Varsha Kalange

From: Varsha Kalange
Sent: 27 May 2024 16:35

To: eccompliance-mh@gov.in; ec-rdw.cpcb@gov.in

Subject: EC Compliance for October 2023-March 2024 Of [M/s. K. Raheja Private Ltd.

proposed Residential Building & Commercial Building with Multi Storied Public

Parking Lot at Lower Parel, Worli, G/South Ward, Mumbai Maharashtra]

Attachments: EC Compliance Report Oct 2023 to Mar 2024.pdf

Respected Sir/Madam,

As per MoEF&CC notification vide No. SO 5845(E) Dated-26.11.2018 AND as informed by Central Pollution Control Board, Regional Directorate (West), Vadodara regarding digital transaction of EC Compliance report under Government of India initiatives for promoting e-office through digital transaction of activities, we are submitting herewith six-monthly EC compliance status report for period October 2023-March 2024 of proposed Residential Building & Commercial Building with Multi Storied Public Parking Lot at C.S. Nos. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 And 249 A, 248 B of Worli Estate Scheme No. 52, G/South Ward, Mumbai, Maharashtra by M/s. K. Raheja Private Ltd. in pdf format with signed and stamped by authorized signatory of the project.

Documents enclosed herewith are as listed below:

- 1. Cover letter
- 2. Datasheet
- 3. EC compliance status report
- 4. List of annexures
- 5. Documents as per list of annexures

Hope above is to your satisfaction.

Thanks & Regards, Varsha Yogesh Kalange



K. Raheja Private Limited



To,
The Chief Conservator of Forest,
Ministry of Environment, Forests & Climate
Regional Office (WCZ), Ground Floor, East Wing,
New Secretariat Building, Civil Lines, Nagpur- 440001

Sub: Submission of Six-Monthly Environmental Clearance Compliance Status Report for the period of October 2023 to March 2024.

Ref.: Environmental Clearance Letter granted for a Proposed Residential tower building, Multi Storied Public Parking Lot building, Office Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no 52, Worli Mumbai by MOEF vide Clearance Letter No.21-413/2006-IA.III Dated - 6th Feb 2007 & Amendment in Environmental Clearance by Environment Department, Government of Maharashtra vide clearance letter No. SEAC 2010/CR.323/TC.2 Dated: 22nd July 2011 & Dated 11th June 2014 & No. SEAC-2016/C.R.424/TC-1 Dated 12th May, 2017, Expansion in Environmental Clearance is granted vide letter SEIAA-EC-0000001926 dated 3rd August 2019 & letter No. SIA/MH/MIS/42830/2018 dated 31st March 2020 and Expansion in Environmental Clearance vide letter EC23B039MH123060 dated 26th May 2023.

Dear Sir,

With reference to the above, we are submitting six monthly Environmental Clearance Compliance Status Report for the months October 2023 to March 2024 along with the relevant document needed for the submission as mentioned below:

- Data sheet
- Compliance Status report
- Post Monitoring Report (October 2023 to March 2024)

Hope the above is in compliance with your requirement.

Thanking You, Yours faithfully, For M/s. K Raheja Private Ltd.

N. R. Mehtin

Nikhil Mehta

CC to:

• The Member Secretary, Maharashtra Pollution Control Board, 3rd Floor, Kalpataru Point, Sion, Mumbai– 400 022.

128/5/24

• Central Pollution Control Board, Parivesh Bhavan, Opp. VNC word office No. 10, Subhanpura, Vadodara.

Maharashtra Pollution Control Board Kalpataru Point, 2nd Floor, Sion Circle, Opp. Cine Planet, Sion (East), Mumbai - 400 022. Tel. 24010437 / 24020781.

Website: www.mpcb.gov.in

Your (Environment Clearance) application has been Submitted with following details		
Proposal No	SIA/MH/INFRA2/417166/2023	
Compliance ID	72081771	
Compliance Number(For Tracking)	EC/COMPLIANCE/72081771/2024	
Reporting Year	2024	
Reporting Period	01 Jun(01 Oct - 31 Mar)	
Submission Date	30-05-2024	
IRO Name	V Geroge Jenner	
IRO Email	tr025@ifs.nic.in	
State	MAHARASHTRA	
IRO Office Address	Integrated Regional Offices, Nagpur	
Note:- SMS and E-Mail has been sent to V Geroge Jenner, MAHARASHTRA with Notification to Project Proponent.		

K. Raheja Private Limited



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The Chief Conservator of Forest,
Ministry of Environment, Forests & Climate
Regional Office (WCZ), Ground Floor, East Wing,
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Datasheet

MONITORING THE IMPLEMENTATION OF ENVIRONMENTAL SAFEGUARDS

MINISTRY OF ENVIRONMENT & FORESTS REGIONAL OFFICE (W), NAGPUR Monitoring Report PART – I DATA SHEET

1.	Project type: River -Valley/ Mining/ Industry/ Thermal/ Nuclear/ other	:	1 /
	(specify)		(Residential & Commercial Building with PPL)
2.	Name of the project	200	Proposed Residential tower building, Multi Storied Public Parking Lot building, Office Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no 52, Worli Mumbai.
2	Classes as latter (a) (OM as a latter		
3.	Clearance letter (s)/OM no. and date	*	6 th February 2007
			• Amended letter SEAC 2010/CR.323/TC.2 dated 22 nd July 2011
	_		• Amended letter SEAC
			2010/CR.323/TC.2 dated 11 th June 2014
	-		Amendment letter SEAC- 2016/CR121/TC 1 dated 12th May 2017
			Expansion in Environmental Clearance vide letter SEIAA-EC-0000001926 dated 3rd August 2019
			Expansion in Environmental Clearance vide letter SIA/MH/MIS/42830/2018 dated 31st March 2020.
			Expansion in Environmental Clearance vide letter EC23B039MH123060 dated 26th May 2023.
4.	Location		
	(a) District	į	Mumbai
	(b) State	•	Maharashtra
	(c) Latitude / Longitude	•	19°00'29.13 N 72°49'17.70E
5.	(a) Address for correspondence		



		_	
	(b) Address of Executive Project Engineer/ Manager (with pin code / Fax)	3000	Mr. Nikhil Mehta M/s. K Raheja Private Ltd. Raheja Tower, Block 'G', Plot No. C-30, Bandra Kurla Complex, Bandra (E), Mumbai- 400051. Tel: 09167755350
6.	Salient Features		
	(a) Of the project	2	 Proposed Residential tower building, Multi Storied Public Parking Lot building, Office Building & Residential Building. Residential Tower: 2B+G+5 parking floors + stilt + 6 structural/service floors+ 3 fire check floors+ 46 habitable floors. The 5th parking floor above the public parking lot will be for residential parking. PPL: 2B+G+4 parking floors. Office building (wing A) -3B+ G + 10 office floors. Residential Bldg (Wing B) - Stilt + 6 habitable floors + part terrace + 4 upper office floors.
	(b) Of Environmental Management Plans	10 to	 Implementation of Rainwater harvesting. OWC is installed on site Fly Ash is proposed to be used in the Ready-Mix Concrete. Implementation of Sewage Treatment Plant. Development of Recreational Ground.
7.	Break-up of the project area		Plot Area: 20117.24 m ² FSI Area: 90,812.59 m ² Non- FSI area: 1,33,587.90 m ² Total BUA: 2,24,400.49 m ²
	(a) Submergence area: forest & non forest.	:	Nil
	(b) Others	:	The entire project area is non-agricultural land.
8.	Breakup of the project affected population with enumeration of those losing houses /dwelling units only, agricultural land only, both dwelling units & agricultural land & landless labourers /artisan.	•	Nil EJA A

Datasheet

	(a) SC, ST /Adivasis		Nil
	(b) Others	1	
		:	Nil
	(Please indicate whether these figures		
	are based on any scientific and		
	systematic survey carried out or only		
	provisional figures, if a survey is		
	carried out give details and years of		
	survey)		
9.	Financial details		
9.		2	Estimated Cost of Project De 070 Co.
	(a) Project cost as originally planned	3	Estimated Cost of Project- Rs. 979 Cr.
	and sub-sequent revised estimates		
	and the year of price reference.		Prim a
	(b) Allocation made for environmental		EMP Cost:
	management plans with item wise		Setting-up Cost-1431.5 Lakhs,
	and year wise break-up.		Operational Cost- 139.91 Lakhs.
			V
	(c) Benefit cost ratio/Internal rate of	ij	Yet to finalize
	Return and the year of assessment		Matamatical Line () ()
	(d) Whether (c) include the cost of	:	Not applicable since (c) is yet to finalize.
	environmental management as		
	shown in the above.		
	(e) Actual expenditure incurred on the	:	Rs. 880.17 Cr (Construction Cost)
	project so far		
	(f) Actual expenditure incurred on the		Rs. 3.97 Cr
	environmental management plans		
	so far		
10.	Forest land requirement.	:	The land is a non-forest land
	(a) The status of approval for	:	Not applicable
	diversion of forest land for non-		
	forestry use		
	(b) The status of clearing felling	÷	Not applicable
	(c) The status of compensatory	;	Not applicable
	afforestation, if any		
		*	Not applicable
	sustainability of compensatory		
	afforestation programme in the		
	light of actual field experience so		
	far		
11.	The status of clear felling in non-forest	<u>\$</u>	Nil
	areas (such as submergence area of		
	reservoir, approach roads), if any with		
	quantitative information		I .



Datasheet

12.	Status of construction. a) Date of commencement (Actual and		PPL-Handed over to BMC, (Deed of transfer dated 10.07.17) Residential Tower- Full Occupancy certificate up to 46th floors received. Residential B wing & Commercial Awing: RCC work completed, MEP & Finishes work in Progress Date of Commencement-02/03/2008
	/ or planned) b) Date of completion (Actual and/ or planned)	i	Planned Date of Completion -Aug'2024
13.	Reason for the delay if the project is yet to start.	;	Not applicable
14.	Dates of site visits (a) The dates on which the project was monitored by the Regional Office on previous occasions, if any (b) Date of site visit for this monitoring	•	Nil October 2023 – March 2024 (Environmental
15.	report Details of correspondence with project authorities for obtaining action plans / information on status of compliance to safeguards other than the routine letters for logistic support for site visits. The first monitoring report may contain the details of all the letters issued so far, but the later reports may cover only the letters issued subsequently.		Monitoring report is enclosed.) EC Letter No. 21-413/2006-IA.III dated 6th February 2007 Amended letter SEAC 2010/CR.323/TC.2 dated 22nd July 2011 Amended letter SEAC 2010/CR.323/TC.2 dated 11th June 2014 Amendment letter SEAC 2016/CR424/TC-1 dated 12th May 2017 Expansion in Environmental Clearance vide letter SEIAA-EC-0000001926 dated 3rd August 2019 Expansion in Environmental Clearance vide letter SIA/MH/MIS/42830/2018 dated 31st March 2020. Expansion in Environmental Clearance vide letter EC23B039MH123060 dated 26th May 2023.



HALF YEARLY COMPLIANCE STATUS REPORT October 2023 to March 2024

Ref	1. EC Letter no. 21-413/2006-IA.III Dated - 6th February 2007. Annexure II (A).		
	2. Amendment in Environmental Clearance granted vide letter no. SEAC 2010/		
	CR.323/TC.2 Dated: 22 nd July 2011 Annexure II (B) .		
	3. Amendment in Environmental Clearance is granted vide letter dated: 11th June		
	2014. Annexure II (C).		
	4. Amendment in Environmental Clearance is granted vide letter SEAC-		
	2016/C.R.424/TC-1 dated: 12 th May 2017. Annexure II (D).		
	5. Expansion in Environmental Clearance is granted vide letter SEIAA-EC-		
	0000001926 dated: 3 rd August 2019. Annexure II (E) .		
	6. Expansion in Environmental Clearance is granted vide letter		
	SIA/MH/MIS/42830/2018 dated 31 st March 2020. Annexure II (F).		
	7. Expansion in Environmental Clearance vide letter EC23B039MH123060 dated		
	26 th May 2023. Annexure (G).		
То	M/s. K Raheja Private Ltd.		
For	Proposed Residential tower building, Multi Storied Public Parking Lot building, Office		
	Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower		
	Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no 52, Worli		
	Mumbai.		
Status	PPL-Handed over to BMC, (Deed of transfer dated 10.07.17)		
	Residential Tower- Full OC up to 46th floor habitable floor & clubhouse		
	received, copy of Occupation Certificate is enclosed as Annexure III(A) &		
	Annexure III(B).		
	 Residential B wing & Commercial A Wing: : RCC work completed, MEP & 		
	Finishes work in Progress.		

SEA	C Conditions-	
Sr.	Condition	Compliance
No.		179
1.	PP to submit	Yes, approval from MCGM has been granted for
	IOD/IOA/Concession	Total Construction Area 224400.49 sq.m. (FSI
	Document/Plan Approval or any	area 90812.59 sq.m. + Non-FSI Area 133587.9
	other form of documents as	sq.m.)
	applicable clarifying its	
	conformity with local planning	Approved Plan is enclosed as Annexure IV.
	rules and provisions as per the	
	Circular dated 30.01.2014 issued	
	by the Environment Department,	
	Govt. of Maharashtra.	
2.	PP to obtain following NOCs &	Yes we have obtained HE Remarks on
	remarks as per amended	10.06.2022 and 24.01.2022 (Annexure V),



	planning: a)Water supply; b) Sewer connection; c) CFO NOC.	Drainage Completion Certificate (Residential tower) on 27.06.2019 (Annexure VI), Internal Drainage remarks (Wing A & Wing B) on 19.03.2020 (Annexure VII) and CFO NOC on 05.08.2022 (Annexure VIII). Copy of Civil Aviation NOC dated 08.07.2022 enclosed as Annexure (IX).
3.	PP to either explore to increase saving in energy up to 5% from renewable sources or submit registered equivalent/pro-rata green power purchase agreement.	We have submitted LOR to BEST to provide green power for commercial project with additional tariff as applicable. Since the project is under construction, a phase agreement with BEST cannot take place right now for Commercial A wing.
		25kWp Solar PV is installed in Residential Tower & 60kWp Solar PV is planned for Commercial A wing & Residential B wing.
4.	PP to provide 1.5 Mtr. RG strip all around the plot as per DCPR-2034 provisions & accordingly submit revised landscape layout.	1.5 m strip of RG will be provided in plot C. S. No. 1A/1629 as per approved plan. Photos showing 1.5 m strip of RG enclosed as Annexure X.
5.	PP to submit revised tree list by providing shrubs on podium instead of proposed trees; PP to count trees planted on ground only for calculation of nos. of trees to be planted as per norms & revise tree list accordingly.	Noted.
6.	PP to use advanced technologies for dust suppression in addition to sprinkling of water in construction phase & revisit the monetary provision for various activities in EMP of construction phase and submit revised EMP.	EMP Cost is estimated to be Rs. 1413 Lakhs as capital cost and Rs. 139.91 Lakhs per Annum of O & M cost. Cost of Dust suppressing machine is included in the EMP costing for the construction phase. Photograph of dust suppressing equipment employed in project enclosed as Annexure-XI



7.	PP to paid balance scrutiny fee as per government resolution dated 18/06/2018.	We have paid 20 lakhs dated 10.09.2018 and additional 10 Lakhs are now paid dated 18.04.2023 Transaction No. CMS1082350887429. The total scrutiny fees paid is 30 lakhs against the total project of Rs. 979 Cr
8.	PP to correct quantity of sewage generation & capacities of STPs provided earlier ECs obtained in 2018 & 2020 to the project.	In 31.03.2020 EC the Sewage generation was wrongly mentioned as STP capacity. We have requested Hon'ble authority to grant us EC with STP capacity i.e. Residential-160KLD, MPPL-10 KLD, Commercial Wing A & Residential wing B - 150 KLD
9.	PP to reduce discharge of treated water up to 35%; PP to submit undertaking from concerned authority/agency/third party for use of excess treated water generated in the project.	We are discharging only 30% of excess treated water. The project is achieving 30% by virtue of using the treated water in landscaping and flushing.
	B. SEIAA Conditions-	
Sr.	Condition	Compliance
No.	gonardon,	сотриансе
1.	This EC is restricted for residential building Wing B up to 24.00 m height only as per CFO	As per CFO NOC dated 5.08.2022, Residential B wing proposed till for 24 m
	NOC.	Office bldg. (Awing) floor area of 7th to 10th floor above Wing B is extended as per approved plan & CFO NOC
2.		floor above Wing B is extended as per approved

,		
		Since the project is under construction, a phase agreement with BEST cannot take place right now for Commercial A wing.
		25kWp Solar PV is installed in Residential Tower & 60kWp Solar PV is planned for Commercial A wing & Residential B wing.
4.	PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.	Noted.
5.	SEIAA after deliberation decided to grant EC for — FSI — 90812.59 133587.90 m2, Non FSI-	Noted.
	133587.90 m2, Total BUA- 224400.49 m2. (Plan approval No.EB/1105/GS/A/337/14/Ame nd, dated 10.01.2023) (Restricted	- 1
	as per approval)	
		A
	General Conditions:	
	Construction Phase :-	
Sr.	Condition	Compliance
No.		
I.	The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable	Solid waste generated within site during construction phase will be properly collected and segregated. Bins have been provided to dispose of the municipal solid waste generated from labour camps.
	material.	Please refer Annexure enclosed for Photographs of facilities provided for labours as Annexure XII.
II	Disposal of muck, Construction	The quantity of sub-stratum removed during
	spoils, including bituminous	excavation for building foundation is disposed
	material during construction	to backfill as per approval received from MCGM
	phase should not create any	& SWM. SWM NOC is enclosed as Annexure
	adverse effect on the	XIII.
	neighbouring communities and	
	be disposed taking the necessary	Proper debris management plan was in place
	precautions for general safety	during excavation.
		WE DA VII

	and health aspects of people, only in the approved sites with the approval of competent authority.	
ии.	Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.	No hazardous waste is generated at site till date and if generated will be disposed off as per MPCB norms. Hazardous Waste Returns for year 2022-2023 enclosed as Annexure XIV .
IV.	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.	Adequate drinking water facilities are provided for the workers at the site during the construction phase. Adequate numbers of toilets for Labour to maintain sanitary and hygienic measures are taken. Photographs of facilities provided for labours are enclosed as Annexure XII .
V.	Arrangement shall be made that wastewater and storm water do not get mixed.	The storm water collected through the storm water drains of adequate capacity will be discharged into the municipal storm line along the DP existing roads which is towards north. Separate drainage lines will be provided to prevent mixing of wastewater and storm water.
VI.	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.	The measures such as, use of ready-mix concrete, admixture is being used to reduce water demand during construction phase.
VII.	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.	There is no ground water source at the site. Hence, monitoring ground water is not possible.
17111	Downsignion to June 1	Matanaka II.
VIII.	Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to	Not applicable as tanker water / BMC water will be used during construction phase & operation Phase.
		West Will

	construction/operation of the	
-	project.	
IX.	Fixtures for showers, toilet	Yes, low flow rate fixtures and low flush W.C &
	flushing and drinking should be	urinals will be used during operation phase.
	of low flow either by use of	
	aerators or pressure reducing	
	devices or sensor-based control.	
X.	The Energy Conservation	Yes we will adhere to Energy Conservation
	Building code shall be strictly	Building code.
	adhered to.	Building code.
-	duncted to:	
XI.	All the tengel exercited during	Cinco these costs of the costs of the
AI.	All the topsoil excavated during	Since there was existing structure at site
	construction activities should be	therefore there is no fertile topsoil generated
	stored for use in horticulture /	from the project.
	landscape development within	
	the project site.	
XII.	Additional soil for levelling of the	Natural drainage pattern of site was maintained.
	proposed site shall be generated	Additional soil required to maintain site ground
	within the sites (to the extent	level was generated within site.
	possible) so that natural drainage	
	system of the area is protected	
	and improved.	
	*	
XIII.	Soil and ground water samples	Regular monitoring of soil is carried out at site.
	will be tested to ascertain that	roganar momeoring of son is curried out at site.
	there is no threat to ground water	Please refer to the Post Monitoring Reports
	quality by leaching of heavy	enclosed as Annexure I.
	metals and other toxic	enclosed as Almexul e 1.
	contaminants.	There is no ground water course at site
	contammants.	There is no ground water source at site.
XIV.	DD to strictly adhere to 11 11	Vec are will all to the little
AIV.	PP to strictly adhere to all the	Yes we will adhere to all the conditions
	conditions mentioned in	mentioned in Maharashtra (Urban Areas)
	Maharashtra (Urban Areas)	Protection and Preservation of Trees Act 1975.
	Protection and Preservation of	
	Trees Act 1975 as amended	
	during the validity of	
	Environment Clearance.	
	×	
XV.	The diesel generator sets to be	Yes, DG Set will be used only as power back up
	used during construction phase	& have provided with enclosure. The diesel
	should be low sulphur diesel type	generating set is of low Sulphur diesel type as
	and should conform to	

	Environments (Protection) Rules	per environments (Protection) Rules
	prescribed for air and noise	prescribed for air and noise emission standards.
	emission standards.	
XVI.	Vehicles hired for transportation	The vehicles hired for bringing construction
1202	of Raw material shall strictly	3 3
		material at site are thoroughly checked with a
	comply the emission norms	valid PUC certificate.
	prescribed by Ministry of Road	
	Transport & Highways	PUC register maintained at site. Photographs of
	Department. The vehicle shall be	PUC register is enclosed as Annexure XV .
	adequately covered to avoid	
	spillage/leakages.	
	-Farmer's and a second	
VIII	Ambient mains levels should	
XVII.	Ambient noise levels should	Quarterly Noise monitoring is done.
	conform to residential standards	Environmental monitoring report is enclosed
	both during day and night.	Annexure I.
	Incremental pollution loads on	4
	the ambient air and noise quality	
	should be closely monitored	
	during construction phase.	
	Adequate measures should be	
	_	
	made to reduce ambient air and	
	noise level during construction	
	phase, so as to conform to the	
	stipulated standards by C PC	
	В/МРСВ.	
XVIII	Diesel power generating sets	DG sets will be used as backup, care is taken that
	proposed as source of backup	adequate acoustic will be provided to prevent
	power for elevators and common	noise and should conform to rules made under
	0	the Environment (Protection) Act 1986,
	construction phase should be of	prescribed for air and noise emission standards.
	enclosed type and conform to	
	rules made under the	Operation Phase:
	Environment (Protection) Act,	• 2250 kVA X 1 Nos.
	1986. The height of stack of DG	• 1500 kVA X 2 Nos.
	sets should be equal to the height	
	needed for the combined capacity	DG of 500 KVA with acoustic enclosure provided
	of all proposed DG sets. Use low	in PPL.
	sulphur diesel is preferred. The	*** * * ***
	- ~	DC of 22E0 VVA vs 1 No social access
	location of the DG sets may be	DG of 2250 KVA x 1 No. with acoustic enclosure
	decided with in consultation with	provided for Residential Tower.
	Maharashtra Pollution Control	
	Board.	Photograph of DG Set installed at site are
		enclosed as Annexure XVI .

