. Source of water supply, Name of authority granting permission if applicable and quantity permitted.

Source of water supply	Name of Local Body	Name of authority granting permission	Quantity permitted
Local Body	Municipal Corporation of Greater Mumbai (MCGM)	Municipal Corporation of Greater Mumbai (MCGM)	117

18. Quantity of waste water (effluent) generated (m3/day)

Domastic	Boiler Blowdown	Industrial	Cooling water blowdown
110	0	0	0
Process	DM Plants/Softening	Washing	Tail race discharge from
0	0	0	0

* 19. Water budget calculations accounting for difference between water consumption and effluent generated.

32

20. Present treatment of sewage/canteen effluent (Give sizes/capacities of treatment units).

Capacity of STP (m3/day)

160

Treatment unit	Size (mxm)	Retention time (hr)
SBR based Sewage Treatment Plant with capacity of 160 CMD is provided to treat sewage generated.	160	0

21. Present treatment of trade effluent (Give sizes/capacities of treatment units) (A schematic diagram of the treatment scheme with inlet/outlet characteristics of each unit operation/process is to be provided. Include details of residue Management system (ETP sludges)

Capacity of ETP (m3/day)

0

Treatment unit	Size (mxm)	Retention time (hr)
Not applicable as no generation of trade effluent	0	0

22.

(i) Are sewage and trade effluents mixed together? No

If yes, state at which stage-Whether before, intermittently or after treatment. No, Not applicable as no generation of trade effluent

23. Capacity of treated effluent sump, Guard Pond if any.

Capacity of treated effluent sump (m3) Not applicable

Effluent sump/Guard pond details No Not applicable

If yes, state at which stage-Whether before, intermittently or after treatment. No Not applicable

24. Mode of disposal of treated effluent With respective quantity, m3/day

(i) into stream/river (name of river)	0	(ii) into creek/estuary (name of Creek/estuary)	0
(iii) into sea	0	(iv) into drain/sewer (owner of sewer)	30
(v) On land for irrigation on owned land/ase land. Specify cropped area.	0	(vi) Connected to CETP	0
(vii) Quantity of treated effluent reused/ recycled, m3/day Provide a location map of disposal arrangement indicating the outler(s) for sampling. Treated effluent reused / recycled (m3/day)	99		

25. (a) Quality of untreated/treated effluents (Specify pH and concentration of SS, BOD,COD and specific pollutants relevant to the industry. TDS to be reported for disposal on land or into stream/river.

Untreated Effluent

pH	6.68
SS (mg/l)	28
BOD (mg/l)	75
COD (mg/l)	210
TDS (mg/l)	--

Specific pollutant if any	Name	Value
----------------------------------	-------------	--------------

1 Total Ammoniacal Nitrogen as NH3 --

Treated Effluent

pH 6.55
SS (mg/l) 8
BOD (mg/l) 9.6
COD (mg/l) 30
TDS (mg/l) --

Specific pollutant if any	Name	Value
1	Total Ammoniacal Nitrogen as NH3	< 0.56

(b) Enclose a copy of the latest report of analysis from the laboratory approved by State Board/ Committee/Central Board/Central Government in the Ministry of Environment expected characteristics of the untreated/treated effluent

STP monitoring report enclosed.

26. Fuel consumption

Fuel Type	UOM	Fuel Consumption TPD/LKD	Calorific value
HSD	Kg/Hr	461.36	10800
Ash content	Sulphur content	Quantity	Other (specify)
0	0.25	1	DG Set (2250 KVA) is provided.

27. (a) Details of stack (process & fuel stacks: D. G.)

(a) Stack number(s) 1	(b) Stack attached to DG Set (1 Nos.)	(c) Capacity 2250 KVA x 1 Nos	(d) Fuel Type HSD
(e) Fuel quantity (Kg/hr.) 461.36	(f) Material of construction MS	(g) Shape (round/rectangular) Round	(h) Height, m (above ground level) 22 m
(i) Diameter/Size, in meters 0.45	(j) Gas quantity, Nm³/hr. 525	(k) Gas temperature °C 475	(l) Exit gas velocity, m/sec. 14.85
(m) Control equipment preceding the stack Not Applicable	(n) Nature of pollutants likely to present in stack gases such as Cl₂, Nox, Sox TPM etc. SPM, SO ₂ , NO _x	(o) Emissions control system provided Adequate stack height as per CPCB norms to achieve satisfactory dilution	(p) In case of D.G. Set power generation capacity in KVA 2250 KVA x 1 No. (DG Set will be used as power back up)

27. (B) Whether any release of odoriferous compounds such as Mercaptans, Phorate etc. Are coming out from any storages or process house.

No

28. Do you have adequate facility for collection of samples of emissions in the form of port holes, platform, ladder etc. As per Central Board Publication "Emission regulations Part-III" (December, 1985)

Port hole	Yes	Details	Yes, Port holes are provided as per CPCB guidelines.
Platform	Yes	Details	Yes, Platforms are provided as per CPCB guidelines.
Ladder	Yes	Details	Yes, Ladders are provided as per CPCB guidelines.

29. Quality of treated flue gas emissions and process emissions. Quantity of treated flue gas emissions and process emissions.

Sr. No	Stack attached to	Parameter	Concentration mg/Nm3	flow (Nm3/hr)
1	Not Applicable	Not Applicable	0	0

(Specify concentration of criteria pollutants and industry/process-specific pollutants stack-wise. Enclose a copy of the latest report of analysis from the laboratory approved by State Board/Central Board/Central Government in the Ministry of Environment & Forests. For proposed unit furnish expected characteristics of the emissions..

DG Monitoring report enclosed

Part - D: Hazardous Waste aspect

30. Information about Hazardous Waste Management as defined in Hazardous Waste (Management & Handling) Rules, 1989 as amended in Jan.,2000. Type/Category of Waste as per

Waste (Annually) Schedule I

Cat No	Type	Qty	UOM
5.1	5.1 Used or spent oil	100	Ltr/A
Max	Method of collection	Method of reception	Method of storage
	As per norms	Not Applicable	As per norms
Method of transport	Method of treatment	Method of disposal	
As per norms	Not Applicable	As per norms	

Waste (Annually) Schedule II

31. Details about use of hazardous waste

Name of hazardous waste/Spent chemical	Quantity used/month	Party from whom purchased	Party to whom sold
Not applicable	0	Not applicable	Not applicable

32.

a. Details about technical capability and equipments available with the applicant to handle the Hazardous Waste

Not applicable

b. Characteristics of hazardous waste(s) Specify concentration of relevant pollutants. Enclose a copy of the latest report of analysis from the laboratory approved by State Board/Central Board/Central Govt. in the ministry of Environment & Forests. For proposed units furnish expected characteristics

Not applicable

33.

Copy of format of manifest/record Keeping practiced by the applicant.

Not applicable

34.

Details of self-monitoring (source and environment system)

Not applicable

35.

Are you using any imported hazardous waste. If yes, give details.

Not applicable

36.

Not applicable

37.

Present treatment of hazardous waste, if any (give type and capacity of treatment units)

Not applicable

38. Quantity of hazardous waste disposal

(i) Within factory

0

(ii) Outside the factory (specify location and enclose copies of agreement.)

0

(iii) Through sale (enclosed documentary proof and copies of agreement.)

100

(iv) Outside state/Union Territory, if yes particulars of (1 & 3) above.

0

(v) Other (Specify)

0

Part - E: Additional information

39.

a. Do you have any proposals to upgrade the present system for treatment and disposal of effluent/emissions and/or hazardous waste.

Not applicable

b. If yes, give the details with time- schedule for the implementation and approximate expenditure to be incurred on it.

Not applicable

40.

Capital and recurring (O & M) expenditure on various aspect of environment protection such as effluent, emission, hazardous waste, solid waste, tree- plantation, monitoring, data acquisition etc. (give figures separately for items implemented/to be implemented).

Capital Cost: Rs. 208.14 Lakhs, and O & M cost: Rs. 41.61 Lakhs

41.

To which of the pollution control equipment, separate meters for recording consumption of electric energy are installed ?

STP

42.