XIX.	Regular supervision of the above	Regular supervision of the above and other
	and other measures for	measures for monitoring is being ensured
	monitoring should be in place all	through company officials. Monitoring is carried
	through the construction phase,	out throughout construction phase to avoid
	so as to avoid disturbance to the	disturbance to the surroundings.
	surroundings by a separate	distarbance to the surroundings.
	environment cell /designated	
	person.	
	B) Operation phase:-	
Sr.	Condition	Compliance
No.	40-1-11-12-12-1	Compilation
I.	a) The solid waste generated	Disposal of Solid Waste -
	should be properly collected and	Dry waste & wet waste chute is provided in
	segregated. b) Wet waste should	Residential tower for waste segregation.
	be treated by Organic Waste	Residential tower for waste segregation.
		The call described as a line of the call described as a line o
	Converter and treated waste	The solid waste generated is properly collected,
	(manure) should be utilized in	segregated and stored separately in the Garbage
	the existing premises for	room.
	gardening. And no wet garbage	
	will be disposed outside the	Dry waste such as Cardboard, paper, plastic,
	premises. c) Dry/inert solid	glass is segregated and handed over to a
	waste should be disposed of to	recycler.
	the approved sites for land filling	
	after recovering recyclable	Non-Biodegradable wet waste Handed over to
	material.	Municipal Waste collector.
		Biodegradable wet waste is processed by using
		OWC.
		Photographs of OWC enclosed as Annexure
		XVII.
-	Paranta al II I V	mi i caraci
II.	E-waste shall be disposed	There is no generation of E-Waste, If any, will be
	through Authorized vendor as	disposed of through an authorized vendor. E-
	per E-waste (Management and	Waste Returns for the year 2022-2023 has been
	Handling) Rules, 2016.	submitted. Copy of the same is enclosed as
	I I	Annexure XVIII.
III.	a) The installation of the Sewage	Details of the STP are as under:
	Treatment Plant (STP) should be	
	certified by an independent	The wastewater will be treated to tertiary level
10.	expert and a report in this regard	and after treatment reused for flushing of toilets
	should be submitted to the MPCB	and gardening. There will be no discharge of

	1 72 4	
	and Environment department	treated water and if any, shall conform to the
	before the project is	norms and standards prescribed by
	commissioned for operation.	Maharashtra State Pollution Control Board.
	Treated effluent emanating from	STP of 160 KLD of SBR is provided in
	STP shall be recycled/ reused to	Residential Tower.
	the maximum extent possible.	STP of 10 KLD of MBBR is provided in PPL
	Treatment of 100% grey water by	
	decentralized treatment should	Photograph of STP installed at site is enclosed as
	be done. Necessary measures	Annexure XIX.
	should be made to mitigate the	
	odour problem from STP. b) PP to	
	give100 % treatment to sewage	
	/Liquid waste and explore the	
	possibility to recycle at least 50 %	
	of water, Local authority should	
	ensure this.	
	ensure this.	
IV.	Project proponent shall ensure	Vos all the facilities will be in the service
1.4	completion of STP, MSW disposal	Yes, all the facilities will be in place prior to
-	_	occupation of Office A & Residential B wing.
	facility, green belt development	amp 1/2/1
	prior to occupation of the	STP, MSW disposal facility, green belt
	buildings. As agreed during the	development in place for Residential Tower.
	SEIAA meeting, PP to explore	
	possibility of utilizing excess	Photographs of green belt development is
	treated water in the adjacent area	enclosed as Annexure XX .
	for gardening before discharging	
	it into sewer line No physical	
	occupation or allotment will be	
	given unless all above said	*
	environmental infrastructure is	
	installed and made functional	
	including water requirement.	
	-	
V.	The Occupancy Certificate shall	Yes, all the facilities will be in place prior to
	be issued by the Local Planning	application for OC. Copy of Occupation
	Authority to the project only	Certificate (Part) is enclosed as Annexure
	after ensuring sustained	III(A).
	availability of drinking water,	
	connectivity of sewer line to the	Copy of occupation cum building completion
	project site and proper disposal	certificate enclosed as Annexure III(B) .
		cer diffeate effetosed as Ailliexure III(b).
	of treated water as per environmental norms.	
	environmental norms.	
VI.	Traffic congestion near the auto-	The cite is aggregable from 10.20
V I.	Traffic congestion near the entry	The site is accessible from 18.30 mt. wide
	and exit points from the roads	Natvarya Baburao Pendarkar Marg on north
		IAPIN

EC Compliance Report

	adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.	side and 18.30 mt wide Sudam Kalu Ahire Marg on west side, both off Anne Besant Road. Parking is planned in such a way that there will not be any congestion issue. Parking will be fully internalized.
VII.	PP to provide adequate electric charging points for electric vehicles (EVs).	Yes we will provide adequate electric charging points for electric vehicles (EVs).
VIII.	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.	 A combination of native evergreen trees and ornamental flowering trees, shrubs and palms are planned in the complex. Nos. of trees to be planted: 291 Nos. Tree plantation is in progress Photographs of green belt development is enclosed as Annexure XX.
IX.	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.	Yes, a separate environmental management cell with qualified staff is in place.
X	Separate funds shall be allocated	Noted,
	for implementation of environmental protection measures/EMP along with itemwise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.	Expenditure incurred on the environmental management plans so far is 3.97 Cr.
XI.	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter informing that	Yes, we had published advertisement in two local newspapers, copy of same is enclosed as Annexure XXI.
	issue of this letter, informing that	
	the project has been accorded	(JA A)

dry.

	environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at parivesh.nic.in	
-	<u>parivesii.iiic.iii</u>	
XII.	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The	Yes, said condition is complied. Environmental Clearance is also uploaded on company webpage, refer link: environmental-clearance.pdf (krahejacorphomes.com)
	clearance letter shall also be put on the website of the Company by the proponent.	
XIII.	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM. SO2, NOx (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.	Yes, said condition is noted and will be complied with. Monitoring report along with EC compliance is uploaded on company webpage, refer link: https://www.krahejacorphomes.com/project/wp-content/uploads/download/artesia-apr23-oct23-compliance.pdf
	C) General EC Conditions:-	
Sr. No.	Condition	Compliance
I.	PP has to strictly abide by the conditions stipulated by SEAC& SEIAA.	
		I'M D.

II. If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department Ibefore start of any construction work at the site.

Consent to Establish & Operate obtained vide letter No. –

- 1. Consent No. BO/RO (P&P)/648 dated 28/09/2006. **Annexure XXII (A).**
- 2. Consent No. BO/RO(HQ)/CO/CAC-323 dated 28/02/2012. **Annexure XXII (B).**
- 3. BO/CAC-cell/CE (Reval)/CAC-1702000695 dated 14/02/2017. **Annexure XXII (C)**.
- 4. Consent to Establish for Expansion and amalgamation with existing consent to establish vide no. Format. 1.0/BO/CACcell/UAN No. 0000028220/CE(Exp) & Amalgamation/CAC-1808000657 dated 16.08.2018. Annexure XXII (D).
- 5. Consent to Establish for Expansion of Residential & commercial Bldg with PPL vide no. Format. 1.0/CAC-cell/UAN No. 0000076911/CE 1912000103 dated 04.12.2019. Annexure XXII (E).
- 6. 1st Consent to Operate (Part II) vide no. Format. 1.0/CAC-CELL/UAN No. 0000083236/CO-2007000074 dated 01.07.2020. Annexure XXII (F).
- 7. Consent to Establish Expansion vide no. Format. 1.0/CAC-CELL/UAN No. 0000092970/CE 2011000702 dated 11.11.2020. Annexure XXII (G).
- 8. Consent to Operate (Part) including BUA of existing Consent to Operate (Part-II) vide No. Format 1.0/CAC-CELL/UAN No.0000109931/CO-2111000812 dated. 22.11.2021. Annexure XXII (H).
- 9. We have obtained renewal of Consent to Operate (Part I) including BUA of existing Consent to Operate (Part-II) vide no. Format1.0/CAC-CELL/UAN No. 0000132222/ CR/2310000492 dated 08.10.2023. Annexure XXII (I).
- 10. We have obtained Consent to Establish for Expansion vide no. Format1.0/CAC-CELL/UAN No. 0000180774/ CE/2401001498 dated 11/01/2024.

 Annexure XXII (J).



EC Compliance Report

11. We have applied for Consection complete residential tow MPCB-CONSENT-0000197 05.02.2024. copy of enclosed as Annexure XX							
Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.	Yes, environmental clearance has been obtained.						
The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.	We are regularly submitting Six monthly compliance reports and monitoring data to the concerned authorities. artesia-ec-compliance-oct-2023.pdf (krahejacorphomes.com)						
The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.	Yes, latest Environmental Statement submitted for year 2022 – 2023 is enclosed as Annexure – XXIII and the same is uploaded on company webpage, refer link- Environment Statement (krahejacorphomes.com)						
No further Expansion or modifications, other than mentioned in the EIA Notification,	Noted & agreed.						
	Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail. No further Expansion or modifications, other than						

MUMBAI

	2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.	
VII.	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.	As the site is not within any radius as defined, hence NOC from Forestry & Wildlife angle including clearance from the standing committee of the National Board for Wildlife is not applicable for our project.
4.	The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.	Noted.
5.	This Environment Clearance is issued purely from an	Noted.

	environment point of view	
	without prejudice to any court	
	cases and all other applicable	I.
	permissions/ NOCs shall be	
	obtained before starting	
	proposed work at site.	
6.	In case of submission of false	Noted.
	document and non-compliance	
	of stipulated conditions,	
	Authority/ Environment	
	Department will revoke or	
	suspend the Environment	
	clearance without any	
	intimation and initiate	
	appropriate legal action under	
	Environmental Protection Act,	
	1986.	
7.	Validity of Environment	Noted.
	Clearance: The environmental	
	clearance accorded shall be valid	
	as per EIA Notification, 2006,	
	amended from time to time.	
8.	The above stimulating 111	N 1
0.	The above stipulations would be	Noted.
	enforced among others under the Water (Prevention and Control of	
	Pollution) Act, 1974, the Air	
	(Prevention and Control of	
	Pollution) Act, 1981, the	
	Environment (Protection) Act,	
	1986 and rules there under,	
	Hazardous Wastes (Management	
	and Handling) Rules, 1989 and its	
	amendments, the public Liability	
	Insurance Act, 1991 and its	
	amendments.	
9.	Any appeal against this	Noted.
	Environment clearance shall lie	
	with the National Green Tribunal	
	(Western Zone Bench, Pune), New	
	Administrative Building, 1st	
	Floor, D-Wing, Opposite Council	

MUMBAI

	EC	Com	pliance	Report
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Hall, Pune, if preferred, within 30	
days as prescribed under Section	
16 of the National Green Tribunal	
Act, 2010.	



LIST OF ANNEXURES

Sr. No.	Annexure	Details
1.	Annexure I	Post Monitoring Reports
2.	Annexure II	Environment Clearance Copies
3.	Annexure III	Occupation Certificate
4.	Annexure IV	Approved Layout Plan
5.	Annexure V	High Rise NOC
6.	Annexure VI	Drainage Completion Certificate
7.	Annexure VII	Internal Drainage remarks (Wing A & Wing B)
8.	Annexure VIII	CFO NOC
9.	Annexure IX	Civil Aviation NOC
10.	Annexure X	Photos showing 1.5 m strip of RG
11.	Annexure XI	Photograph of dust suppressing equipment employed in project
12.	Annexure XII	Photographs of Labour Colony
13.	Annexure XIII	SWM NOC
14.	Annexure XIV	Hazardous Waste Returns
15.	Annexure XV	PUC Register
16.	Annexure XVI	Photograph of DG Set
17.	Annexure XVII	Details & Photographs of OWC
18.	Annexure XVIII	E-Waste Return
19.	Annexure XIX	Photographs of STP
20.	Annexure XX	Photographs of trees plantation
21.	Annexure XXI	Advertisement copies
22.	Annexure XXII	Consent Copies / Consent Application
23.	Annexure XXIII	Environmental Statement



Testing Laboratory is certified by **ISO 9001:2015&ISO 45001:2018**Recognized by **MoEFCC** as **"Environmental Laboratory"** valid up to 24.04.2024 **Laboratory**: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel:9112844844, **CIN**: U74999MH2001PTC132091 UDYAM-MH-19-0029787



TC-7085

Test Report (Ambient Air)

Ref. No.: AESPL/LAB/C/ A-23/11/81 **Issue Date**: 25/11/2023

21021 2	Ren Hon Hebr by Endy G in 20 11 01							/ == = = = = =				
Name of	Customer & Contact	:	K. Rahe	eja	a Corp Pvt. Ltd. Plot C-30, Block G Oppo. SIDBI, BKC							
Details			Bandra	ĹΕ), Mumbai-400081.							
				-	-	Yadav, ⊘ 920751304. ⊠ <u>deepaklaly@kraheja.com</u>						
Name of	Site			_								
Name of	Site	•		KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli,								
			Mumba	-			nausi	iriai Estate, i	oabui au	P	enunarkar Ku, worn,	
D: : 1:	0.0						D 11					
	ie & Group	:		emical: Atmospheric Pollution								
	ion of Sample	:	Ambien									
	of Sampling	:	Near Ga									
Date of S		:	17/11/2								T = = = =	
Sampling		:	09:15 to					ation		:	08 Hr.	
Sample I	Orawn By	:	AESPL (ısulta	incy	Tran	sported By		:	AESPL Consultancy	
			Division								Division	
Date of Sample Receipt : 18/11			18/11/2	/11/2023 Sample Identification : A-23/11/81						A-23/11/81		
			SO ₂ :1 Bo	O ₂ :1 Bottle; NOx:1 Bottle; PM ₁₀ -1; Bladder:1.								
Date of S	ample Analysis	:	20/11/2	/11/2023 to 23/11/2023								
Sampling	g Environmental Condi	tio	ns	: Temperature:28-33°C; Rain fall: No; P _{bar} : 755 mmHg.								
Transpo	rtation Condition			:	Bot	* *		ders, charcoal tubes				
				5°C plastic container at ambient temp.								
	g Equipment			:	RDS-I-12 & FDS-12							
Calibrati	on Status			:	Calibration on 25/05/2023 due on 25/05/2024							
Project/	Job number			:	4800153955 dtd 28 Mar 2022							
Reference of Sampling				:	AESPL/LAB/QR/7.3.3/R-02							
Method of Sampling & Preservation			n	:	AESPL/LAB/SOP/7.3.1/A-01							
Environmental Condition while Testing			sting	:	Ter	nperatı	ıre:	27°C	1			
Sr. No.	Parameter		Result		Limit					of Analysis		
1.	Sulphur dioxide as SO ₂		30.54			80						
2.	Nitrogen dioxide as NO	2	51.0		80		μg/m³		_	(Part 6) RA2022		
3.	PM ₁₀		120.80			100		μg/m³			(Part 23) RA2022	
4.	PM _{2.5}		42.50			60		μg/m³		IS 5182 (Part 24) RA2022		
5.	Carbon monoxide as CO)	0.8		04 *	k*	mg/m ³	IS 518	2 ((part 10) RA2019		

[#] Specified under National Ambient Air Quality Standards by CPCB:

[*] 24 hourly monitoring values; [**] 1 hourly monitoring values.

Conformity Statement: The monitoring undertaken indicates that Ambient Air Quality Values for monitored parameters except PM_{10} are within the levels stipulated under National Ambient Air Quality Standards 2009.

Note:

- 1. The test report shall not be reproduced except in full, without written approval of laboratory.
- 2. Results relate only to the items tested.
- 3. Any query related to this report will be entertained within 15 days of the report issue date only.
- 4. The results apply to the sample as received.
- 5. Decision Rule is applied.



Anjan Pramanik (Authorized Signatory)



Testing Laboratory is certified by **ISO 9001:2015**& **ISO 45001:2018**Recognized by **MoEFCC** as **"Environmental Laboratory"** valid up to 24.04.2024 **Laboratory**: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel: 9112844844, **CIN**: U74999MH2001PTC132091 UDYAM-MH-19-0029787



Test Report (Stack Emission)

Ref. No.: AESPL/LAB/C/ ST- 23/11/55 **Issue Date:** 25/11/2023

Ref. No.: AESPL/LAB/C/ ST- 23/11/55		Issue Date: 25/11/2023						
Name of Customer & Contact Details	:	K. Raheja Corp Pvt. Ltd						
		Plot C-30, Block G Oppo. SIDBI, BKC Bandra(E),						
		Mumbai-400051						
		Mr. Deepaklal Yadav, Ø 9920751304						
N	-	☑ deepaklaly@kraheja.com						
Name of Site	:	KRPL# RESIDENTIAL BLDG., METAL BOX, WORLI,						
Discipline & Group	:	: Chemical: Atmospheric Pollution						
Description of sample	:	Stack Emission						
Sample Identification number	:	ST- 23/11/55						
Sample Quantity	:	SO ₂ :1Bottle; NOx:1 Bottle; Thimble-1.						
Date & Time of sampling	:	17/11/2023, 12:30-13:10 hr.						
Sampling Environmental Conditions	:	Temp.:32°C; Rain fall: No; Pbar: 755 mmHg.						
Transportation Condition	:	Bottles < Thimbles in Bladders at						
		5°C plastic container ambient tem						
Sample Monitored & Transported by	:	AESPL Consultancy Division						
Date of sample receipt	:	18/11/2023						
Date of sample analysis	:	20/11/2023 to 24/11/2023						
Sampling Equipment Used	:	ST-I-04						
Calibration status	:	22/02/2023 to 22/02/2024						
Project/ Job number	:	4800153955 dtd 28 Mar 2022						
Reference of sampling	:	AESPL/LAB/QR/7.3.3/R-02						
Method of sampling & preservation	:	AESPL/LAB/SOP/7.3.1/ST-01						
Environmental Condition while Testing	ŀ	Temperature: 27°C; RH-40%						
A. General Information About Stack:								
Stack Connected to		: DG-2250 KVA						
Emission due to		: Combustion of HSD						
Material of construction of stack		: MS						
Shape of stack	-	: Circular						
Whether stack is provided with permanent platf	orm	: Yes						
B. Physical Characteristics of Stack:								
Height of stack from ground level (m) Height of sampling point from ground level (m)		: 22						
Diameter of Stack at sampling point (m)		: 0.45						
Area of stack (m ²)		: 0.16						
C. Analysis/ Characteristic of Stack:		1 0.10						
Fuel used		: Diesel						
Fuel consumption (liter/hr.)		: 440						
Details of pollution control devices attached with	h th							



Testing Laboratory is certified by **ISO 9001:2015**& **ISO 45001:2018**Recognized by **MoEFCC** as "**Environmental Laboratory**" valid up to 24.04.2024 **Laboratory**: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel: 9112844844, **CIN**: U74999MH2001PTC132091 UDYAM-MH-19-0029787



Issue Date: 25/11/2023

Test Report (Stack Emission)

Ref. No.: AESPL/LAB/C/ST- 23/11/55

	11011 11201 2/ 2112/ 0/ 01 2 0/ 11/		19946 2466: 20/11/2020											
D. R	D. Result of Sampling & Analysis of Gaseous Emission:													
SL.	Parameter	Result	MPCB.	Unit	Method of analysis									
No.			Limits											
1.	Gas Temperature	105		°C	IS-11255, (part- 1,3) 2018-19									
2.	Gas velocity	13.11		m/s	IS-11255, (part- 1,3) 2018-19									
3.	Gas flow rate	10536		Nm³/hr.	IS-11255, (part- 1,3) 2018-19									
4.	Particulate Matter	46.78	75*	mg/Nm ³	IS-11255, (part- 1,3) 2018-19									
5.	Sulphur Dioxide (as SO ₂)	40.00		mg/Nm ³	IS-11255, (part-2) 2019									
6.	Sulphur Dioxide (as SO ₂)	10.12		Kg/day	IS-11255, (part-2) 2019									

(*) - (Emission Standards for Diesel Engines (Engine Rating more than 0.8 MW (800 KW) were notified by the Environment (Protection) Third Amendment Rules 2002, vide G.S.R. 489 (E), dated 9th July, 2002 at serial no. 96, under the Environment (Protection) Act, 1986.)