Which of the pollution control items are connected to D.G. Set (captive power source) to ensure their running in the event of normal power failure

STP

43. Nature, quantity and method of disposal of non- hazardous solid waste generated separately from the process of manufacture and waste treatment. (Give details of area/capacity available in applicant's land)

Type	Quantity	UOM	Treatment	Disposal	Other Details
------	----------	-----	-----------	----------	---------------

Biodegradable Waste	313	Kg/Day	OWC followed by composting	Biodegradable Waste is treated in OWC & manure obtain will be used for Gardening.
Non- Biodegradable Waste	209	Kg/Day	Segregation	It is handedover to the authorized vendor/ Local Body.
STP Sludge	08	Kg/Day	Drying	Will be used as manure for Plantation/ Gardening.

44. Hazardous Chemicals – Give details of Chemicals and quantities handled and Stored.

(i) Is the unit a Major Accident Hazard unit as per Mfg.Storage Import Hazardous Chemicals Rules ?

Not applicable

(ii) Is the unit an isolated storage as defined under the MSIHC Rules ?

Not applicable

(iii) Indicate status of compliance of Rules 5,7,10,11,12,13 and 18 of the MSIHC Rules.

Not applicable

(iv) Has approval of site been obtained from the concerned authority?

Not applicable

(v) Has the unit prepared an off-site Emergency Plan? Is it updated ?

Not applicable

(vi) Has information on imports of Chemicals been provided to the concerned authority?

Not applicable

(vii) Does the unit possess a policy under the PLI Act?

Not applicable

45. Brief details of tree plantation/green belt development within applicant's premises (in hectares)

Open Space Availability	Plantation Done On	Number of Trees Planted
4680.82 Square meter	139 Square meter(3.0 %)	26

46.

Information of schemes for waste Minimization, resource recovery and recycling - implemented and to be implemented, separately.

STP, OWC, RWH are provided. Rain Water Harvesting tank of 50 KL is within bldg.

47.

(a) The applicant shall indicate whether Industry comes under Public Hearing, if so, the relevant documents such as EIA, EMP, Risk Analysis etc. shall be submitted, if so, the relevant documents enclosed shall be indicated accordingly.

EC obtained

(b) Any other additional information that the applicants desires to give

The present application is for an entire Residential building having BUA of 1,44,863.93 sq. mtrs. We have already been granted Renewal of Consent to Operate (Part-I & II) for Residential Bldg having BUA of 1,41,459.76 SqMtrs for period up to 31/03/2024.

(c) Whether Environmental Statement submitted ? If submitted, give date of submission.

Environmental Statement (2022-2023) submitted, the same is enclosed.

48.

I/We further declare that the information furnished above is correct to the best of my/our knowledge.

49.

I/We hereby submit that in case of any change from what is stated in this application in respect of raw materials, products, process of manufacture and treatment and/or disposal of effluent, emission, hazardous wastes etc. In quality and quantity; a fresh application for Consent/Authorization shall be made and until the grant of fresh Consent/Authorization no change shall be made.

50.

I/We undertake to furnish any other information within one month of its being called by the Board

Yours faithfully

Signature :

Name : Mr. Raman Sapru

Designation : Director - Design & Engineering

Additional Information

Air Pollution

Sr No.	Air Pollution Source	Pollutants	APCS Provided	Remark
1	DG Set (1 No)	SPM, SO2, NOx	Adequate stack height as per CPCB norms to achieve satisfactory dilution	DG Set (2250 KVA x 1nos)

Separate EM Provided No **Other Emission Sources** Not applicable

Measures Proposed Stack, Accoustic hood **Foul Smell Coming Out** No

Air Sampling Facility Details Port holes, Ladders, Platforms will be provided

D.G. Set Details

Description	Capacity(KVA)	Remarks
DG Set No, 1	2250	Stack, Accoustic hood & Port holes, Ladders, Platforms will be provided

Hazardous Waste Generation

Hazardous Waste	Quantity	UOM	Treatment	Disposal	Other Details
5.1 Used or spent oil	100	Ltr/A	Recycle	Handed over to Auth. reprocessor.	N.A

CHWTSDF Details

Member of CHWTSDF	CHWTSDF Name	Remarks
--------------------------	---------------------	----------------