Conformity Statement: The monitoring undertaken indicates that Stack Air Quality Values for Monitoring parameter is within the levels stipulated as per MPCB Consent.

Note:

- 1. The test report shall not be reproduced except in full, without written approval of laboratory.
- 2. Results relate only to the items tested.
- 3. Any query related to this report will be entertained within 15 days of the report issue date only and the sample will also be retained for the same period.
- 4. Decision Rule is applied.





Anjan Pramanik (Authorized Signatory)



Testing Laboratory is certified by **ISO 9001:2015** & **ISO 45001:2018**Recognized by **MoEFCC** as "Environmental Laboratory" valid up to 24.04.2024 **Laboratory**: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel: 9112844844, **CIN**: U74999MH2001PTC132091 UDYAM-MH-19-00-29787



TC-708

Test Report (Noise)

Ref. No.: AESPL/LAB/C/N-23/11/47 **Issue Date:** 22/11/2023.

Name	of Customer &	:	K. Raheja Corp Pvt. Ltd												
Contact	Details		Plot C-3	30, Block G O	ppo. SIDBI, BK	C Band	dra	(E), Mur	nbai-400051						
			Mr. Deej	paklal Yadav,	9920751304; E-	-Mail: -	de	epaklaly@	<u>@kraheja.com</u>						
Name of	Site	:	KRPL# I	RESIDENTIAL	BLDG., METAL	BOX, W	OR	RLI,							
Disciplin	ne & Group		Chemica	ıl: Atmospher	ric Pollution										
	tion of Sample	:	DG Nois	DG Noise											
	n Details	:	DG 2250KVA												
	Sampling	:	17/11/2		Period of Sam	pling	:	DG Spot							
Start Tir	ne of Sampling	:	11.25Hr	•	End Time of	:	11.40Hı	ſ							
					Sampling										
Monitor	ed By	:		Consultancy	Transported l	By	:		Consultancy						
			Division			Division									
Date of l	Data Receipt	:	18/11/2	2023	Sample		:	N-23/1	1/47						
					Identification										
1		: Climate: Rainy Ambient Temp: 32°C													
	mental Condition	:													
	mental Condition ortation Condition	:	Noise Da	ata sheet is k	ept in folder and										
Transpo	ortation Condition	:	Noise Da	ata sheet is ke ith Noise met	er.										
Transpo Samplin	ortation Condition g Equipment	:	Noise Da along wi Noise m	ata sheet is ke ith Noise met eter - Centre	er. C-390 SL-I-10	safely	tra	nsported	to laboratory						
Transpo Samplin Calibrat	ortation Condition g Equipment ion Status	:	Noise Da along wi Noise m Calibrat	ata sheet is ke ith Noise met eter - Centre ed on 02/01/	er. C-390 SL-I-10 '2023; calibratio	safely	tra	nsported	to laboratory						
Samplin Calibrat Project/	g Equipment ion Status Job Number	:	Noise Da along wi Noise m Calibrate IND000	ata sheet is ko ith Noise met eter - Centre ed on 02/01/ 1627913 dtd	er. C-390 SL-I-10 (2023; calibratio 24Jan2023	safely	tra	nsported	to laboratory						
Samplin Calibrat Project/ Referen	g Equipment ion Status Job Number ce of Sampling	:	Noise Da along wi Noise m Calibrat IND000 AESPL/I	ata sheet is ke ith Noise met eter - Centre ed on 02/01/ 1627913 dtd LAB/QR/7.3.3	er. C-390 SL-I-10 (2023; calibratio 24Jan2023	safely	tra	nsported	to laboratory						
Samplin Calibrat Project/ Referen Method	g Equipment ion Status Job Number	: : : : : : : : : : : : : : : : : : : :	Noise Da along wi Noise m Calibrate IND000	ata sheet is ke ith Noise met eter - Centre ed on 02/01/ 1627913 dtd LAB/QR/7.3.3 RA:2017	er. C-390 SL-I-10 (2023; calibratio 24Jan2023 3/R-02	safely n due c	tra on (nsported 01/01/20	to laboratory						
Samplin Calibrat Project/ Referen Method	g Equipment ion Status / Job Number ce of Sampling of Sampling	:	Noise Da along wi Noise m Calibrat IND000 AESPL/I IS 4758	ata sheet is ke ith Noise met eter - Centre ed on 02/01/ 1627913 dtd LAB/QR/7.3.3 RA:2017	er. C-390 SL-I-10 (2023; calibratio 24Jan2023 3/R-02 und Pressure Le	n due c	tra on (nsported 01/01/20	to laboratory						
Samplin Calibrat Project/ Referen Method	g Equipment ion Status Job Number ce of Sampling	:	Noise Da along wi Noise m Calibrat IND000 AESPL/I IS 4758	ata sheet is ke ith Noise met eter - Centre ed on 02/01/ 1627913 dtd LAB/QR/7.3.3 RA:2017	er. C-390 SL-I-10 (2023; calibratio 24Jan2023 3/R-02	n due c	tra on (nsported 01/01/20	to laboratory						
Samplin Calibrat Project/ Referen Method	g Equipment ion Status / Job Number ce of Sampling of Sampling	:	Noise Da along wi Noise m Calibrat IND000 AESPL/I IS 4758	ata sheet is ke ith Noise met eter - Centre ed on 02/01/ 1627913 dtd LAB/QR/7.3.3 RA:2017	er. C-390 SL-I-10 (2023; calibratio 24Jan2023 3/R-02 und Pressure Le m away from D	n due c	tra on ())1/01/20	to laboratory						
Samplin Calibrat Project/ Referen Method Sr No.	g Equipment ion Status Job Number ce of Sampling of Sampling Location	:	Noise Da along wi Noise m Calibrat IND000 AESPL/I IS 4758	ata sheet is ke ith Noise met eter - Centre ed on 02/01/ 1627913 dtd LAB/QR/7.3.3 RA:2017 Sou ngs from 0.5	er. C-390 SL-I-10 Z2023; calibratio 24Jan2023 3/R-02 and Pressure Le m away from D South	n due c	tra on () Avg.	to laboratory 024 Difference						

Limits:

Insertion loss of 25dBA as per consent

Conformity Statement: The monitoring undertaken indicates that DG Noise Quality value for insertion loss is within consent limit.

Note:

- 1. The test report shall not be reproduced except in full, without written approval of laboratory.
- 2. Results relate only to the items tested.
- 3. DG set Sound Pressure Level measured at 0.5m from the enclosure.
- 4. Any query related to this report will be entertained within 15 days of the report issue date only.
- 5. Decision Rule is applied.



Anjan Pramanik. (Authorized Signatory)



Testing Laboratory is certified by **ISO 9001:2015& ISO 45001:2018**Recognized by **MoEFCC** as **"Environmental Laboratory"** valid up to 24.04.2024 **Laboratory**: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel: 9112844844, **CIN**: U74999MH2001PTC132091 **UDYAM**-MH-19-0029787



TC-7085

Test Report (Water)

Ref. No.: AESPL/LAB/C/W-23) / I	1/11/				issue	Date	2: 22/11/2023		
Name of Customer & Contact	:	K. Rah	eja	Corp	Pvt. Ltd					
Details		Plot C-	30,	Block	k G Oppo	. SIDBI, BKC Ba	ndra	a(E),		
		Mumb	ai-4	40005	51					
		Mr. Dee	epa	klal Ya	dav, 992	0751304				
		E-Mail:	- <u>d</u>	<u>eepak</u> l	laly@kra	<u>heja.com</u>				
Name of Site	:	KRPL#	KRPL# RESIDENTIAL BLDG., METAL BOX, WORLI,							
Nature of Sample	:	Drinkir	ıg v	vater	Locatio	n of Sample	:	HSBC Plot		
								labour colony		
Date of Sample Drawn	1:	17/11/	20	23	Time of	f Sample Drawn	:	2.10 pm		
Sample Drawn By	:	AESPL			Transp	orted By	:	AESPL		
		Consul	tan	су				Consultancy		
		Divisio	n					Division		
Date of Sample Receipt	:	18/11/		23 Sample Identification				W- 23/11/117		
Sample Quantity & Container	<u> </u>		F-1 lit; Plastic can.							
Date of Sample Analysis	20	023 to 20/11/2023								
Environmental Conditions at	е	:			rature: 25°C, Air					
						and surrounding				
Transportation Condition			:			rature: < 6°C, Col		orage.		
Project/ Job number			:							
Reference of Sampling			:	AESPL/LAB/QR/7.3.3/R-02						
Method of Sampling & Preser			:			SOP/7.3.1/W-01				
Environmental Condition wh	ile '		:	Ambient Temperature: 29.6°C and Humidity: 58%						
Sr. Parameter		Result				500:RA2018)	M	ethod of Analysis		
No.					eptable	Permissible				
1. Colour, Hazen		<5.0			Max	15 Max		3025(P-4) RA2021		
2. Turbidity, NTU		< 2.0			Max	5 Max		3025(P-10) RA2017		
3. pH@25°C		7.12			- 8.5	No relaxation		3025(P-11) 2022		
4. Residual Chlorine, mg/l		< 0.56			2 Min	1.0 Min		3025(P-26) RA2019		
5. Hardness as CaCO ₃ , mg/l		34			0 Max	600 Max		3025(P-21) RA2019		
6. Iron as Fe, mg/l		0.030) Max	No relaxation		3025(P-11) RA2019		
7. Chloride as Cl-, mg/l		11			0 Max	1000 Max		3025(P-53) RA2019		
8. Fluoride as F-, mg/l		0.32) Max	1.5 Max		3025(P-60) RA2019		
9. Odour		Agreeab	le	Agr	eeable	Agreeable	IS-3	3025(P-5) 2022		

Conformity Statement: Water sample is **pass** as per IS 10500:RA2018 w.r.t. above mentioned tests.

Note:

- 1. The test report shall not be reproduced except in full, without written approval of laboratory.
- 2. Results relate only to the items tested.
- 3. Any query related to this report will be entertained within 15 days of the report issue date only and the sample will also be retained for the same period.
- 4. Decision Rule is applied.



Reshma S. Patil (Authorized Signatory)



Testing Laboratory is certified by **ISO 9001:2015** & **ISO 45001:2018**Recognized by **MoEFCC** as **"Environmental Laboratory"** valid up to 24.04.2024 **Laboratory**: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel: 9112844844, **CIN**: U74999MH2001PTC132091, **UDYAM**-MH-19-00-29787



<u>Test Report</u> (Microbiology - Water)

Ref. No.: AESPL/LAB/B/Mw-23/11/147 **Issue Date:** 22/11/2023

Ref. No.: AESFL/LAD/D/MW-25/11/147 Issue Date: 22/11/2025												
Name Detai	e of Customer & Contact ls	:	Plot C-3 Mumba Mr. Dee	K. Raheja Corp Pvt. Ltd Plot C-30, Block G Oppo. SIDBI, BKC Bandra(E), Mumbai-400051 Mr. Deepaklal Yadav, 9920751304 E-Mail: - <u>deepaklaly@kraheja.com</u>								
Name	e of Site	:	KRPL#	KRPL# Residential Bldg., Metal Box, Worli,								
Natur	e of Sample	:	Drinkin	ıg v	vater		Location of Sample	:	Labour campus B-1			
Date	of Sample Drawn	:	17/11/	20	23		Time of Sample Drawn	:	02:10 Pm			
Samp	le Drawn By	:	AESPL Consultancy Division				Transported By	:	AESPL Consultancy Division			
Date	of Sample Receipt	:	18/11/	20	23	3 Sample Identification		:	Mw- 23/11/147			
Samp	le Quantity & Container	:	250 ml;	; Gl	lass bottle.							
Date	of Sample Analysis	:	18/11/	20	23 to 2	0/	11/2023					
Envir	onmental Conditions at s	ite		: Surrounding area is clean.								
Trans	sportation Condition			:	: Water Temperature: < 6°C, Cold storage.							
Proje	ct/ Job number			: 4800153955 dtd 28 Mar 2022								
Refer	ence of Sampling			:	AESP	L/I	LAB/QR/7.3.3/R-02					
Meth	od of Sampling <mark>& Prese</mark> rv	atio	on	:	AESP	L/l	LAB/SOP/7.3.1/M-01					
Envir	onmental Condition whil	е Т	esting	:	Ambi	en	t Temperature: 21.6°C and	Hur	midity: 54 %			
Sr. No.	Parameter, Unit		Resu	Result			Limits as per: IS 10500 RA 2018	Me	thod of Analysis			
1.	Coliform/100ml	I	Absent /1	100	ml		Absent /100ml	S:15185 : 2016				
2.	E-coli/100ml	A	Absent /1	100	ml		Absent/100ml IS:15185:2016					

Conformity Statement: Water sample is **Pass** as per IS 10500: RA2018 w. r. t. above mentioned tests.

Note:

- 1. The test report shall not be reproduced except in full, without written approval of laboratory.
- 2. Results relate only to the items tested.
- 3. The results apply to the sample as received



Pranali N. Patil (Authorized Signatory)



Testing Laboratory is certified by ISO 9001:2015 ISO 45001:2018 Recognized by MoEFCC as "Environmental Laboratory" valid up to 24.04.2024 Laboratory: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in Tel: 9112844844, CIN: U74999MH2001PTC132091 UDYAM-MH-19-00-29787



Test Report (Wastewater)

Ref. No.: AESPL/LAB/C/W-24/01/80 **Issue Date: 19/01/2024**

	1. NO.: AESPL/LAB/C/W-24	<u> / U -</u>					133UE Dai	ic.	19/01/2024			
Name	of Customer & Contact	:	K.RAHE	EJA	PVT.LT	D.						
Detail	ls		Raheja	Tov	ver, Plo	t No.C-30, Blo	ock G , Next to 1	Baı	nk of Baroda, BKC,			
			Bandra	(E)	,Mumba	ai-400051						
			Mr. Dee	epal	klal Yad	av, 99207513	304					
			E-Mail:	- <u>de</u>	epakla	ly@kraheja.co	<u>om</u>					
Name	of Site	:	KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle									
							•		Pendharkar Rd,			
				Worli, Mumbai-400025								
Natur	e of Sample	:	Sewage	Wa	ater	Location of	Sample	:	STP Inlet			
Date o	of Sample Drawn	:	10/01/	202	24		nple Drawn	:	3.30 pm			
Samp	le Drawn By	:	AESPL			Transporte	ed By	:	AESPL			
_			Consult	tano	CV	-			Consultancy			
			Division		,				Division			
Date o	of Sample Receipt	:	12/01/2024 Sample Ide				ntification	:	W-24/01/80			
-	le Quantity & Container	:			stic can				, ,			
	of Sample Analysis	:				/01/2024						
	onmental Conditions at site											
					Surrou	ınding was cl	ean.					
Trans	portation Condition			:	Water Temperature: < 6°C, Cold storage.							
	ct/ Job number			: 4800153955 dtd 28 Mar 2022								
Refer	ence of Sampling			: AESPL/LAB/QR/7.3.3/R-02								
Metho	od of Sampling & Preservatio	n		: AESPL/LAB/SOP/7.3.1/W-01								
Envir	onmental Condition while Te	esti	ng	:	Ambie	nt Temperati	ıre: 28.6°C and	d H	umidity: 52%			
Sr.	Parameter with Unit					Result	Me	ethod of analysis				
No.												
1.	pH@25°C					6.68	APHA-20	23	(4500H+-B)			
2.	Suspended Solids @103°C, m	g/l		ı		28	(2540-D)					
3.	Chemical Oxygen Demand, m	g/l		Ī		210	APHA-20	23	(5220-B)			
4.	Biochemical Oxygen Demand @ 27°C for 3 days, mg/l					75 IS-3025 (P-44) RA2019			14) RA2019			
5.	Total Ammoniacal Nitrogen a	ıs N	IH ₃ , mg/l		18 APHA-2023(4500NH ₃ -B&							
6.	Total Kjeldahl Nitrogen as N, mg/l					35 APHA-2023(4500N _{org} -0			(4500N _{org} -C)			

Note:

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- 2. Results relate only to the items tested.
- 3. Any query related to this report will be entertained within 15 days of the report issue date only and the sample will also be retained for the same period.



Reshma S. Patil (Authorized Signatory)



Testing Laboratory is certified by **ISO 9001:2015**& **ISO 45001:2018**Recognized by **MoEFCC** as **"Environmental Laboratory"** valid up to 24.04.2024 **Laboratory**: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel: 9112844844, **CIN**: U74999MH2001PTC132091 UDYAM-MH-19-00-29787



TC-7085

<u>Test Report</u> (Wastewater)

		<u> </u>					15540	Du	···	17/01/2024		
Name	of Customer & Contact	:	K.RAHI	EJA	PVT.LTI).						
Detail	ls		Raheja	Tov	ver, Plot	t No	o.C-30, Block G, Nex	kt to	Bar	nk of Baroda, BKC,		
			Bandra	(E)	,Mumba	i-4	00051					
			Mr. Dee	epal	klal Yada	av, '	9920751304					
							kraheja.com					
Name	of Site	:					BLDG. METAL BOX	. WO	RL	I. OPP Hind Cycle		
							Industrial Estate, B					
					nbai-400							
Natur	e of Sample	:	Sewage				cation of Sample		:	STP Outlet		
	of Sample Drawn	:	10/01/				me of Sample Dra	wn	:	3.25 pm		
	le Drawn By	:	AESPL				ansported By		:	AESPL		
			Consult	tano	.v		· · · · · · · · · · · · · · · · · · ·			Consultancy		
			Divisio		- 9					Division		
Date o	of Sample Receipt	:	12/01/		24	mple Identificatio	n	:	W-24/01/79			
	le Quantity & Container	:			stic can		F			21/01/19		
	of Sample Analysis	:		2/01/2024 to 17/01/2024								
	onmental Conditions at site			:			nperature: 25°C, Ai	r Tei	mp	erature: 30°C.		
							ing was clean.		1	,		
Trans	sportation Condition			:	Water	Ter	mperature: < 6°C, C	old s	tor	age.		
	ct/ Job number			:		53955 dtd 28 Mar 2022						
Refer	ence of Sampling			: AESPL/LAB/QR/7.3.3/R-02								
	od of Sampling & Preservatio			: AESPL/LAB/SOP/7.3.1/W-01								
Envir	onmental Condition while Te	sti	ng	:	Ambie	nt 7	Γemperature: 28.6°	C and	d H	umidity: 52%		
Sr.	Parameter			R	esult		MPCB		Method of analysis			
No.							Consent limits					
1.	pH@25°C			(5.55		5.5 to 9.0	AP	APHA-2023(4500H+-B)			
2.	Suspended Solids @103°C, m	g/l		١	8.0		< 20	API	HA-	-2023(2540-D)		
3.	Chemical Oxygen Demand, m	g/l			30		< 250	AP	HA.	-2023(5220-B)		
4.	Biochemical Oxygen Demand @ 27°C for 3 days, mg/l				9.6		< 30	IS-3025 (P-44) 2023		25 (P-44) 2023		
5.				<	0.56		< 5.0 APHA-2023 B&C)			-2023(4500NH ₃ -		
6.	Total Kjeldahl Nitrogen as N,	mg	:/l	<	0.56		< 10		_	-2023(4500N _{org} -C)		

Conformity Statement: Water sample is within permissible limits prescribed by MPCBw.r.t. above mentioned tests.

Note:

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- 2. Results relate only to the items tested.
- 3. Any query related to this report will be entertained within 15 days of the report issue date only and the sample will also be retained for the same period.