Cess Details

Cess Applicable	Cess Paid	If Yes, UpTo
No	No	Jan 1 1900 12:00:00:000AM

Legal Actions

Legal Action Taken	Legal Record Of Company	Legal Action Details	Remarks
No			

Bank Guarantee Applicable:

Yes

Applicable against Consent:

Yes

-
- MPCB-BG-0000018834 (299871221000023)

Applicable against Direction:

No

Annexure



Maharashtra Pollution Control Board

महाराष्ट्र प्रदूषण नियंत्रण मंडळ

FORM V

(See Rule 14)

Environmental Audit Report for the financial Year ending the 31st March 2023

Unique Application Number

MPCB-ENVIRONMENT_STATEMENT-0000057371

Submitted Date

12-09-2023

PART A

Company Information

Company Name

M/s. K. Raheja Pvt. Ltd.

Application UAN number

--

Address

C.S. No. 2/1629, Plot No. 249 & 249A of Worli Scheme
No. 52, Lower Parel Division, G/S Ward, Worli,
Mumbai.

Plot no

Plot No. 249 & 249A

Taluka

Mumbai

Village

Lower Parel Division

Capital Investment (In lakhs)

20124

Scale

LSI

City

Mumbai

Pincode

400025

Person Name

Mr. Vaibhav Samarth

Designation

AVP-Engineering

Telephone Number

9167779454

Fax Number

0

Email

vsamarth@kraheja.com

Region

SRO-Mumbai I

Industry Category

Red

Industry Type

other

Last Environmental statement submitted online

yes

Consent Number

Format. 1.0/CAC-cell/UAN No.
0000076911/CE 1912000103

Consent Issue Date

04.12.2019

Consent Valid Upto

30.11.2024

Establishment Year

1983

Date of last environment statement submitted

Sep 24 2022 12:00:00:000AM

Industry Category Primary (STC Code) & Secondary (STC Code)

Product Information

Product Name

NA - Building construction project Built up area more than 20,000 sq.mt.

Consent Quantity

0

Actual Quantity

0

UOM

MT/A

By-product Information

By Product Name

NA - Building construction project Built up area more than 20,000 sq.mt.

Consent Quantity

0

Actual Quantity

0

UOM

MT/A

Part-B (Water & Raw Material Consumption)

1) Water Consumption in m3/day

Water Consumption for Process	Consent Quantity in m3/day	Actual Quantity in m3/day
Cooling	0.00	0.00
Domestic	159.00	135.85
All others	0.00	60.56
Total	159.00	196.41

2) Effluent Generation in CMD / MLD

Particulars	Consent Quantity	Actual Quantity	UOM
Daily Quantity of trade effluent from the factory	0	0	CMD
Daily Quantity of sewage from the factory	150	149.03	CMD
Daily Quantity of Treated effluent from factory	0	134.13	CMD

2) Product Wise Process Water Consumption (cubic meter of process water per unit of product)

Name of Products (Production)	During the Previous financial Year	During the current Financial year	UOM
NA - Building Construction project	0	0	CMD

3) Raw Material Consumption (Consumption of raw material per unit of product)

Name of Raw Materials	During the Previous financial Year	During the current Financial year	UOM
NA - Building Construction project	0	0	Ton/Ton

4) Fuel Consumption

Fuel Name	Consent quantity	Actual Quantity	UOM
HSD -(for DG Set - 2250 KVA* 1 No. & 250 KVA * 2 No.)	4982	0.408	KL/A

Part-C

Pollution discharged to environment/unit of output (Parameter as specified in the consent issued)

[A] Water

Pollutants Detail	Quantity of Pollutants discharged (kL/day)	Concentration of Pollutants discharged(Mg/Lit) Except PH,Temp,Colour Concentration	Percentage of variation from prescribed standards with reasons %variation	Standard	Reason
pH	0	7.19	NA	NA	NA
TSS	0.96	6.41	28.78	20 mg/l	NA
COD	3.18	21.35	57.30	50 mg/l	NA
BOD	1.22	8.16	18.40	10 mg/l	NA

[B] Air (Stack)