Reshma S. Patil (Authorized Signatory)



Testing Laboratory is certified by **ISO 9001:2015** & **ISO 45001:2018**Recognized by **MoEFCC** as **"Environmental Laboratory"** valid up to 24.04.2024 **Laboratory**: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel: 9112844844, **CIN**: U74999MH2001PTC132091, **UDYAM**-MH-19-00-29787



<u>Test Report</u> (Microbiology - Wastewater)

Ker. r	Ref. No.: AESPL/LAB/B/MW-24/01/98 Issue Date: 16/01/2024											
Name Detai	e of Customer & Contact ils		Raheja Bandra Mr. Dee	K.RAHEJA PVT.LTD. Raheja Tower, Plot No.C-30, Block G, Next to Bank of Baroda, BKC, Bandra (E),Mumbai-400051 Mr. Deepaklal Yadav, 9920751304 E-Mail: - deepaklaly@kraheja.com								
Name	e of Site	:	Compai	KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli, Mumbai-400025								
Natu	re of Sample	:	Sewage	Sewage water			cation of Sample	:	STP Outlet			
Date	of Sample Drawn	:	10/01/	20	24	Tin	ne of Sample Drawn	:	03:30 Pm			
Samp	ole Drawn By	:	AESPL Consultancy Division			Tra	ansported By	:	AESPL Consultancy Division			
Date	of Sample Receipt	:	12/01/	20	24	Sar	nple Identification	:	Mw- 24/01/98			
Samp	ole Quantity & Container	:	250 ml;	Gl	ass bottle	э.						
Date	of Sample Analysis	:	12/01/	20	24 to 13/	01/2	2024					
Envi	ronmental Conditions at si	ite		: Surrounding area is clean.								
Tran	sportation Condition			:	Water Temperature: < 6°C, Cold storage.							
Proje	ect/ Job number			:	480015	3955	5 dtd 28 Mar 2022					
Refe	rence of Sampling			:	AESPL/	LAB,	/QR/7.3.3/R-02					
Meth	od of Sampling & Preserva	atio	on		AESPL/	LAB	/SOP/7.3.1/M-01					
Envi	ronmental Condition while	e T	esting	:	Ambien	t Ter	nperature: 21.3°C an	d Hui	midity: 59 %			
Sr. No.	Parameter, Unit		R	esi	ult		Limits as per MPCB Consent	Me	thod of Analysis			
1.	Fecal Coliform MPN /100ml		12 MPN/100ml				100	АРН	A 24 TH Edi. 9221 E			

Conformity Statement: Water sample is **Pass** w. r. t. MPCB Consent limit.

Note:

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- 3. The results apply to the sample as received



Pranali N. Patil (Authorized Signatory)



Testing Laboratory is certified by **ISO 9001:2015&ISO 45001:2018**Recognized by **MoEFCC** as **"Environmental Laboratory"** valid up to 24.04.2024 **Laboratory**: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel:9112844844, **CIN**: U74999MH2001PTC132091 UDYAM-MH-19-0029787



TC-708

Test Report (Ambient Air)

Nama of	Customer & Contact	<u>.</u> ٔ	K. Raheja Corp Pvt. Ltd. Plot C-30, Block G Oppo. SIDBI, BKC										
	customer & contact	•		-	_				OCK G C	pp	00. SIDBI, BKC		
Details			Bandra	ı(E), Mt	ımbai-	4000)81.					
			Mr. Dee	pal	klal Y	adav, @	920	0751304. 🖾	<u>deepak</u>	<u>lal</u>	y@kraheja.com		
Name of	Site		KRPL#	RE:	SIDE	NTIAL	BLDG	G. METAL BO	X. WOR	LI.	OPP Hind Cycle		
											endharkar Rd, Worli,		
			Mumba					,			, , ,		
Disciplin	ie & Group	:		Chemical: Atmospheric Pollution									
	ion of Sample	:	Ambien										
	of Sampling	:	Near Ga	ite	no.1								
	ampling	:	23/02/	202	24								
Sampling		:	09:00 to			nr.	Dura	ation		:	08 Hr.		
Sample I	Drawn By	:	AESPL (Con	sulta	ncy	Tran	sported By		:	AESPL Consultancy		
			Division								Division		
Date of Sample Receipt : 24/02					24 Sample Identification : A-24/02/98						A-24/02/98		
Sample (Quantity & Container	:		ottl	e; NO)x:1 Bo	ttle; l	PM ₁₀ -1; Blad	der:1.				
Date of S	ample Analysis	••	26/02/	202	24 to	29/02	/2024	4					
Sampling	g Environmental Condi	tio	ns	: Temperature:28-34°C; Rain fall: No; P _{bar} : 755 mmHg.									
Transpo	rtation Condition			:	Bot	tles <	Fi	ilter papers i	n Bl	ad	ders, charcoal tubes		
					5°C		pl	lastic contair	ner at	an	nbient temp.		
Sampling	g Equipment			:	RDS	S-I-14 8	& FDS	S-10					
Calibrati	on Status			:	Cali	bratio	n on 2	25/05/2023	due on	25	5/05/2024		
Project/	Job number			:	480	01539	55 dt	td 28 Mar 20	22				
Reference	ce of Sampling			:	AES	SPL/LA	B/QF	R/7.3.3/R-02	2				
	of Sampling & Preserva			:)P/7.3.1/A-0					
Environr	nental Condition while	Te		:				erature: 27°0					
Sr. No.	Parameter		Res	ult		Limit		Unit	Meth	od	of Analysis		
1.	Sulphur dioxide as SO ₂		28.			80		μg/m³			(Part 2) RA2017		
2.	Nitrogen dioxide as NO	2	45.			80		μg/m³			(Part 6) RA2022		
3.	PM ₁₀		108			100		μg/m³		_	(Part 23) RA2022		
4.	PM _{2.5}			36.25		60 *		μg/m³			(Part 24) RA2022		
5.	Carbon monoxide as CO)	0.8	37		04 '	**	mg/m³	IS 518	32 ((part 10) RA2019		

[#] Specified under National Ambient Air Quality Standards by CPCB:

[*] 24 hourly monitoring values; [**] 1 hourly monitoring values.

Conformity Statement: The monitoring undertaken indicates that Ambient Air Quality Values for monitored parameters except PM_{10} are within the levels stipulated under National Ambient Air Quality Standards 2009.

Note:

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- 3. Any query related to this report will be entertained within 15 days of the report issue date only.
- 4. The results apply to the sample as received.



Reshma S. Patil. (Authorized Signatory)



Testing Laboratory is certified by **ISO 9001:2015** & **ISO 45001:2018**Recognized by **MoEFCC** as **"Environmental Laboratory"** valid up to 24.04.2024. **Laboratory**: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel: 9112844844, **CIN**: U74999MH2001PTC132091 UDYAM-MH-19-00-29787



TC-7085

Test Report (Noise)

Ref. No.: AESPL/LAB/C/N-24/02/86 **Issue Date:** 28/02/2024

11011110	100 11201 E/ E/ E/ 02/00 100 100 E/ E/ 02/02 1											
Name	e of Customer &	:	K. Raheja Corp Pvt. I	Ltd								
Conta	ct Details		Plot C-30, Block G O		BI, BKC Bandra	(E)	, Mumbai-400051					
			Mr. Deepaklal Yaday,				•					
			E-Mail: - deepaklaly@									
Name	of Site	:	KRPL# RESIDENTIAL			LI,						
Discip	pline & Group	:	Chemical: Atmospher									
	ription of Sample	:	Ambient Noise									
Locat	ion Details	:	At Periphery Of Site									
	of Sampling	:	23/02/2024		of Sampling	:	Spot					
Start	& End Time of	:	10.20 Hr 10.45Hr.	Start &	End Time of	:	20.05 Hr20.30Hr.					
Samp	ling (Daytime)			Sampli	ng (Nighttime)							
Monit	tored By	:	AESPL Consultancy	Transp	orted By	:	AESPL Consultancy					
			Division	ivision								
Date	of Data Receipt	:	24/02/2024	Sample	Identification		N-24/02/86					
Envir	onmental Condition	:	Climate: Clear		Ambient Temp: 28°C to 32°C							
	sportation	:	Noise Data sheet is k	ept in fol	der and safely to	an	sported to laboratory					
Condi	ition		along with Noise meter.									
	ling Equipment	:	Noise meter - Centre C-390 SL-I-01									
	ration Status	:	Calibrated on 28/11/2			27/	11/2024					
	ct/ Job Number	:	4800153955 dtd 28 M									
	ence of Sampling	:		/R-02								
	od of Sampling		IS 9989 RA:2020		W I D							
Sr.		Lo	cation		Noise Day Time	е	Noise Nighttime					
No.	N F : 000		DATE LATE CHOOL	0	dB(A)		dB(A)					
1.			P1 Level 1st Floor (HSB	C	64.3		53.4					
2.	PPL Main Security Ga	te			64.1		54.1					
3.	HSBC Plot				64.7		54.3					
4.	P-5 Level Artesia				61.8		51.8					
5.	Neelam Centre Corne				64.5		51.3					
6.	52-Chawl Corner-Sou	ıth	East-(HSBC P 64)		64.1		52.6					
7.	Ground Floor-North	Side	e		62.6		52.1					
8.	Near TV industrial (H	SB	C Plot)		61.3 53.6							
9.	Labour Colony (HSBC	Pl	ot)		62.5		54.0					
	Limit as per EP Act for Commercial area 65 60											

Conformity Statement: Noise Levels at all the locations are found to be below the stipulated limits. **Note:**

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- 2. Results relate only to the items tested.
- 3. Any query related to this report will be entertained within 15 days of the report issue date only and the sample will also be retained for the same period.



ADITYA ENVIRONMENTAL SERVICES PVT. LTD.



Testing Laboratory is certified by **ISO 9001:2015**& **ISO 45001:2018**Recognized by **MoEFCC** as **"Environmental Laboratory"** valid up to 24.04.2024 **Laboratory**: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel: 9112844844, **CIN**: U74999MH2001PTC132091 UDYAM-MH-19-00-29787



TC-7085

<u>Test Report</u> (Wastewater)

Sample Drawn By Consultancy Division Co		. NO.: AESPL/LAB/C/W-Z4	/ U2					issue D	au	: : 02/03/2024			
Bandra (E),Mumbai-400051 Mr. Deepaklal Yadav, 9920751304 E-Mail: - deepaklaly@kraheja.com KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli, Mumbai-400025 Nature of Sample Date of Sample Drawn Sample Drawn Sample Drawn By : AESPL	Name o	of Customer & Contact	:										
Mr. Deepaklal Yadav, 9920751304 E-Mail: - deepaklaly@kraheja.com Name of Site : KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli, Mumbai-400025 Nature of Sample : Sewage Water Location of Sample : STP Inlet Date of Sample Drawn : 23/02/2024 Time of Sample Drawn : 10.35 am Sample Drawn By : AESPL Transported By : AESPL Consultancy Division Date of Sample Receipt : 24/02/2024 Sample Identification : W-24/02/218 Sample Quantity & Container Date of Sample Analysis : 24/02/2024 to 29/02/2024 Environmental Conditions at site : Water Temperature: 25°C, Air Temperature: 30°C, Surrounding was clean.	Details			Raheja									
E-Mail: - deepaklaly@kraheja.com				Bandra	(E)	,Mumba	ai-400051						
STP Inlet				Mr. Dee	pak	klal Yad	av, 992075130)4					
STP Inlet				E-Mail:	- <u>de</u>	epakla	y@kraheja.coi	<u>m</u>					
Worli, Mumbai-400025 Nature of Sample : Sewage Water Location of Sample : STP Inlet	Name o	of Site	:	KRPL#									
Worli, Mumbai-400025 Nature of Sample : Sewage Water Location of Sample : STP Inlet				Compai	Company, Behind TV Industrial Estate, Baburao Pendharkar Rd,								
Date of Sample Drawn: 23/02/2024Time of Sample Drawn: 10.35 amSample Drawn By: AESPL Consultancy DivisionTransported By Consultancy Division: AESPL Consultancy DivisionDate of Sample Receipt: 24/02/2024Sample Identification: W-24/02/218Sample Quantity & Container: F-1lit, Plastic canDate of Sample Analysis: 24/02/2024 to 29/02/2024Environmental Conditions at site: Water Temperature: 25°C, Air Temperature: 30°C, Surrounding was clean.			Worli, Mumbai-400025										
Date of Sample Drawn: 23/02/2024Time of Sample Drawn: 10.35 amSample Drawn By: AESPL Consultancy DivisionTransported By Consultancy Division: AESPL Consultancy DivisionDate of Sample Receipt: 24/02/2024Sample Identification: W-24/02/218Sample Quantity & Container: F-1lit, Plastic canDate of Sample Analysis: 24/02/2024 to 29/02/2024Environmental Conditions at site: Water Temperature: 25°C, Air Temperature: 30°C, Surrounding was clean.	Nature	of Sample	:	Sewage					STP Inlet				
Sample Drawn By : AESPL Consultancy Division Date of Sample Receipt Sample Quantity & Container Date of Sample Analysis : 24/02/2024 Sample Identification : W-24/02/218 Environmental Conditions at site : Water Temperature: 25°C, Air Temperature: 30°C, Surrounding was clean.	Date of	Sample Drawn	:	23/02/	202	24			:	10.35 am			
Division Date of Sample Receipt Sample Quantity & Container Date of Sample Analysis Environmental Conditions at site Division	Sample	Drawn By	:				Transported	l By	:	AESPL			
Division Date of Sample Receipt Sample Quantity & Container Date of Sample Analysis Environmental Conditions at site Division	•	•		Consult	anc	CV	•			Consultancy			
Sample Quantity & Container:F-1lit, Plastic canDate of Sample Analysis:24/02/2024 to 29/02/2024Environmental Conditions at site:Water Temperature: 25°C, Air Temperature: 30°C, Surrounding was clean.						,							
Sample Quantity & Container:F-1lit, Plastic canDate of Sample Analysis:24/02/2024 to 29/02/2024Environmental Conditions at site:Water Temperature: 25°C, Air Temperature: 30°C, Surrounding was clean.	Date of	Sample Receipt	:			24	Sample Iden	tification	:				
Date of Sample Analysis: 24/02/2024 to 29/02/2024Environmental Conditions at site: Water Temperature: 25°C, Air Temperature: 30°C, Surrounding was clean.			:						·	, ,			
Environmental Conditions at site : Water Temperature: 25°C, Air Temperature: 30°C, Surrounding was clean.		· ·	_										
Surrounding was clean.								25°C, Air Tei	mp	erature: 30°C,			
									•				
	Transp	ortation Condition			:	Water	Temperature:	< 6°C, Cold s	tor	age.			
Project/ Job number : 4800153955 dtd 28 Mar 2022					: 4800153955 dtd 28 Mar 2022								
Reference of Sampling : AESPL/LAB/QR/7.3.3/R-02	Referer	nce of Sampling		: AESPL/LAB/QR/7.3.3/R-02									
Method of Sampling & Preservation : AESPL/LAB/SOP/7.3.1/W-01	Method	l of Sampling & Preservatio	n										
Environmental Condition while Testing : Ambient Temperature: 28.6°C and Humidity: 52%	Enviror	nmental Condition while Te	sti					lumidity: 52%					
Sr. Parameter with Unit Result Method of analysis	Sr.	Parameter with Unit					Result	Me	the	od of analysis			
No.	No.												
1. pH@25°C 6.89 APHA-2023(4500H+-B)	1.	рН@25°C					6.89	APHA-20	APHA-2023(4500H+-B)				
2. Suspended Solids @103°C, mg/l 32 APHA-2023(2540-D)	2.	Suspended Solids @103°C, m	g/l		32 APHA-2023(2540-D)				(2540-D)				
3. Chemical Oxygen Demand, mg/l 250 APHA-2023(5220-B)	3. Chemical Oxygen Demand, mg/l					250 APHA-2023(5			(5220-B)				
4. Biochemical Oxygen Demand 80 IS-3025 (P-44) RA2019 @ 27°C for 3 days, mg/l	70					80 IS-3025 (P-44) RA2019			14) RA2019				
5. Total Ammoniacal Nitrogen as NH ₃ , mg/l 11 APHA-2023(4500NH ₃ -B&C)			s N	IH ₃ , mg/l			11 APHA-2023(4500NH ₃ -B8			(4500NH ₃ -B&C)			
6. Total Kjeldahl Nitrogen as N, mg/l 24 APHA-2023(4500N _{org} -C)	6.	Total Kjeldahl Nitrogen as N,	mg	;/l		24		APHA-20	APHA-2023(4500N _{org} -C)				

Note:

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- 3. Any query related to this report will be entertained within 15 days of the report issue date only and the sample will also be retained for the same period.



Reshma S. Patil (Authorized Signatory)

-End of Test Report-

ADITYA ENVIRONMENTAL SERVICES PVT. LTD.



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Tel: 9112844844, **CIN**: U74999MH2001PTC132091 UDYAM-MH-19-00-29787



TC-7085

<u>Test Report</u> (Wastewater)

	21. 140 ALSI L/ LAD/ C/ W-Z+	<u> </u>	<u> </u>				15540		110	. 02/03/2024			
Name	of Customer & Contact	:	K.RAHI	ΞJΑ	PVT.LTD								
Detail	ls	Raheja Tower, Plot No.C-30, Block G, Next to Bank of Baroda, BKC,											
			Bandra (E),Mumbai-400051 Mr. Deepaklal Yadav, 9920751304										
			Mr. Dee	epal	klal Yada	v, 99207513	304						
						<u>/@kraheja.co</u>							
Name	of Site	:						WO.	RL	I, OPP Hind Cycle			
										Pendharkar Rd,			
					nbai-400								
Natur	e of Sample	:	Sewage			Location of	Sample		:	STP Outlet			
	of Sample Drawn	:	23/02/			Time of San		n	:	10.30 am			
	le Drawn By	:	AESPL			Transporte			:	AESPL			
	,		Consul	tano			· J			Consultancy			
			Divisio							Division			
Date o	of Sample Receipt	:	24/02/		24	Sample Ide	ntification		:	W-24/02/219			
	le Quantity & Container	:			stic can				-	1, 0=, - 1,			
	of Sample Analysis												
	onmental Conditions at site	<u> </u>	/ /	:			e: 25°C. Air	Ten	np	erature: 30°C,			
						nding was cl			Г	,			
Trans	sportation Condition			:	Water	Γemperature	e: < 6°C, Col	d st	tor	age.			
	ct/ Job number			:		3955 dtd 28							
Refer	ence of Sampling			:	AESPL/	LAB/QR/7.3	3.3/R-02						
	od of Sampling & Preservatio			:	AESPL/	LAB/SOP/7	.3.1/W-01						
Envir	onmental Condition while Te	esti	ng	:	Ambier	ıt Temperatı	ıre: 28.6°C	and	l H	umidity: 52%			
Sr.	Parameter			R	esult	MPO	СВ	Method of analysis					
No.						Consen	t limits						
1.	pH@25°C			6	5.86	5.5 to	9.0	APF	IA-	-2023(4500H+-B)			
2.	Suspended Solids @103°C, m	g/l			8.0	< 2	20	APHA-2023(2540-D)		·2023(2540-D)			
3.	3. Chemical Oxygen Demand, mg/l				50	< 2	50	APHA-2023(5220-B)		·2023(5220-B)			
4.	4. Biochemical Oxygen Demand @ 27°C for 3 days, mg/l				18	< 3	30	IS-3025 (P-44) 2023		5 (P-44) 2023			
5.	Total Ammoniacal Nitrogen a	is N	H ₃ ,	<	0.56	< 5			APHA-2023(4500NH ₃ - B&C)				
6.	Total Kjeldahl Nitrogen as N,	mg	/1	<	0.56	< 1		APHA-2023(4500N _{org} -C)		-2023(4500N _{org} -C)			

Conformity Statement: Water sample is within permissible limits prescribed by MPCBw.r.t. above mentioned tests.

Note:

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- 3. Any query related to this report will be entertained within 15 days of the report issue date only and the sample will also be retained for the same period.



Reshma S. Patil (Authorized Signatory)

-End of Test Report-

ADITYA ENVIRONMENTAL SERVICES PVT. LTD.



Testing Laboratory is certified by **ISO 9001:2015** & **ISO 45001:2018**Recognized by **MoEFCC** as **"Environmental Laboratory"** valid up to 24.04.2024 **Laboratory**: P-1, MIDC Mohopada, Rasayani, Dist. Raigad, 410222, E-mail: pglab@aespl.co.in
Tel: 9112844844, **CIN**: U74999MH2001PTC132091, **UDYAM**-MH-19-00-29787



<u>Test Report</u> (Microbiology - Wastewater)

Ref. No.: AESPL/LAB/B/Mw-24/02/204 **Issue Date:** 29/02/2024

Kel. N	. No. : AESPL/LAB/B/Mw-24/02/204 Issue Date: 29/02/2024										
Name Detail	of Customer & Contact ls	:	Raheja ' Bandra Mr. Dee	RAHEJA PVT.LTD. aheja Tower, Plot No.C-30, Block G , Next to Bank of Baroda, BKC, andra (E),Mumbai-400051 r. Deepaklal Yadav, 9920751304 -Mail: - <u>deepaklaly@kraheja.com</u>							
Name	of Site	:	Compar	KRPL# RESIDENTIAL BLDG. METAL BOX, WORLI, OPP Hind Cycle Company, Behind TV Industrial Estate, Baburao Pendharkar Rd, Worli, Mumbai-400025							
Natur	e of Sample	:	Sewage	Wa	ater	Lo	cation of Sample	:	STP Outlet		
Date	of Sample Drawn	:	23/02/	202	24	Ti	me of Sample Drawi	ı :	10:30 Am		
Samp	le Drawn By	:	AESPL Consult Division	Consultancy				AESPL Consultancy Division			
Date o	of Sample Receipt	:	24/02/	02/2024 Sample Identification : Mw- 24/02/204							
Samp	le Quantity & Container	:	250 ml;	50 ml; Glass bottle.							
Date o	of Sample Analysis	:	24/02/	202	24 to 26/0	02/	2024				
Envir	onmental Conditions at si	ite		:	Surroun	din	g area is clean.				
Trans	sportation Condition				Water T	'emp	perature: < 6°C, Cold :	storag	ge.		
Proje	ct/ Job number				4800153	395	5 dtd 28 Mar 2022				
Refer	ence of Sampling				AESPL/LAB/QR/7.3.3/R-02						
Metho	od of Sampling & Preserva	ati	on		AESPL/I	LAB	3/SOP/7.3.1/M-01				
Envir	onmental Condition while	e T	esting		Ambient	t Te	mperature: 22.2°C an	d Hur	nidity: 60 %		
Sr. No.	Parameter, Unit		R	esı	ult		Limits as per MPCB Consent	Me	thod of Analysis		
1.	Fecal Coliform MPN /100ml		47 MF	PN/	′100ml		100	APH.	A 24 ^{тн} Edi. 9221 E		

Conformity Statement: Water sample is **Pass** w. r. t. MPCB Consent limit.

Note:

- 1. The test report shall not be reproduced except in full, without written approval of laboratory.
- 2. Results relate only to the items tested.
- 3. The results apply to the sample as received



Pranali N. Patil (Authorized Signatory)

-End of Test Report-

ANNEXURE II A

By Speed Post

No. 21, 413/2006-1A.HI
Covernment of india
Ministry of (invironment & Forests
(IA Division)

Paryavaran Bhawau.! CGO Complex, Lodhi Road New Delhi-110003

Dated: February 6, 2007.

Te

Mr. Ravi Raheja, Director K. Raheja Pvt. Ltrf., Construction House, A 24th Rd. Khar (W), Mamba' 400052

Subject: Environmental clearance for the construction of residential complex on plot bearing survey no. 2/1629of Lower Parel division, Plot No. 249 & 249 A of World Scheme No. 52, G/South World, Mumbai by M/s K. Raheja Pvt. Ltd.

Sir

I am directed to refer to your application seeking prior environmental clearance for the above said project under the EIA Notification 1994 as amended on July 2004. The proposal has been appraised as per prescribed procedure on the basis of the mandatory decoments enclosed with the approach or viz., the Questionnaire, EtA, 1.MP, Public Hearing proceedings and the additional clarifications furnished in response to the observations of the Additional Expert Appraisal Committee (AFAC) constituted by the competent authority in its meeting held on December 15-16, 2006 and previsions under IAA Notification dated 14.9.2006.

- 2. The project proponent is setting up a residential complex on plot Learing survey no 2/1629 of Lower Parel division. Plot No. 249 & 249 A of Worli Scheme No. 52,G/South Ware, Mumbai. The proposal is for construction of 142 dwelling units in one residential building comprising of 2 levels podium plus stilts plus thirty five upper floors. The area of the plot is 14,638.91 sq. m. and built up area as indicated to be 42,094 m². The domestic water consumption is 117 m²-day and waste water generation as 90 m²/day. A sewage tratement plant will be provided to treat sewage. The solid waste generated (0.26/day) will be segregated and bio-dregrable waste will be composted by invessel composting technology after recovering recyclable material. The inert material will be dispused of for land filling.
- it is the that report submitted along with the application predicts that there will be insignificant impact on the ambient our quality during construction as well as openion phase. There will be minor negative impact near noise generation sources inside premises during construction phase. But there we'll be no significant impact on ambient noise levels at sensitive receptors out side the premises due to proper parking design and plantation. There will be positive impact a hydrology and natural drainage

due to adequate provision or storm water drainage. There will be minor regarive impact on water availability. However, there will not be any negative impact on the water quality. There will be significant positive impact on the aesthetic due to

agreasive landscaping.

4. The EAC after due consideration of the relevant documents submitted by the project proponent, responses to the public concerns expressed during the public hearing and additional clarifications furnished in response to its observations have recommended the grant of environmental clearance for the project mentioned above subject to compliance with the EMP and ether stipulated conditions. Accordingly, the Ministry needby accords necessary one commental chemical for the project subject to the strict compliance with the specific and general conditions mentioned below:

PART AS SPECIFIC CONDITIONS

Construction Phase

- All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.
- Soil and ground water samples will be tested to ascertain that there is no threat to groundwater quality by leaching of heavy metals and other toxic contuminants.
- A First Ard Room will be provided in the project both during construction and operation of the project.
- iv. Adequate drinking water and savitary facilities should be provided for construction workers at the site. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
- All the top soil excavated during construction activities should be stored for use in horticulture/landscape development within the project site.
- vi Disposal of muck including excavated material during construction phase should not create any adverse effect on the neighboring communities and be disposed off taking the necessary precautions for general safety and health aspects of people.
- vii. Use of diesel power generating sets during construction phase should be enclosed type to prevent noise and should conform to rules made under Environment (Protection) Act-1986, prescribed for air and noise emission standards.
- vin. Vehicles hired for bringing construction material at site should be in good condition and should conform to applicable air and noise emission standards.
- ix. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quarity should be closely monitored during construction phase.
- x. Construction spoils including bituminous material and other bazardous materials must not be allowed to contaminate watercourses and the dump sites for such material must be secured so that they should not leach into the ground water.

- xi. Regular supervision of the above and other measures should be in place all through the construction phase so as to avoid disturbance to the surroundings.
- vii. The movement of public and flow of traffic shall not be adversely affected due to dumping of effect excavated and or material, used in construction of the complex or public road.
- xiii. Roads, pavement and public places shall not be used for storing building material, parking of vehicles, installation of construction machinery and DG set etc.
- xiv During construction phase, arrangements shall be made to prevent spread of dust to surrounding areas.

II. Operation Phase

The environmental clearance recommended to the project is subject to the specific conditions as follows:

- i Adequate parking space shall be provided for cars and also for their movement at ground level
- 6. During hight time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.
- (ii) Oil & Grease trap shall be provided to remove oil and grease from the surface run off and suspended matter shall be removed in a settling tank before its utilization for rainwater harvesting.
- iv. The leachate from vormi-composting shall be treated in sewage treatment plant.
- The installation of sewage treatment plant (STP) should be certified by an independent expert for efficiency as well as adequacy and should submit a report in this regard to the Ministry before the project is commissioned for operation. The wastewater should be treated to tertiary level and after treatment reused for flushing of toilets and gardening. Discharge of treated sewage shall conform to the norms & standards prescribed by Maharashtra State Pollution Control Board.
- vi Water harvesting system and energy conservation measures like instablation of solar panels for lighting the areas outside the huilding should be integral part of the project design and should be in place before project commissioning
- vii Noise harmers should be provided at appropriate locations so as to ensure that the suise levels do not exceed the prescribed standards.
- Viri The solid waster should be properly collected & segregated. Wet garbage should be disposed by the vermi-culture composting method. The STP sludge shall be used as manufe.
- ix. Any hazardous waste inclinding biomedical waste should be disposed of as per applicable Rules & norms with necessary approvals of the Maharashtra State Pollinium Control Board.

- Diesel power generating sets proposed as source of back up power for infoand common area illumination should be of enclosed type and conform to Environment (Protection) Act Rules prescribed for air and noise emission standards as per CPCB guidelines. Exhausts should be discharged by stack, raised to 4 meters above the motion.
- xi The green belt design along the periphery of the plot shall achieve attenuation factor conforming to the day and night noise standards prescribed for residential land use. The upon spaces inside the plot should be suitably landscaped and covered with vegetation of indigenous variety.
- xii Incremental pollution hads on the ambient air quality, noise and water quality should be periodically monitored after commissioning of the project.
- Xiii The ground water levels and its quality should be monitoredregularly inconsultation with CentralGround Water Authority.
- xiv Adequate measure should be taken to avoid any traffic congestion near the entry and exit points from the roads adjoining the proposed project site.
- A Report on the energy conservation measures should be prepared incorporating details about building materials & technology, R & U factors etc and submitted to the Ministry in three months time.
- Evi. The values of R & U for the building envelope should meet the requirements of the hot & humal elimatic location. Details of the building envelope should be worked out and furnished in three months time.
- xvii Suitable insulation material should be provided in the roof structure to reduce the U value to about 0.35. Watts per squi per degree Configuade.
- sivili. The operation & maintenance of assets created shall be ensured by signing contract with suppliers of equipment/machinery/system etc. for atleast three years.

PART - B. GENERAL CONDITIONS

- The environmental safeguards contained in the ETA Report should be implemented in letter and spirit.
- ii) Provision should be stade for the supply of keroscale or cooking gas and pressure cooker to the laborers during construction phase.
- (iii) All the laborers to be engaged for construction works should be screened for health and adequately treated before the issue of work permits.
- 6 monthly monitoring reports should be submitted to the Ministry and its Regional Office.
- 5. Officials from the Regional Office of MOEF, Bhopal who would be monitoring the implementation of environmental sufeguards should be given full cooperation, facilities and engagements / data by the project proponents during their

inspection. A complete set of all the documents submitted to MoEF should be forwarded to the CCF, Regional office of MOEF, Bhopal.

6. In the case of any change(s) in the scope of the project, the project would require

a Gosh appraisal by this Ministry.

7. The Ministry reserves the right to add additional safeguard measures a subsequently, if found necessary, and to take action including revoking of the environment elearance under the provisions of the Environment (Protection) Act, 1986, to crisure effective implementation of the suggested safeguard measures in a time bound and satisfactory manner.

8. All other statutory clearances such as the approvals for storage of diesel from Chief Controller of Explosives, Tire Department, Civil Aviation Department (if required), CRZ Regulations, State Forests Department etc. shall be obtained by

project proponents from the competent amborities.

 A copy of the environmental clearance letter would be marked to the local NGO(s), if any, from whom suggestion/representation were received at the time of making beautiful.

public hearing.

10. The project proponent should advertise in at least two local Newspapers widely circulated in the region, one of which shall be in the vernacular language informing that the project has been necorded environmental clearance and copies of clearance letters are available with the Maharashtia State Pollution Control Board and may also be seen on the website of the Ministry of Environment and Forests at http://www.envfor.nic.in. The advertisement should be made within 7 days from the day of issue of the clearance letter and a copy of the same should be forwarded to the Regional office of this Ministry at Bhopal.

11. These stipulations would be enforced among others under the provisions of the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and control of Pollution) act 1981, the Environment (Protection) Act, 1986 and the Public

Lanbility (Insurance) Act. 1991.

Klillag

(K.C.RATHORE)
Additional Director (IA)
rathore27@yahoo.com
Tek: 24360789

Copy to: -

 The Secretary, Department of Environment, Government of Maharashtra. New Administrative Building, 15th Floor, Opp. Mantralays, Murchai.

 The Member Secretary, Maharashtra State Pollulian Control Board, Kalptaro Point, 3rd Floor, Near Sion Circle Opp. Cine Planet Cinema, Sion(E), Mumbai.

3. The CCF, Regional Office, Ministry of Environment & Forests, Bhopal.

4. IA - Division, MOEF, New Delhi - 110001.

Guard file

(K.C.RATHORE)
Additional Director (IA)

File No.: SEAC 2010/CR.323/TC.2 Environment department, Room No. 217, 2nd floor, Mantralaya Annexe, Mumbai 400 032 Date: 22nd July, 2011

M/s K. Raheja Private Ltd Construction house, "A", 24th Road, Khar (W), Mumbai - 400 052 Tel: 91-22-26002177

Fax: 91-22-26005264

E mail: krahejacorp@vsnl.com

Subject: - Proposed Composite Building with Residential Wing and a Municipal Public Parking Lot" at Lower Parel Division, G/S Ward, Worli, Mumbai by M/s K. Raheja Private Ltd. - Environmental clearance regarding.

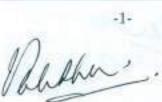
Sir.

This has reference to your communication dated 26th February, 2010 on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee, Maharashtra in its 32nd, 37th & 40th meetings and decided to recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its 36th Meeting held on 28th March, 2011.

It is noted that the proposal is for grant of Environmental Clearance for Proposed Composite Building with Residential Wing and a Municipal Public Parking Lot" at Lower Parel Division, G/S Ward, Worli, Mumbai by M/s K. Raheja Private Ltd. SEAC considered the project under screening category 8 (a) as per EIA Notification 2006.

Brief Information of the project is summarized as below-

Name of the Project	:	"Proposed Composite Building with Residential Wing and a Municipal Public Parking Lot"
Project Proponent	1	M/s K. Raheja Private Ltd
Location of the project		C.S. No. 2/1629 of Lower Parel Division, Plot No. 249 & 249A of Worli Scheme No. 52, G/S ward, Mumbai.
Type of Project	1	Construction Project
Total Plot Area	1	14,638.91 Sq. m.
Proposed Total built up area	12	Construction area of Residential building: As per FSI: 29,435.93 sq. m. Non FSI area 57,403.74 sq. m. Total Construction area of residential building: 86,839.67 sq. m.
Ag.		Construction area of MCGM Parking lot: 33,289.50 sq. m.



Estimated cost of the project	3	₹ 496.82 Crores
No. of Buildings		One (Composite Building of Residential Wing and Municipal Public Parking Lot)
Maximum height of building		Residential Building - 195.00 mts Municipal Public Parking Lot - 28.95 mts

Water Requirement:

Residential Wing: Fresh water: 111 KLD, Recycled water: 73 KLD

Source: MCGM/STP

Wastewater generated: 81 KLD. Waste water generated form the proposed project will be treated

by sewage treatment plant Capacity of STP: 90 KLD

Treated wastewater will be utilized on site for landscaping and flushing. Excess treated water will be discharge to municipal sewer line.

Public Parking Lot Unit:

Total water requirement = 9.5 m³/day

Total sewage = $7.20 \text{ m}^3/\text{day}$

STP Capacity = 10.00 m³/day

The treated water from the STP will be used for flushing in the said building and necessary arrangements will be made during construction.

Rain Water Harvesting (RWH)

- 2 Nos. of Tanks with 50 m³/day capacity will be provided for roof water collection. This
 will be equal to 1.5 day's fresh water requirement.
- 22 Nos. of Rain Water Harvesting pits of 1.5 mts dia. x 8.0 mts deep will be provided.

Storm water drainage

 Natural water drainage pattern: There is no water drain/natural nallah passing through the plot. Hence the development will not affect the natural drainage system

Solid Waste Generation:

229.5 Kg/day (@ 425g/ person) of solid waste will be generated from the proposed building. The waste is proposed to be segregated right at the site in separate bins so that biodegradable and non-biodegradable wastes are separated. Recyclable materials from non-biodegradable waste will be disposed by selling the same to the scrap dealers. The remaining inert waste along with biodegradable waste is proposed to be disposed off through the Municipal Solid Waste Department of the Municipal Corporation of Greater Mumbai.

Energy:

Total Connected Load: 5015.69 KW (for 108 Flats, Common Services and Residential Parking lots). Max Demand = 2690.54 KW

2 DG sets of 1010 KVA each will be provided for Residential Building as follows:

- 1 D.G set for common area lighting, Lift lobby, entrance lobby, external lighting and other common services like Fire Fighting services, lift, and water pump.
- 1 D.G set for emergency light and fan provision in each flat.

In addition 1 D.G set of 200 KVA DG Set to be provided for the Public Parking Lot.

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Energy Conservation:

- Energy efficient fluorescent LED Tube Lights & CFL lamps are proposed whereby approx. 30% more light output is likely to be achieved for the same watts consumed and therefore reducing the power consumption and thereby reducing the need to provide more fixtures and wiring.
- All fluorescent light fixtures are planned with electronic chokes, to provide less wattageloss, compared to electromagnetic chokes, resulting in superior operating power factor and to improve the life of the fluorescent lamps.
- The UPS is proposed with high input power factor (close to unity) so that input KVA is restricted.
- UPS system is proposed with harmonic distortion restricted to less than 5% compared to far greater than 10% in many conventional UPS systems.
- Bus bars in all distribution panels are specified as copper bus bars to reduce losses and improve reliability.
- Copper conductor cables will be specified for sizes of 16 Sq.m and below, this will reduce losses and improve reliability. All cables will be de-rated to avoid heating during use to indirectly reduce losses and improve reliability.
- Variable frequency drives will be incorporated on motor feeders accordingly to viability, which will save considerable energy.
- Power factor of the complete electrical system will be maintained close to unity. This will reduce electrical power distribution losses.
- An APFC relay based on thyrister switching will be proposed to effect the power factor correction / improvement within a few cycles of deviation from the setting & also to reduce inrush currents.
- Solar operated pole lights will be proposed to power pathway lights at a few strategic locations.
- Presence sensors & daylight sensors will be provided where ever feasible. If not possible centralized control point is provided from which security or using Daily timer switching of light is scheduled to optimum level.
- Water Pumps are planned to be integrated with level controllers to minimized water loss due to over flow

Green Belt Development: Total R.G Area Provided - 3,573.50 Sq. mts

Area of R.G (Additional) on Ground - 1,930.50

35 nos. of trees are existing at the site, and all the trees are proposed to be retained. In addition 183 nos. of trees are proposed to be planted to improve the environment in the site. On completion of the project 218 nos. of tress are planned on site as required under the MCGM norms.

Traffic Management: The Car parking for Residential Wing proposed is 279 nos. Built up Area for Car Park for Residential Wing - 10,845.90 sq.mts

Environmental Management Plan:

Construction Phase: Total capital cost for EMP shall ₹ 0.50 Lac Lakhs and O & M for EMP shall be ₹ 47.00 Lac lakhs;

Operation Phase: Total capital cost for EMP shall ₹ 11.0 Lac Lakhs and O & M for EMP shall be ₹ 7.00 Lac lakhs

3. The proposal has been considered by SEIAA in its 36th meeting & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions:-

Mucha:

(i) This environmental clearance is issued subject to land use verification. Loc authority / planning authority should ensure this with request to Rules, Regulations Notifications, Government Resolutions, Circulars, etc. issued if any. This environmental clearance issued with respect to the environmental consideration and it does not mean that State Level Impact Assessment Authority (SEIAA) approved the proposed land use.

The proposed height of the building requires NOC from High Rise Committee (HRC). If there is any change in the plans suggested by HRC, Project proponent

should approach SEIAA with corrected building plans.

(iii) Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.

- (iv) The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. ULB should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
- (v) "Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.

(vi) All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.

- (vii) Provision shall be made for the housing of construction labour within the site with all necessary infrastructure and facilities such as fuel for cooking, mobile toilets, mobile STP, safe drinking water, medical health care, crèche and First Aid Room etc.
- (viii) Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
- (ix) The solid waste generated should be properly collected and segregated, dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material
- (x) Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
- (xi) Arrangement shall be made that waste water and storm water do not get mixed.
- (xii) All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- (xiii) Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- (xiv) Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
- (xv) Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
- (xvi) Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.

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- (xvii) Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.
- (xviii) Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
- (xix) The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- (XX) The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.
- (xxi) Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during nonpeak hours.
- (xxii) Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- (xxiii) Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).
- (xxiv) Ready mixed concrete must be used in building construction.
- (xxv) The approval of competent authority shall be obtained for structural safety of the buildings due to any possible earthquake, adequacy of fire fighting equipments etc. as per National Building Code including measures from lighting.
- (xxvi) Storm water control and its re-use as per CGWB and BIS standards for various applications.
- (xxvii) Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
- (xxviii)The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- (xxix) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the Ministry before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Treatment of 100% gray water by decentralized treatment should be done. Discharge of unused treated affluent shall conform to the norms and standards of the Maharashtra Pollution Control Board. Necessary measures should be made to mitigate the odour problem from STP.
- (xxx) Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
- (xxxi) Permission to draw ground water shall be obtained from the competent Authority prior to construction/operation of the project.
- (xxxii) Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.
- (xxxiii)Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.

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- (xxxiv)Use of glass may be reduced up to 40% to reduce the electricity consumption a load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.
- (xxxv) Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement
- xxxvi)Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non conventional energy source as source of energy.
- xxxvii) Diesel power generating sets proposed as source of back up power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- xxxviii) Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.
- xxxix)Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
- xI) Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspirational for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement
 - The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation
- xlii) Regular supervision of the above and other measures for monitoring should be in place all, through the construction phase, so as to avoid disturbance to the surroundings.
- xliii) Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
- xliv) Six monthly monitoring reports should be submitted to the Department and MPCB.
- A complete set of all the documents submitted to Department should be forwarded to the MPCB
- xlvi) In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
- xlvii) No land development / construction work preliminary or otherwise relating to the project shall be taken up without obtaining due clearance from respective authorities.
- xlviii) A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
- Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.