Pollutants Detail	Quantity of Pollutants discharged (kL/day)	Concentration of Pollutants discharged(Mg/NM3)	Percentage of variation from prescribed standards with reasons %variation	Standard	Reason
	Quantity	Concentration	%variation	Standard	Reason
DG (2250 KVA) - TPM	8.12	62.33	58.45	150 mg/ Nm3	NA
DG (2250 KVA) - SO2	5.57	42.69	NA	--	NA

DG (2250 KVA) - NOx	4.03	30.92	NA	--	NA
DG (2250 KVA) - CO	2.79	21.40	NA	--	NA

Part-D

HAZARDOUS WASTES

1) From Process

Hazardous Waste Type	Total During Previous Financial year	Total During Current Financial year	UOM
5.1 Used or spent oil	0	0.15	KL/A
Other Hazardous Waste	0	0	MT/A

2) From Pollution Control Facilities

Hazardous Waste Type	Total During Previous Financial year	Total During Current Financial year	UOM
0	0	0	MT/A

Part-E

SOLID WASTES

1) From Process

Non Hazardous Waste Type	Total During Previous Financial year	Total During Current Financial year	UOM
Biodegradable	0	29.27	MT/A
Non -Biodegradable	0	2.52	MT/A

2) From Pollution Control Facilities

Non Hazardous Waste Type	Total During Previous Financial year	Total During Current Financial year	UOM
STP Sludge	0	0	MT/A

3) Quantity Recycled or Re-utilized within the unit

Waste Type	Total During Previous Financial year	Total During Current Financial year	UOM
0	0	0	MT/A

Part-F

Please specify the characteristics(in terms of concentration and quantum) of hazardous as well as solid wastes and indicate disposal practice adopted for both these categories of wastes.

1) Hazardous Waste

Type of Hazardous Waste Generated	Qty of Hazardous Waste	UOM	Concentration of Hazardous Waste
5.1 Used or spent oil	0.15	MT/A	Liquid - Sale to Authorised recycler
Other Hazardous Waste	0	MT/A	Not Applicable

2) Solid Waste

Type of Solid Waste Generated	Qty of Solid Waste	UOM	Concentration of Solid Waste
Biodegradable	29.27	MT/A	OWC followed by composting. Used as manure
Non Biodegradable	2.52	MT/A	Segregate and handed over to Local Body for recycling.
STP	0	MT/A	Not Applicable

Part-G

Impact of the pollution Control measures taken on conservation of natural resources and consequently on the cost of production.

Description	Reduction in Water Consumption (M3/day)	Reduction in Fuel & Solvent Consumption (KL/day)	Reduction in Raw Material (Kg)	Reduction in Power Consumption (KWH)	Capital Investment(in Lacs)	Reduction in Maintenance(in Lacs)
--	0.000	0.000	0.000	0.000	0.00	0.000

Part-H

Additional measures/investment proposal for environmental protection abatement of pollution, prevention of pollution.

[A] Investment made during the period of Environmental Statement

Detail of measures for Environmental Protection

AMC for OWC, AMC for Environment Monitoring, AMC for STP, Environment Monitoring, Modification

Environmental Protection Measures

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Capital Investment (Lacks)

15.22

[B] Investment Proposed for next Year

Detail of measures for Environmental Protection

AMC for OWC, AMC for Environment Monitoring, AMC for STP, Environment Monitoring, Modification

Environmental Protection Measures

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Capital Investment (Lacks)

16.75

Part-I

Any other particulars for improving the quality of the environment.

Particulars

Residential Building is designed as Green building. The company maintains green belt around the site. The company maintains a safe and healthy environment within the premises. 6th service floor casting in Progress for commercial building. The Company maintains a safe and healthy environment within the premises. Total Water Consumption = 196.41 cmd out of which 135.85 cmd Fresh water and 60.56 cmd is Recycled water from STP Total Sewage Generation = 149.03 cmd Total Recycled Water = 60.56 c

Name & Designation

Mr. Vaibhav Samarth (AVP -Engineering)

UAN No:

MPCB-ENVIRONMENT_STATEMENT-0000057371

Submitted On:

12-09-2023