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(1) The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://envis.maharashtra.gov.in.

(li) Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.

(lii) A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.

(liii) The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO₂, NOx (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.

(liv) The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.

(Iv) The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.

- 4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
- This environmental clearance is issued as per EIA Notification, 2006. If any part of the
 plot is affected by CRZ then project proponent should obtain NOC from MCZMA as per
 FSI applicability. If there is change in building plan accordingly, project proponent should
 approach SEIAA with corrected plans.
- In case of submission of false document and non compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environmental Clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
- The Environment department reserves the right to add any stringent condition or to revoke
 the clearance if conditions stipulated are not implemented to the satisfaction of the
 department or for that matter, for any other administrative reason.

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- Validity of Environment Clearance: The environmental clearance accorded shall be valid for a period of 5 years.
- In case of any deviation or alteration in the project proposed from those submitted to this
 department for clearance, a fresh reference should be made to the department to assess the
 adequacy of the condition(s) imposed and to incorporate additional environmental
 protection measures required, if any.
- 10. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.
- 11. Any appeal against this environmental clearance shall lie with the National Green Tribunal, Van Vigyan Bhawan, Sec- 5, R.K. Puram, New Dehli – 110 022, if preferred, within 60 days as prescribed under Section 35 of the National Green Tribunal Act, 2010.

(Valsa R Nair Singh) Secretary, Environment department & MS, SEIAA

Copy to:

- Shri. Ashok Basak, IAS (Retd.), Chairman, SEIAA, 502, Charleville, 'A' Road, Church gate, Mumbai- 400 020, Maharashtra.
- Shri. P.M.A Hakeem, IAS (Retd.), Chairman, SEAC, 'Jugnu' Kottaram Road, Calicut- 673 006 Kerla.
- Additional Secretary, MOEF, 'Paryavaran Bhawan' CGO Complex, Lodhi Road, New Delhi – 110510
- Member Secretary, Maharashtra Pollution Control Board, with request to display a copy of the clearance.
- The CCF, Regional Office, Ministry of Environment and Forest (Regional Office, Western Region, Kendriya Paryavaran Bhavan, Link Road No- 3, E-5, Ravi-Shankar Nagar, Bhopal- 462 016). (MP).
- 6. Regional Office, MPCB, Mumbai.
- Collector, Mumbai.
- 8. Commissioner, Brihan Mumbai Municipal Corporation.
- IA- Division, Monitoring Cell, MoEF, Paryavaran Bhavan, CGO Complex, Lodhi Road, New Delhi-110003.
- 10. Director (TC-1), Dy. Secretary (TC-2), Scientist-1, Environment Department.
- 11. Select file (TC-3).

SFAC-2010/CR-323 TC-2 Environment department. Roam No. 217, 2nd floot. Mantralaya Annexe. Mumhar 400 032 Date: 11th June. 2014

To, Mis K. Raheja Pyt Lid Plot. No. C 30, Block TG! Next to Bank of Baroda, BKC, Bundtu (3), Mumbai- 400 051

Subject: - Amendment in Proposed Residential building and Multi storied Public Parking Lot Building at plot bearing C.S. No. 2/1629 of Lower Parel Division, Plot No. 249 & 249A of worli ,Mumbai by M/s. K. Raheja Pvt. Ltd

Reference- Even number onvironment elemence letter dated 23th July, 2011

Sir.

This has reference to your communication on the above mentioned subject.

2. It is noted that, the proposal earlier considered by SEAC in its \$2°4, 37° & 40° meetings and recommended to SEIAA. SEIAA in its \$6° meeting decided to accord grant of EC to the project. Accordingly EC has been issued to the project vide letter to SEAC-2016-CR-323/TC-2 dated \$72° billy. 2014. The amendment proposed in the EC letter is due to aggregate consumetion area of the project proposed to increase by 8.2 %. This is on accord of provision of the mandatory requirements of the authorities relating to the structural requirements, services floors, fire check floors. Considering the manginal changes and minimal impact on environment SEIAA in its 70° meeting decided to grant the amendment of EC as below-

Environmental granted 22 nd July	on	Now prop	posed	Remarks
Residential Wing	MPPI.	Residential Wing	MPPL	

Plot area	14638.91 8	q. Mts	(4638.91 8	Sq. Mts	No change
Permissible Built Up Area	29,435,93 Sq. Mts.	-	30.590.03 Sq. Mts	-	a) Permissible Built Up area
Fungible Area		-	10.70%,51 Sq. Mts	-	has increased due FSI benefit of Amerity area being banded
Total FSI Area approved	29,435,93 Sq. Mts		41,296.548q. M/s	-	over to MCGM. b) FSI area has mereased due to Fungible FSI
Non- FSI Area	57,403,74 Sq. Mts	-	55,403.12 Sq Mts	-	Non-FSI area reduced.
Construction Area	86,839,67 Sq. Mts	33,289,50 Sq. Mis	96,699,66 Sq. Mis		9,859,00 Sq. Mis of Construction area has increased due to requirement of structural inservices theory and fire check theory.
Building Configuration	9 Parking Floors – Sults – 33 Upper Ploors.	Ground (parking Hoors.	Residential Wings a) 2 Basements added to adjust services and parking due to change in MPPL Policy b) 3 Parking Ploots have been tecluced due to revised DCR. c) 4 habitable floors are added due to languable FSI. Municipal Public Parking Lot: 3 Parking Lot: Policy, DCR 33(24).
Tenements	108 Nos.	-	192 Nos	:	6 Nos, of Flats are reduced due to location of retuge flaors, services and revised DCR.

Car Parks Required	270	-	255 Nos.	-	15 Nos. are reduced as per parking requirement for reduced tenements.
Proposed	279	775 (inclusive of 21 Nos. of transport voiceles).	319 Nos.	(including	Parking in Residential Wing increased as permitted under DCR.
Height of the proposed building.	The Environmental Clearance was granted for 195.0 Mts height	MPPL beight granted was upto 28,95 Mts	ESS.TOM	height now	Floor Height revised as per new DCR (3.9 Mis instead of 4.2 Mis)

Terms and conditions stipulated in even number environment clearance letter dated 22^{ml} July. 2011 remains the same

(R.A. Raycev)
Principal Secretary,
Environment department &
MS, SEIAA

Copy ta:

- Shri R. C. Joshi, IAS (Retd.), Chairman, SELAA, Flat No. 26, Belvedere, Bhulabhai desai road, Breach candy, Mumbai- 400026.
- Shr. Ravi Bhoshan Budhiraja, Chamoro, SEAC-A, 5-South, Dilwara Apartment, Cooperage, M.K.Road, Mumbai 400021
- Additional Secretary, MOEF, "Paryayaran Bhawar", CCO Complex, Tedhi Road, New Delhi 110510.
- Member Secretary, Maharashtia Pollution Control Board, with request to display a copy of the clearance.

- The CCF, Regional Office, Ministry of Invinconment and Forest (Regional Office, Western Region, Kendriya Paryayaran Bhayan, Link Road No. 3, E-5, Ravi-Shanker Nagar, Bhopal- 462 016), (MP).
- 6. Regional Office, MPCB, Mumbai
- 7. Collector, Munibai
- 8. Commissioner, Municipal Corporation Greater Mumbai (MCGM).
- IA- Division, Monitoring Cell. MoUF, Paryawaran Bhayan, CGO Complex, Lodh: Road, New Delhi-110003.

10. Select file (1 C-3):

(EC apleaded on 12 3 one 20 \$4)



STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

SEAC-2016/C.R.424/TC-1 Environment department, Room No. 217, 2nd floor, Mantralaya, Annexe, Mumbai- 400 032. Date:May 12, 2017

Amendment in EC for Proposed Residential tower building and Multi Storied Public Parking Lot building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A 248B Of Worli estate scheme no 52, Worli Mumbai at Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A 248B Of Worli estate scheme no

52, Worli Mumbai

Subject:

Environment Clearance for Application for Amendment in Environmental clearance for Proposed Residential tower building and Multi Storied Public Parking Lot building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A 248B Of Worli estate scheme no 52, Worli Mumbai

Sir.

This has reference to your communication on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee-II, Maharashtra in its th meeting and recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its Meeting Number 111th meetings.

2. It is noted that the proposal is considered by SEAC-II under screening category B1 as per EIA Notification 2006.

Brief Information of the project submitted by you is as below:-

1.Name of Project	Amendment in EC for Proposed Residential tower building and Multi Storied Public Parking Lot building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A 248B Of Worli estate scheme no 52, Worli Mumbai					
2.Type of institution	Private					
3.Name of Project Proponent	M/s K Raheja Pvt. Ltd					
4.Name of Consultant	M/s. Enviro Analysts & Engineers Pvt. Ltd.					
5.Type of project	Residential tower building plus public parking lot Project					
6.New project/expansion in existing project/modernization/diversification in existing project	Amendment in EC for Proposed Residential tower building and Multi Storied Public Parking Lot building					
7.If expansion/diversification, whether environmental clearance has been obtained for existing project	EC has been received vide letter no : SEAC -2010/CR-323/TC-2 dated 11th June. 2014.					
8.Location of the project	Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A 248B Of Worli estate scheme no 52, Worli Mumbai					
9.Taluka	mumbai					
10.Village	worli					
11.Area of the project	MCGM					
10 100 (101 (6)	concession document					
12.IOD/IOA/Concession/Plan Approval Number	IOD/IOA/Concession/Plan Approval Number: EB/1105/GS/A					
**	Approved Built-up Area: 55676.00					
13.Note on the initiated work (If applicable)	The PPL building has been constructed on site. As regards Residential building the work up to 20th habitable floors is completed. Total 1,13,496.53 Sq. M. is constructed on site					
14.LOI / NOC / IOD from MHADA/ Other approvals (If applicable)	not applicable					
15.Total Plot Area (sq. m.)	20117.24 sqm					
16.Deductions	647.93 sqm					
17.Net Plot area	19469.31 sqm					
10 Day of D. H. A. A. (FOLG	FSI area (sq. m.): 54138.85					
18.Proposed Built-up Area (FSI & Non-FSI)	Non FSI area (sq. m.): 105600.37					
	Total BUA area (sq. m.): 159739.22					



19.Total ground coverage (m2)	14448.17
20.Ground-coverage Percentage (%) (Note: Percentage of plot not open to sky)	74.21%
21.Estimated cost of the project	8829800000



			22.P	roduct	ion Details				
Serial Number	Proc	Product Existing (Not applicable Not appl			Proposed (MT/M)	Total (MT/M)			
1	Not app	plicable	Not app	plicable	Not applicable	Not applicable			
		2	23.Tota	l Wate	r Requirement				
		Source of	water	MCGM					
		Fresh wate	er (CMD):	Residential	-72 KLD MPPL-2 KLD				
		Recycled v Flushing (Residential -36 KLD MPPL- 3 KLD					
		Recycled v Gardening		27 KLD					
		Swimming make up (pool Cum):	cum					
Dry season:		Total Wate Requirement:		Residential	Residential -135 KLD MPPL- 5 KLD				
	Fire fighting Undergroutank(CMD	ind water	400 cum						
		Fire fighting Overhead tank(CMD	water	cum		7			
		Excess tre	ated water	20 KLD	31 1 31				
		Source of	water	MCGM	1)-4-()				
		Fresh water	er (CMD):	Residential	-72 KLD MPPL-2 KLD				
		Recycled v Flushing (vater - CMD):	Residential -36 KLD MPPL- 3 KLD					
		Recycled v Gardening	vater - (CMD):	0 KLD					
		Swimming make up (pool Cum):	cum					
Wet season:	:	Total Wate Requirement:		Residential -108 KLD MPPL- 5 KLD					
		Fire fighting Undergroutank(CMD	ind water	400 cum					
		Fire fighting Overhead tank(CMD	water	cum					
		Excess trea	ated water	105 KLD		nt			
Details of Sypool (If any)		U	V		HOIIL	UI			

Maharashtra

		2	4.Detail	s of Tota	l water o	onsume	d				
Particula rs	Cons	sumption (C	EMD)		Loss (CMD))	Eí	ffluent (CM	D)		
Water Require ment	Existing	Proposed	Total	Existing	Proposed	Total	Existing	Proposed	Total		
Domestic	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable		
		Level of th		1.5 m ? 12.	0 m bgl						
		Size and natank(s) and Quantity:		Residential	? 122 KL sti	lt ? 57 KL					
		Location o tank(s):	f the RWH	Ground and	l basement	>>1					
		Quantity o pits:	f recharge	23	र्धिका	Uz,					
25.Rain V	Vater	Size of rec	harge pits	1.5 m	37	35	Ź.				
Harvestii (RWH)	ng	Budgetary (Capital co	allocation st) :	Rs 27 Lakh	3	3	The second				
		Budgetary (O & M cos	allocation st) :	Rs 1.35 Lal	ths /Annum	4 3	K				
		Details of if any:	UGT tanks	Domestic Water Tank Residential -90 KL MPPL-5 KL Flushing Water Tank Residential -36 KL							
		- 4	7,12	>	_ <	9 6	75				
		Natural wa drainage p		The SWD h MCGM und	as been prop er no Dy.Ch.	osed as per E/SWD/249	the SWD rer Dated 21.07	narks grante .2012	d by		
26.Storm drainage	water	Quantity o water:	f storm	The SWD h MCGM und	as been prop er no Dy.Ch.	osed as per E/SWD/249	the SWD rer Dated 21.07	narks grante .2012	d by		
		Size of SW	D:		as been prop er no Dy.Ch.			narks grante .2012	d by		
		Sewage ge in KLD:	neration	97 KLD	m f	nı	. U	r			
		STP techno		Residential ?SBR MPPL- MBBR							
27 Sour	hac and	Capacity o (CMD):	f STP	Residential	?125 KL MP	PL- 10 KL					
27.Sewa Waste w	ater	Location & the STP:		Basement &	x ground						
		Budgetary (Capital co	allocation st):	Rs 65 Lakh	S						
		Budgetary (O & M cos		Rs 8 lakhs /	annum						



	28.Solid waste Management					
Waste generation in	Waste generation:	Empty cement bags- 200 nos, Steel= 3 ton , Metal = 200 sqft, Aerocan lightweight block= 250 nos, sand =200 sqft, Tiles/Marble & granite= 50 sqft, Aluminum windows =5 kg				
the Pre Construction and Construction phase:	Disposal of the construction waste debris:	Steel cut pieces shall be used as spacers and chairs in the structure and wastage of steel (balance non usable steel of odd lengths) is sent for recycling, Wastage of sand will be used for bedding for flooring purpose. They shall also be used for backfilling and filler material for leveling of internal roads and pavements				
	Dry waste:	160 Kg/day				
	Wet waste:	240 Kg/day				
Masta managation	Hazardous waste:	not applicable				
Waste generation in the operation Phase:	Biomedical waste (If applicable):	not applicable				
	STP Sludge (Dry sludge):	3 Kg/day				
	Others if any:	not applicable				
	Dry waste:	To be hand over to Local Recyclers for recycling				
	Wet waste:	To be processed in the OWC. Manure obtained shall be used for landscaping / Gardening, Excess manure shall be sold to nearby end users.				
Mode of Disposal	Hazardous waste:	Not Applicable				
of waste:	Biomedical waste (If applicable):	Not Applicable				
	STP Sludge (Dry sludge):	To be used as a manure				
	Others if any:	Not Applicable				
	Location(s):	ground				
Area requirement:	Area for the storage of waste & other material:	110 sqm				
	Area for machinery:	2.03 m x 1.37m x 1.65m i.e 2.5Sq.m				
Budgetary allocation (Capital cost and	Capital cost:	Rs 12 Lakhs				
O&M cost):	O & M cost:	Rs 2.4 lakhs /annum				

	29.Effluent Charecterestics							
Serial Number			Inlet Effluent Charecterestics	Outlet Effluent Charecterestics	Effluent discharge standards (MPCB)			
1	Not applicable	Not applicable			Not applicable			
Amount of effluent generation (CMD):		Not applicable						
Capacity of	the ETP:	Not applicable						
Amount of treated effluent recycled:		Not applicable						
Amount of v	Amount of water send to the CETP:		Not applicable					
Membership of CETP (if require):		Not applicable						
Note on ETP technology to be used		Not applicable						
Disposal of	the ETP sludge	Not applicable						



			30.Ha	zardous	Waste D	etails			
Serial Number	Desci	ription Cat		UOM	Existing	Proposed	Total	Method of Disposal	
1	Not ap	plicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	
			31.St	tacks em	ission D	etails		•	
Serial Number				ed with ntity	Stack No.	Stack No. Height from ground level (m)		Temp. of Exhaust Gases	
1	Not ap	plicable	Not app	plicable	Not applicable	Not applicable	Not applicable	Not applicable	
			32.De	tails of I	Tuel to b	e used			
Serial Number	Tyl	e of Fuel	\sim	Existing	H(Y) 72	Proposed		Total	
1	Not	applicable	172	Not applicabl	le 1	Not applicabl	le	Not applicable	
33.Source of	f Fuel	-	Not a	pplicable	TETER	N.S.M			
34.Mode of	Transportat	tion of fuel to	site Not a	pplicable	3/	90 V	_		
		N	7 9			1971	<u> </u>		
			0.	35.E	nergy	50	73		
		Source of supply:	power	TaTa/Relia	nce	4 3	K		
		During Co Phase: (De Load)	nstruction emand	80 kW					
		DG set as back-up di constructi	uring	100 kVA					
	During Opera phase (Conne load):		eration nnected	11169 Kw					
Power requirement: During Open phase (Demiload): Transformer DG set as Poback-up dur operation pl		eration mand	4825 Kw						
		Transform	er:	Residential	Residential ?1 X 2000 kVA MPPL- 500 kVA				
		back-up di	uring	Residential	Residential ?1 X 2000 kVA MPPL- 500 kVA				
		Fuel used:		HSD					
		Details of tension lin through th any:	e passing	Not applica	able	ent	0		

Energy saving by non-conventional method:

? Design with low lighting power density of 0.8 w/sft or less in common areas by using LED?S for general lighting with occupancy sensors & timer based controls
? Design with low lighting power density of 0.2 watts/sft or less in the parking areas with T5
using energy efficient 5 star rated equipments
External Light Design with low lighting power density of 0.2 watts/sft or less in the building exterior areas with use of

Use of efficient VRF or equivalent system with filters like MER

	36.Detail calculations & % of saving:						
Serial Number Energy Conservation Measures Saving %							
1	Total Energy saving%	26%					
2	% saving through renewable energy w.r.t total saving	10%					
37.Details of pollution control Systems							
Source Existing pollution control system Proposed to be installed							



Not applicable		Not applicable						Not ap	plicable	
Budgetary allocation Capital cos		st:	Rs. 90 lakhs							
(Capital O&M	(Capital cost and O&M cost):		t:	Rs. 4.5 lakhs						
38	3. Envir	nmen	tal Man	ageme	nt r	olan B	uda	etarv	Alloca	tion
	<u> </u>		Construc						1111000	
Serial Number	Attri	butes	Parar		Total Cost per annum (Rs. In Lacs)					acs)
1	Air Envi	ronment	Green Developmen	ter Sprinkling, Green Belt opment, Covered storage area						
2	Noise En	vironment	Noise Bari Greer Develop	n Belt	11	1777	1	4		
3	Water En	vironment	Modula Drainag sedimenta	re with	र्धि	OLO :	Z	5		
4	Good Healt	th Practices	Site Sani Health		4					
5		onment toring	monitorin	Air, water, noise soil monitoring during 3 construction phase						
		13 b) Operati	ion Phas	e (wi	th Brea	k-up):E		
Serial Number	Comp	onent	Descri	iption	Cap	ital cost R Lacs	s. In		tional and ost (Rs. in	Maintenance Lacs/yr)
1		waste gement	S OV	VC		12	女	姐	2.4	
2		water gement	ST	TP C		65	R	\bigcirc	8	
3		ıl savings	Energy			90	> <u>A</u>	7	4.5	
4		I W	RWH s			27		/>	1.35	
5		area	Landso	caping	175	105		7	21	
6		anagement an	4 DI	ИΡ		650	7		39	
39.S	39.Storage of chemicals (inflamable/explosive/hazardous/toxic substances)									
Descri Not app	ption	Status Not	Location Not applica	st Ca	orage pacity 1 MT	Maximum Quantity of Storage at any point of time in MT	Cons / Mo	umption onth in MT	Source of Supply	Means of transportation Not applicable
1100 app	6	applicable		αþļ	licable c Info	applicable		Pariotiono	applicable	1.00 appiloabio
40.Any Other Information										

No Information Available

CRZ/ RRZ clearance obtain, if any:	Not applicable
Distance from Protected Areas / Critically Polluted areas / Eco-sensitive areas/ inter-State boundaries	Not applicable
Category as per schedule of EIA Notification sheet	B1
Court cases pending if any	Not applicable
Other Relevant Informations	Not applicable
Have you previously submitted Application online on MOEF Website.	Yes
Date of online submission	15-03-2016

3. The proposal has been considered by SEIAA in its Meeting Number 111th meeting & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions:

Specific Conditions:

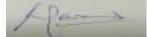
General Conditions:

I	E-waste shall bedisposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
П	The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
ш	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
IV	PP has to abide by the conditions stipulated by SEAC& SEIAA.
V	The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
VI	If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
VII	All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.
VIII	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
IX	The solid waste generated should be properly collected and segregated. dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material.
X	Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
XI	Arrangement shall be made that waste water and storm water do not get mixed.
XII	All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
XIII	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
XIV	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
XV	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
XVI	Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.

XVII	Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.					
XVIII	The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.					
XIX	The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.					
XX	Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.					
XXI	Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.					
XXII	Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).					
XXIII	Ready mixed concrete must be used in building construction.					
XXIV	Storm water control and its re-use as per CGWB and BIS standards for various applications.					
XXV	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.					
XXVI	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.					
XXVII	The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Discharge of this unused treated affluent, if any should be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Discharge of this unused treated affluent, if any should be discharge in the sewer line. Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP.					
XXVIII	Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.					
XXIX	Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.					
XXX	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.					
XXXI	Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.					
XXXII	Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.					
XXXIII	Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.					
xxxiv	Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.					
XXXV	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.					
XXXVI	Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.					
XXXVII	Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspiration for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement.					
XXXVIII	The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.					
XXXIX	Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.					
XL	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.					
XLI	Six monthly monitoring reports should be submitted to the Regional office MoEF, Bhopal with copy to this department and MPCB.					

XLII	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.
XLIII	Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
XLIV	Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
XLV	A complete set of all the documents submitted to Department should be forwarded to the Local authority and MPCB.
XLVI	In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
XLVII	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
XLVIII	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.
XLIX	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://ec.maharashtra.gov.in.
L	Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
LI	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
LII	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM. SO2, NOx (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
LIII	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
LIV	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.

- 4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
- 5. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environmental Clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
- 6. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.
- 7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, and amendments by MoEF&CC Notification dated 29th April, 2015.
- 8. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.
- 9. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.
- 10. Any appeal against this environmental clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1stFloor, D-, Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.



Shri Satish.M.Gavai (Member Secretary SEIAA)

Copy to:

- 1. SHRI ANAND. B. KULKARNI. CHAIRMAN-SEIAA
- 2. SHRI UMAKANT DANGAT, CHAIRMAN-SEAC-I
- 3. SHRI JOHNY JOSEPH, CHAIRMAN-SEAC-II
- 4. SHRI ANIL .D. KALE. CHAIRMAN SEAC-III
- 5. SECRETARY MOEF & CC
- 6. IA- DIVISION MOEF & CC
- 7. MEMBER SECRETARY MAHARASHTRA POLLUTION CONTROL BOARD MUMBA
- 8. REGIONAL OFFICE MOEF & CC NAGPUR
- 9. MUNICIPAL COMMISSIONER MUMBAI
- 10. MUNICIPAL COMMISSIONER NAVI MUMBAI
- 11. REGIONAL OFFICE MPCB MUMBAI
- 12. REGIONAL OFFICE MPCB NAVI MUMBAI
- 13. REGIONAL OFFICE MIDC ANDHERI
- 14. REGIONAL OFFICE MIDC KOPER KHAIRANE NAVI MUMBAI
- 15. MAHARASHTRA STATE ELECTRICITY DISTRIBUTION CO. LTD
- **16.** COLLECTOR OFFICE MUMBAI





STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

Environment department, Room No. 217, 2nd floor, Mantralaya, Annexe, Mumbai- 400 032. Date:August 3, 2019

To.

M/s K Raheja Pvt. Ltd

at Plot bearing CS No 2/1629 & 1A/1629 of Lower Parel division, Plot No 249 & 249A, 248B Of Worli estate scheme no 52, Worli Mumbai

Subject:

Environment Clearance for Expansion of Proposed Residential tower building, Multi Storied Public Parking Lot building, Commercial Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no 52, Worli Mumbai by M/s K Raheja Pvt. Ltd

Sir,

This has reference to your communication on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee-II, Maharashtra in its 102nd meeting and recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its 172nd meetings.

2. It is noted that the proposal is considered by SEAC-II under screening category 8(b), category B1 as per EIA Notification 2006.

Brief Information of the project submitted by you is as below:

1.Name of Project	Expansion of Proposed Residential tower building, Multi Storied Public Parking Lot building, Commercial Building & Residential Building				
2.Type of institution	Private				
3.Name of Project Proponent	M/s K Raheja Pvt. Ltd				
4.Name of Consultant	M/s. Enviro Analysts & Engineers Pvt. Ltd				
5.Type of project	Expansion of Proposed Residential tower building, Multi Storied Public Parking Lot building, Commercial Building & Residential Building				
6.New project/expansion in existing project/modernization/diversification in existing project	Expansion in Existing Project				
7.If expansion/diversification, whether environmental clearance has been obtained for existing project	EC has been Received dated 12th May 2017 (SEIAA-EC-0000000102) for construction area 159739.22 sqm				
8.Location of the project	Plot bearing CS No 2/1629 & 1A/1629 of Lower Parel division, Plot No 249 & 249A, 248B Of Worli estate scheme no 52, Worli Mumbai				
9.Taluka	Mumbai				
10.Village	Worli				
Correspondence Name:	Mr. Nikhil Mehta				
Room Number:	Architect Department				
Floor:	6th Floor				
Building Name:	Raheja Tower				
Road/Street Name:	Plot-C-30, Block -G				
Locality:	Bandra Kurla Complex , Bandra (East)				
City:	Mumbai 400051				

SEIAA Meeting No: 172 Meeting Date: July 25, 2019 (SEIAA-STATEMENT-0000001641) SEIAA-MINUTES-0000002367 SEIAA-EC-0000001926

Page 1 of 14

Shri. Anil Diggikar (Member Secretary SEIAA)

11.Whether in Corporation / Municipal / other area	Municipal Corporation of Greater Mumbai (M.C.G.M.)				
	Concession Received from MCGM				
12.IOD/IOA/Concession/Plan Approval Number	IOD/IOA/Concession/Plan Approval Number: EB/1105/GS/A				
ripprovar rumber	Approved Built-up Area: 65714.20				
13.Note on the initiated work (If applicable)	As per architect certificate dated 04.10.2018 Total 1,39,961.84 sqm is constructed on site as per EC received dated 12th May 2017 (SEIAA- EC-0000000102) for construction area 159739.22 sqm				
14.LOI / NOC / IOD from MHADA/ Other approvals (If applicable)	HRC NOC received , CFO NOC received ,I to R received ,HE NOC received ,SWD NOC received				
15.Total Plot Area (sq. m.) 20117.24 sqm					
16.Deductions 1449.85 sqm (Road set back - 647.93 sqm + Amenity open spaces - 801.92 sqm)					
17.Net Plot area	18667.39 sqm.				
10 (A) Daniel D. H A (FOLC.	FSI area (sq. m.): 65,714.20				
18 (a).Proposed Built-up Area (FSI & Non-FSI)	Non FSI area (sq. m.): 1,13,052.83				
	Total BUA area (sq. m.): 178767.03				
10.4)	Approved FSI area (sq. m.): 65,714.20				
18 (b).Approved Built up area as per DCR	Approved Non FSI area (sq. m.): 1,13,052.83				
15	Date of Approval: 27-08-2018				
19.Total ground coverage (m2)	14,671 sqm				
20.Ground-coverage Percentage (%) (Note: Percentage of plot not open to sky)	78.59%				
21.Estimated cost of the project	10190000000				

		22.P	roduct	tion Details			
Serial Number	Product	Existing	(MT/M)	Proposed (MT/M)	Total (MT/M)		
1	Not applicable	Not app	plicable	Not applicable	Not applicable		
	2	23.Tota	l Wate	r Requirement			
	Source of	water	MCGM/STI	P recycled water			
	Fresh water	Fresh water (CMD):		-78 KLD , MPPL-2 KLD, Co wing B- 16 KLD Total – 104			
	Recycled v Flushing (-39 KLD , MPPL-3 KLD, Co wing B- 8 KLD Total- 60 Kl			
	Recycled v Gardening		30 KLD	HOTAN			
_	Swimming make up (25 KLD	TEF TO THE	7		
Dry season:	2 \	Total Water Requirement (CMD)					
	Fire fighti Undergrou tank(CMD	ind water	Residential – 300 Cum, MPPL-100 cum, Wing A & B-200 cum				
	Overhead	Fire fighting - Overhead water tank(CMD):		Residential - 210 cum, MPPL- 30 cum, Commercial wing A- 30 cum, Residential wing B- 30 cum			
	Excess tre	Excess treated water 48 KLD					
	Source of	water	MCGM/STI	P recycled water/RWH	7		
	Fresh wate	er (CMD):	Residential -78 KLD , MPPL-2 KLD, Commercial wing A- 8 KLD, Residential wing B- 16 KLD Total - 104 KLD				
	Recycled v Flushing (CMD):	Residential -39 KLD , MPPL-3 KLD, Commercial wing A- 10 KLD, Residential wing B- 8 KLD Total- 60 KLD				
	Recycled v Gardening		OL DAY DEVAN				
Wet season:	Swimming make up (25 KLD				
wet season:	Total Wate Requireme :	ent (CMD)	164 KLD				
	Fire fighti Undergrou tank(CMD	ınd water	Residential – 300 Cum, MPPL-100 cum, Wing A & B-200 cum				
	Fire fighti Overhead tank(CMD	water	Residential – 210 cum, MPPL- 30 cum, Commercial wing A- 30 c Residential wing B- 30 cum				
	Excess tre	ated water	78 KLD				
Details of Swimming pool (If any) 1 swimming pool of dimensions-24.75 m				75 m x 37.12m x 1.5 m			



24.Details of Total water consumed										
Particula rs	Consumption (CMD)			Loss (CMD)			Effluent (CMD)			
Water Require ment	Existing	Proposed	Total	Existing	Proposed	Total	Existing	Proposed	Total	
Domestic	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	
25.Rain Water Harvesting (RWH)		Level of the Ground water table:		1.5 m - 12.0 m bgl						
		Size and no of RWH tank(s) and Quantity:		Residential – 110 cum, Commercial wing A- 50 ,Residential -15 cum Total – 175 cum						
		Location of the RWH tank(s):		Basement						
		Quantity of recharge pits:		23 nos. of recharge pits with bore well along with Grease cum distilling chamber						
		Size of recharge pits :		1.5 m diameter x 6.00 m depth						
		Budgetary allocation (Capital cost) :		Rs 15.00 Lakhs						
		Budgetary allocation (O & M cost):		Rs 0.75 Lakhs /Annum						
		Details of if any:	UGT tanks	Fire tank ,Domestic tank, Flushing Tank, RWH Tank all located in the Basement						
26.Storm water		Natural water drainage pattern:		The storm water collected through the storm water drains of adequate capacity will be discharged in to the municipal storm line along the DP existing roads which is towards north						
drainage		Quantity of storm water:		0.39 m3/sec						
		Size of SWD:			300 mm RCC pipe					
27.Sewa Waste w		Sewage generation in KLD:		Residential – 110 KLD , MPPL-4 KLD, Commercial wing A- 17 KLD, Residential wing B- 23 KLD Total – 154 KLD						
	0	STP techno	ology:	Residential -SBR, MPPL- MBBR, Commercial wing A & Residential wing B- MBBR						
		Capacity of STP (CMD):		Residential -150 KLD , MPPL- 10 KLD, Commercial wing A $\&$ Residential wing B - 45 KLD						
		Location & area of the STP:		Basement						
		Budgetary allocation (Capital cost):		Rs 90.00 Lakhs						
		Budgetary (O & M cos		Rs 15.00 lakhs /annum						

	28.Solid waste Management				
	Waste generation:	Excavated material, Cement Bags, Paint container (@20L), Scrap metal, Broken Tiles etc			
Waste generation in the Pre Construction and Construction phase:	Disposal of the construction waste debris:	Excavated material Shall be used on site for backfilling and for Internal roads. Excess shall be disposed to authorized landfills, Cement Bags Empty bags to be handed over to recycler, Paint container (@20L) To be handed over to recycler. Scrap metal generated Entirely to be Sold for recycling, Broken Tiles Waste tiles to be used for skirting. Broken pieces to be used for china mosaic waterproofing of terraces			
	Dry waste:	378 Kg/day			
	Wet waste:	432 Kg/day			
Phase:	Hazardous waste:	NA			
	Biomedical waste (If applicable):	NA COSTA DE LA COSTA DEL COSTA DE LA COSTA DE LA COSTA DEL COSTA DE LA COSTA D			
	STP Sludge (Dry sludge):	8 Kg/day			
	Others if any:	E- waste to be handed over to MPCB authorized vendors			
	Dry waste:	To be hand over to Local Recyclers for recycling			
	Wet waste:	To be processed in the OWC. Manure obtained shall be used for landscaping / Gardening, Excess manure shall be sold to nearby end users.			
Mode of Disposal	Hazardous waste:	Not Applicable			
of waste:	Biomedical waste (If applicable):	Not Applicable			
	STP Sludge (Dry sludge):	To be used as a manure			
	Others if any:	E- waste to be handed over to MPCB authorized vendors			
	Location(s):	Ground floor			
Area requirement:	Area for the storage of waste & other material:	110 sqm			
	Area for machinery:	5 sqm for each machine			
Budgetary allocation	Capital cost:	Rs 15.00 Lakhs			
(Capital cost and O&M cost):	O & M cost:	Rs 3.00 lakhs /annum			

Maharashtra

	29.Effluent Charecterestics						
Serial Number	Parameters	Unit	Unit Inlet Effluent Outlet Effluent Effluent di Charecterestics Charecterestics standards				
1	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable		
Amount of effluent generation (CMD):		Not applicable					
Capacity of	the ETP:	Not applicable					
Amount of treated effluent recycled:		Not applicable					
Amount of v	Amount of water send to the CETP:		Not applicable				
Membership of CETP (if require):		Not applicable					
Note on ETP technology to be used		Not applicable					
Disposal of	the ETP sludge	Not applicable					



Government of Maharashtra

	30.Hazardous Waste Details								
Serial Number	Descr	iption	Cat	UOM	Existing	Proposed	Total	Method of Disposal	
1	Not ap	plicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	
			31.St	acks em	ission De	etails			
Serial Number	Section	n & units Fuel Us Quan			Stack No.	Height from ground level (m)	Internal diameter (m)	Temp. of Exhaust Gases	
1	Not ap	plicable	Not app	olicable	Not applicable	Not applicable	Not applicable	Not applicable	
			32.De	tails of I	uel to be	e used			
Serial Number	Туг	e of Fuel	43	Existing	विधिक्या	Proposed	7	Total	
1	Not	applicable	J G I	lot applicabl	.e N	Not applicabl	e	Not applicable	
33.Source o		15	70	pplicable		10/0	The second		
34.Mode of	Transportat	ion of fuel to	site Not a	pplicable		10			
		B	A A	.0.9	20,	4 3	E		
			×	35.Eı	nergy	<i>y</i>	13		
		Source of supply:	power	BEST/TATA		た	H		
	During Construction Phase: (Demand Load)		400 kW						
		DG set as back-up d constructi	uring	65 kVA					
Door	During Operation phase (Connected load):		9304 kw						
Power requirement: During Operation phase (Demand load):		4392 kw							
			er:	4 X 1500 kV	X 1500 kVA				
			Power uring phase:	1 x 2250 kV	x 2250 kVA & 2x 250 kVA				
				HSD	9				
		Details of tension lin through th any:	e passing	NA	<u></u>				

Energy saving by non-conventional method:

- Design with low lighting power density of 0.8 w/sft or less in common areas by using LEDs for general lighting with occupancy sensors & timer based controls
- Design with low lighting power density of 0.2 watts/sft or less in the parking areas with T5
- using energy efficient 5 star rated equipment's
- External Light Design with low lighting power density of 0.2 watts/sft or less in the building exterior areas with use of LEDs
- Use of efficient VFD or equivalent system with filters.

SEIAA Meeting No: 172 Meeting Date: July 25, 2019 (SEIAA-STATEMENT-0000001641) SEIAA-MINUTES-0000002367 SEIAA-EC-0000001926

Page 7 of 14 Si

Shri. Anil Diggikar (Member Secretary SEIAA)

		3	6.Detail	calcul	ations	& % of s	aving:		
Serial Number	E	nergy Cons	servation Me	easures			Sav	ing %	
1		Overall	energy saving	gs			2	6%	
		37	.Details	of pol	lution c	ontrol S	ystems		
Source	Ex	isting pollu	ition contro	l systen	n		Proposed to	be installe	ed
Not applicable		Not	applicable				Not ap	plicable	
	allocation	Capital co	st:	Rs. 120	.00 lakhs				
(Capital O&M	cost and cost):	O & M cos	st:	Rs. 6.00) lakhs/Anr	um			
38	.Envir	onmen	tal Man	agei	ment p	olan Bı	udgetary	Alloca	ation
		a)	Construc	tion _I	phase (v	vith Bre	ak-up):		
Serial Number	Attri	butes	Paran	neter	(1)	Total	C ost per ann u	m (Rs. In I	acs)
1	Air Envi	ronment	Water Sp Green Develop Covered sta	n Belt ment &	(0)	. ^	20.00)	
2	Noise En	vironment	Noise Bari Green		nd	934	8.00	>	
3	Water Environment Modular STP , Drainage with sedimentation tanks				ks	6.00			
4	Land Environment Site Sanitation					20	1.00		
5		nmental toring	Air,water, monit		il	7 974	1.50		
6	EHS Disinfection & Hea		th 3.00						
		b) Operati	ion Pl	ıase (wi	th Brea	k-up):		
Serial Number	Comp	onent	Descri	iption	Capi	ital cost Rs Lacs		tional and ost (Rs. in	Maintenance Lacs/yr)
1		waste Jement	OV	VC	\mathbf{I}	15.00	11 (3.00	
2		water Jement	ST	TP		90.00		15.00)
3	RI	HW	RHW tank	s and pi	ts	15.00	tro	0.75	
4	Energy conservation Solar and		nd LED		120.00		6.00		
5	Landscape Greenbelt		_	120.00		24.00)		
39.S	torage	of che	micals	•	amabl stance	_	osive/ha	zardou	s/toxic
Descri	ption	Status	Location	1	Storage Capacity in MT	Maximum Quantity of Storage at any point of time in MT	Consumption / Month in MT	Source of Supply	Means of transportation

SEIAA Meeting No: 172 Meeting Date: July 25, 2019 (SEIAA-STATEMENT-0000001641) SEIAA-MINUTES-0000002367 SEIAA-EC-0000001926

Page 8 of 14 Shri. Anil Diggikar (Member Secretary SEIAA)

Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
40.Any Other Information							
No Information Available							



Government of Maharashtra



1	CRZ/ RRZ clearance obtain, if any:	Not applicable
I C a a a	Distance from Protected Areas / Critically Polluted areas / Eco-sensitive areas/ inter-State boundaries	Not applicable
S	Category as per schedule of EIA Notification sheet	8(b), category B1
	Court cases pending if any	NA
1	Other Relevant Informations	The Occupation Permission to Public Parking Lot is granted on 07/09/2016 and same is handed over to MCGM on 06/01/2017. ToR has been received in 79th SEAC II meeting Dated 28.11.2018
S	Have you previously submitted Application online on MOEF Website.	Yes
1	Date of online submission	11-10-2018

3. The proposal has been considered by SEIAA in its 172nd meeting & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions:

Specific Conditions:

I	PP to submit & upload EC compliance report, as discussed in the meeting.					
II	PP to submit the structural stability certificate with load calculations as per NBC.					
III	PP to submit & upload HRC NoC.					
IV	PP to submit & upload wind analysis, shadow analysis, traffic analysis, light and ventilation analysis and measures to reduce heat island effect.					
V	PP to submit detail calculation & plan for STP, OWC.					
VI	PP to provide E-waste, Plastic waste transits store.					
VII	PP to submit comparative statement regarding assessment of Environment Impact as per earlier EIA, Actual and impact due to proposed expansion.					
VIII	PP to submit CER as per MoEF&CC circular dated 1.5.2018 relevant to the area and people around the project.					
IX	PP to also refer standard ToR published by MoEF vide order dated 10/04/15 in addition to above.					
X	It is noted that representative of PP not submitted the authority letter. PP to submit the same along with copy of company resolution.					
XI	It is noted that the building configuration mentioned in the architect certificate & in PPT not matching. PP to submit the detail revised dated architect certificate addressed to committee.					
XII	Structural Engineer & design engineer to remain present for meeting to explain the proposal in detail.					
XIII	PP to upload the copy of HRC NoC.					
XIV	PP to upload the copy of revised CFO NoC (for Commercial building).					
XV	Local planning authority to ensure the structural stability of building for which vertical expansion is proposed before granting CC.					
XVI	PP to ensure that minimum 40% area of proposed STP tanks should be open to sky for adequate ventilation.					
XVII	The PP to get NOC from competent authority with reference to Thane creek flamingo sanctuary if the project site falls within 10 Km radius from the said sanctuary boundary. The planning authority to ensure fulfilment of this condition before granting CC.					
XVIII	PP to submit CER prescribed by MoEF&CC circular dated 1.5.2018 relevant to the area and people around the project or Environment Department may direct PP to undertake CER work in identified area, as identified by Environment Department.					

I X I X	PP to submit CER plan to Municipal Commissioner/District Collector and submit the acknowledgement to Member Secretary, SEIAA.
1 * *	PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF & CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
IXXI	SEIAA decided to grant EC for:FSI: 65640.87 m2, Non-FSI: 113126.16 m2 and Total BUA:178767.03 m2 (IOD no-EB/1105/E/A, Date-24.01.2019)

General Conditions:

General Conditions:	
I	E-waste shall bedisposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
п	The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
Ш	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
IV	PP has to abide by the conditions stipulated by SEAC& SEIAA.
V	The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
VI	If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
VII	All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.
VIII	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
IX	The solid waste generated should be properly collected and segregated. dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material.
x	Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
XI	Arrangement shall be made that waste water and storm water do not get mixed.
XII	All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
XIII	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
XIV	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
XV	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
XVI	Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.
XVII	Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
XVIII	The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
XIX	The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.
xx	Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
XXI	Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.

XXII	Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).				
XXIII	Ready mixed concrete must be used in building construction.				
XXIV	Storm water control and its re-use as per CGWB and BIS standards for various applications.				
XXV	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.				
XXVI	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.				
XXVII	The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Discharge of this unused treated affluent, if any should be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Discharge of this unused treated affluent, if any should be discharge in the sewer line. Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP.				
XXVIII	Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.				
XXIX	Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.				
XXX	Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.				
XXXI	Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.				
XXXII	Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.				
XXXIII	Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.				
XXXIV	Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.				
XXXV	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.				
XXXVI	Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.				
XXXVII	Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspiration for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement.				
XXXVIII	The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.				
XXXIX	Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.				
XL	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.				
XLI	Six monthly monitoring reports should be submitted to the Regional office MoEF, Bhopal with copy to this department and MPCB.				
XLII	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.				

XLIII	Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
XLIV	Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
XLV	A complete set of all the documents submitted to Department should be forwarded to the Local authority and MPCB.
XLVI	In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
XLVII	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
XLVIII	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.
XLIX	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://ec.maharashtra.gov.in.
L	Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
П	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
LII	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM. SO2, NOx (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
LIII	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
LIV	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.

Government of Maharashtra

- 4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
- 5. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
- 6. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.
- 7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, and amendments by MoEF&CC Notification dated 29th April, 2015.
- 8. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.
- 9. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.
- 10. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1stFloor, D-, Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.

Shri. Anil Diggikar (Member Secretary SEIAA)

Copy to:

- 1. SHRI JOHNY JOSEPH, CHAIRMAN-SEIAA
- 2. SHRI UMAKANT DANGAT, CHAIRMAN-SEAC
- 3. SHRI M.M.ADTANI, CHAIRMAN-SEAC-II
- 4. SHRI ANIL .D. KALE. CHAIRMAN SEAC-III
- 5. SECRETARY MOEF & CC
- 6. IA- DIVISION MOEF & CC
- 7. MEMBER SECRETARY MAHARASHTRA POLLUTION CONTROL BOARD MUMBAI
- 8. REGIONAL OFFICE MOEF & CC NAGPUR 9. MUNICIPAL COMMISSIONER MUMBAI
- 10. MUNICIPAL COMMISSIONER NAVI MUMBA
- 11. REGIONAL OFFICE MPCB MUMBAI
- 12. REGIONAL OFFICE MPCB NAVI MUMBAI
- 13. REGIONAL OFFICE MIDC ANDHERI
- 14. REGIONAL OFFICE MIDC KOPER KHAIRANE NAVI MUMBAI
- 15. MAHARASHTRA STATE ELECTRICITY DISTRIBUTION CO. LTD
- **16.** COLLECTOR OFFICE MUMBAI
- 17. COLLECTOR OFFICE MUMBAI SUB-URBAN

STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

No. SIA/MH/MIS/42830/2018 Environment Department Room No. 217, 2nd Floor, Mantralaya, Mumbai- 400032.

Date: 31.03.2020.

To, M/s K Raheja Pvt. Ltd. Worli estate scheme no 52, Worli Mumbai

Subject: Environment Clearance for Expansion of Proposed Residential tower

building, Multi Storied Public Parking Lot building, Office Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no 52, Worli

Mumbai by M/s K Raheja Pvt. Ltd.

Reference: Application no. SIA/MH/MIS/42830/2018

This has reference to your communication on the above-mentioned subject. The proposal was considered by the SEAC-2 in its 126th meeting under screening category 8 (b) as per EIA Notification, 2006 and recommend to SEIAA. Proposal then considered in 187th meeting of State Level Environment Impact Assessment Authority (SEIAA).

2. Brief Information of the project submitted by you is as below: -

Total Plot area	20117.24 Sq. Mt.
Deduction	0.00
Net Plot area	20117.24 Sq. Mt.
FSI area	88,047.07 Sq. Mt.
Non- FSI area	1,28,863.13 Sq. Mt.
Total Built-up area	2,16,910.20 Sq. Mt.
Building Configuration	Residential tower - 2B+G+5 parking floors + stilt 6
	+structural/service floors+ 3 fire check floors+ 49
	habitable floors.
	The 5th parking floor above the public parking lot will
	be for residential parking 239.00 m . PPL - 2B+G+4
	parking floors. 3B+ G + 8 (pt) office floors35.20 m.
	Residential Bldg -Wing B Stilt + 6 habitable floors
	24.00 m.
Number of tenants and shops	Residential Tower – 183 no's,
	Office Bldg (wing A)- 19086.77 sq. m,
	Residential Bldg (Wing B) – 36 no's
Total Population	Residential Tower – 915 no's,
	Office Bldg wing A- 1908 no's,
	Residential Bldg. Wing B – 180 no's,
	Total – 3003 no's
Water requirement	During Dry season – 268 KLD, During Wet season –
	238 KLD

Rain water Harvesting	: Size and no of RWH tank(s) and Quantity: NA
	Quantity of recharge pits: 3
Details of UGT	: Fire water tank: 200 KLD
	Domestic water tank: 70 KLD
	Flushing water tank: 90 KLD
Sewer generation	: 223 KLD
STP capacity, technology &	Residential – 114 KLD, MPPL-4 KLD, office wing A-
location	82 KLD, Residential wing B- 23 KLD Total – 223
	KLD.
RG required and Provided	4680.82 Sq.m.
Energy requirement	(Connected load) –14213 kw,
	(Demand load) – 7511 kw
	No. of DG sets & capacities : 1 x 2250 kVA & 2x 1250
	kVA, 1 x 250 kVA
Energy Saving	Overall Energy saving total: Residential tower: 17%,
	Wing A & B: 13%
Solid waste generation	: Dry waste (Non- Biodegradable waste): 462 Kg/day
	Wet waste (Biodegradable waste): 308 Kg/day
OWC capacity	2 nos. of OWC
Parking	2 – Wheeler: Residential- 23 MPPL - 20 Total-43 no's,
	4- Wheeler: Residential -529 no's Wing A &B -518
	no's Total – 1047 no's (MPPL-803 (Including 9
	Transport vehicle).
EMP costing	Setting-up Cost-1282 Lakhs,
	Operational Cost- 138.90 Lakhs.
CER	: Cost of the Project: 2.05 Crs.

3. The proposal has been considered by SEIAA in its 187th meeting and decided to accord Environment Clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implantation of following terms and conditions-

Specific Conditions:

- I. PP to upload the wind analysis report & impact on RG.
- II. PP to upload the copy of application regarding HRC NoC & civil aviation NoC.
- III. The PP to get NOC from competent authority with reference to Thane creek flamingo sanctuary if the project site falls within 10 Km radius from the said sanctuary boundary. The planning authority to ensure fulfilment of this condition before granting CC.
- IV. EC is subject to submission of HRC NOC.
- V. PP to ensure that CER plan gets approved from Municipal Commissioner/District Collector.
- VI. PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
- VII. SEIAA decided to grant EC for FSI: 88047.07m2, Non-FSI: 128863.13 m2 and Total BUA:216910.20 m2 (Plan Approval no-EEEB/1105/GS/A, Date-07.02.2020)

General Conditions:

I. E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.

- 11. The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
- III. This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
- JV. PP has to abide by the conditions stipulated by SEAC& SEIAA.
- V. The height. Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
- VI. If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
- VII. All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.
- VIII. Adequate thinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
 - IX. The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
 - X. Disposal of muck during construction phase should not create any adverse effect on the neighbouring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
- XI Arrangement shall be made that waste water and storm water do not get mixed.
- XII. All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- XIII. Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- XIV. Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agraculture Dept.
- XV. Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
- XVI. Construction spoils, including bifurninous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.
- XVII. Any hazardous waste generated during construction phase should be disposed of as perapplicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
- XVIII. The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
 - XIX The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken
 - XX. Vehicles bired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise.

- emission standards and should be operated only during non-peak hours
- XXI. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- XXII. Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).
- XXIII. Ready mixed concrete must be used in building construction.
- XXIV. Storm water control and its re-use as per CGWB and BIS standards for various applications.
- XXV. Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
- XXVI. The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.3
- XXVII. The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Discharge of this unused treated affluent, if any should be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/ refused to the maximum extent possible. Discharge of this unused treated affluent, if any should be discharge in the sewer line. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP.
- XXVIII. Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
 - XXIX. Separation of grey and black water should be done by the use of dual plumining line for separation of grey and black water.
 - XXX. Fixtures for showers, toilet flushing and drinking should be of low flow either by use of acrators or pressure reducing devices or sensor based control.
 - XXXI. Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.
- XXXII. Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfil requirement.
- XXXIII. Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed of /sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent pussible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.
- XXXIV. Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low suiphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- XXXV. Noise should be controlled to ensure that it does not exceed the prescribed standards. During

- night-time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.
- XXXVI. Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
- XXXVII Opaque wall should meet prescriptive requirement as per Foorgy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspiration for non air-conditioned spaces by use of appropriate thermal insulation material to fulfil requirement.
- XXXVIII. The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.
 - XXXIX. Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.
 - XL. Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
 - XI.I. Six monthly monitoring reports should be submitted in the Regional office MoEF, Bhopal with copy to this department and MPCB.
 - XI.U. Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.
 - XI.III. Wet garbage should be treated by Organic Waste Convener and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
 - XLIV. Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
 - XLV. A complete set of all the documents submitted to Department should be forwarded to the Local authority and MPCB.
 - XLVI. In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
 - XLVII. A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards
 - XLVIII. Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCR & this department.
 - XLIX. The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://parivesh.nic.in
 - I.. Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
 - Ul. A copy of the clearance letter shall be sent by proponent to the concerned Municipal

- Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
- 1.II The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically it shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely: SPM, RSPM, SO2, NOx (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
- LIII. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
- LIV The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
- The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
- In case of submission of false document and non-compliance of stipulated conditions. Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
- 6 The Environment department reserves the right to add any stringent condition or to revoke the clearance of conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.
- 7 Validaty of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, amended time to time.
- B. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.
- 9 The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.
- 10. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune). New Administrative Building, 1stFloor, D-, Wing. Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green TpBunal Act, 2010.

(Member-Secretary, SEIAA)

Copy to:

- 1. Shri Johny Joseph, Chairman, SEJAA
- 2. Secretary, MoEF & CC

à,

- 3. IA- Division MOEF & CC.
- 4. Member Secretary, Maharashtra Pollution Control Board, Mumbai.
- 5. Regional Office MoEF & CC, Nagpur-
- Municipal Commissioner, MCGM.
- 7. Regional Officer, Maharashtra Pollution Control Board, Mumbai.

ENVIRONMENTAL CLEARANCE

Pro-Active and Responsive Facilitation by Interactive, Single-Window Hub and Virtuous Environmental





Government of India Ministry of Environment, Forest and Climate Change (Issued by the State Environment Impact Assessment Authority(SEIAA), MAHARASHTRA)

To,

The Vice President K RAHEJA PVT LTD

Raheja Tower

Plot No. C-30, Block G, Opp SIDBI, Bandra Kurla Complex, Bandra (E), Mumbai -400051

Subject: Grant of Environmental Clearance (EC) to the proposed Project Activity under the provision of EIA Notification 2006-regarding

Sir/Madam,

This is in reference to your application for Environmental Clearance (EC) in respect of project submitted to the SEIAA vide proposal number SIA/MH/INFRA2/417166/2023 dated 07 Feb 2023. The particulars of the environmental clearance granted to the project are as below.

EC Identification No. 1.

2. File No.

3. **Project Type**

4. Category

Project/Activity including 5. Schedule No.

6. Name of Project EC23B039MH123060

SIA/MH/INFRA2/417166/2023

Expansion

8(b) Townships and Area Development

Environment Clearance for Expansion of Proposed Residential tower building, Multi Storied Public Parking Lot building, Office **Environment Clearance for Expansion of** Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme no 52, Worli Mumbai by M/s K Raheja Pvt. Ltd

7. Name of Company/Organization

8. **Location of Project**

TOR Date

Date: 26/05/2023

K RAHEJA PVT LTD

MAHARASHTRA

N/A

The project details along with terms and conditions are appended herewith from page no 2 onwards.

> (e-signed) Pravin C. Daradé, I.A.S. **Member Secretary** SEIAA - (MAHARASHTRA)

Note: A valid environmental clearance shall be one that has EC identification number & E-Sign generated from PARIVESH.Please quote identification number in all future correspondence.

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STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

No. SIA/ME/INFRA2/417166/2023 Environment & Climate Change Department Reom No. 217, 2nd Floor, Mantralaya, Mumbai- 400032.

To M/s. K Raheja Pvt. Ltd., CS No 2/1629 & 1A/1629, Lower Parel division. Plot No 249 & 249 A, 248B Worli estate scheme no. 52, Worli Mombai.

Subject : Environment Clearance for Proposed Expansion of Residential tower

huilding, Multi Storied Public Parking Lot building, Office Building & Residential Building on Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No 249 & 249 A, 248B of Worli estate scheme

no. 52. Worli Mumbai by M/s. K Raheja Pvt. Ltd.

Reference: : Application no. \$IA/MH/INFRA2/417166/2023

This has reference to your communication on the above-mentioned subject. The proposal was considered by the SEAC-2 in its 198th meeting under screening category 8 (b) B1 as per EIA Notification, 2006 and recommend to SEIAA. Proposal then considered in 259th (Day-1) meeting of State Level Environment Impact Assessment Authority (SEIAA).

Brief Information of the project submitted by you is as below:-

Sr. No	Description	Details	
NO			
H	Proposal Number	(SIA/MII/INFRA2/41716	6/2023).
2	Name of Project	 	esidential Tower Building, Mulh
			ot Building, Office Building &
		Residential Building on p	plot bearing CS NO. 2/1629 &
			S NO. TA/1629) of Lower Parel
		division, plot no 249 & 249	A. 248 B of Worli estate scheme
<u> </u>		no 52, Worli Mumbai by M	f/s. K. Raheja Pvt, Ltd
3	Project category	8(b). B1	
: 4.	Type of Institution	Private	
5	Project Proponent	Name	Mr. Nikhil Mehja
		Regd. Office address	Raheja Tower
		-	Block G. Plot No. C-30,
			Bandra Kurla Complex,
			Bandra (E), Mumbai- 400-051
		l	India
		Contact number	9167755305
		e-mail	nmehtng/kraheja.com

! <u>-</u>	Consultant		Name: M/s. Enviro Analysts & Engineers Pvt. Ltd.				
: 0	Constitutit		NABET Accreditation No: NABET/EIA/2023/RA0206				
			Validity: 13.05.2023				
7	Applied for	г		ield Project /			
8		f the project			. 2/1629 & TA/I	629(amal	gamated C.S
້	Dovarion of	tive project			wer Parel divisio		
					tate scheme no 5.		
79	Latitude an	d Longitude		= 19°00'29.		,	
'			Longitu	de -72°49'19	9.70°E		
10	Plot Area (Squn.)	20,117.2				
11	Deductions		1.449.85				
12	Net Plot an		18,667.3	39 m ²			
13		verage (m²) &	14,140 r				
'-	%	-,					
14	FSI Area (S	Sq.m.)	90,975.3	719 m²	· ·-		
15	Non-FSI (S		1,33,823			•	1
16		built-up area	2.24,803	3.56 m²			
!		-FSI) (Sq.m.)					
17) approved by	Арртом	ed Area: FSI	I- 90,812.59 m²		
	,	athority till			Jetter: HB/1105/0	iS/A/337	/14/Amend
	date.		dated 10	.01.2023			
1.8	Earlier EC	details with	EC vide	letter no. SI	A-MH/MIS/4283	ற/24H % ப்	td.
	Total Cons	struction area,	31.03.2020				
	if any.		FSI: 88,	(147.07 m²			!
				I: 1,28,863.			:
			Total co	nstruction A	rea: 2,16,910.20 i	n²	
					2 22 542 52		
19	ı	in completed	Total co	nstructed Ar	ea: 2,03,840,97 m	1-	
i		ier EC (FSI = 1					
20	Non FSI) (Deannand	Conformation		Reason for
20	ı	EC / Existing ilding		rroposco	Proposed Configuration		
	Building	Configurati	Heigh	Building	Configuration	Heigh	Modificati on /
	Name	On On	t	Name	Cinnigation.	t	Change
	1121110		(m)	1-4/114		(m)	
	Residenti	2B + G = 5	239.00	Residenti	28 - 6 + 5	, , , , ,	Decrease in
	al tower	parking		al tower	parking thoors		three upper
1]	floors + stilt			+ stilt + 6		habitable
		+ 6			structural/		floors
		structural/			service floors		_
1		service	'		± 3 fire check		
	floors + 3				Dours + 46		
	lire check		1 1 "			227.3	
1	floors + 49				fluors. The 5th		
	habitable		,	j parking flour			
		floors, the			ahove the		
1		5th parking	'	!	public parking		
		floor above	Ι .	•	lot will be for		
1	I	the public	I		residential		
•	l	parking lot	I		parking	1	

	,_							
		will be for						
		residential						
		parking		Į				
	ŀ	'		ſ				
	PP1.	28 + G + 4	18.80	PPL.	$2\ddot{\mathbf{B}} + 0$	G + 4	i	No change
		parking			parking		18.8	
•		floors			12		10.0	
	Office	3B+ G+8	35.20	Office	3B+ G	+ 10		Increase in
:	building	(pt) office	32.20	building	office		42.8	
i	(wing A)	floors	ļ	(wing A)	VIIICE	110015	42.0	two upper tloors
	Residenti	Stilt + 6	24.00	(**************************************	Stilt	+ 4	 	HOORS
	al Bldg	hahitable	24.00		habit			Addition of
	(Wing B)	floors						
	(wing of	TIGOES			floors	-	42.8	4 upper
					terrac	_		office 0
					upper			floors
71	Nr	l	Dec 18	ala I Maria	l flux	210	١	L
21		Tenements &		tial Tower: I				
	Shops			Ving A: 2.55		п.		
	Ī		Residen	tial wing B:	JO nos.			
	(0 10		.===					
22	Total Popu		4720 Na					
23	Total	Water	326 KU	D				
	Requireme							
24		round Tank	Residential Tower: Lower					
:	(LGT) loca	ition	Basement Office wing A & Residential Wing B: 2nd					
			Baseme:	nL				
25	Source of v	vater	MCGM					
26	STP C	apacity &	3 STPs of Total Capacity of 320 KLD, (160 KLD SBR, 16					
	Technology	<u>, </u>	KLD MBBR & 150 KLD MBR)					
27	STP Locati	on	Basement & Ground					
28	Sewage	Generation	270 KJ.I	Dike, 30% of	CAGOSS tr	cated w	ater to sev	ver line
	CMD & 1	% of sewage						
		in the sewer						
	line							
29	Solid Waste	Management	Туре	10	wantity (Kg/d)	Treatme	ent /
	during	Construction			•		disposa	ı
1	Phase		Dry was	re L	0 kg/day		Will be	handed over
1							to a recy	
:	i		Wet was	te 1	5 kg/day		Handed	
i			1141 77425	'	- againty		ı	al waste
							collecto	
]			Construc	alian L	xcavatio	T00	Nu fu	
			waste		material	Cum	- 1	
		l	SPERIOR	"	material	l v.um		atuyn is Association
		l						pated, the
		l						sal is for
		l						vertical
		l]		ision, C&D
		l				ì		has been
1 1	l					l	dispo	sed of as p or ju
		ı				1	0.00	INOC 1

30	Total Solid Waste	Турс	Paint container (@20L) Scrap metal generated Broken Tiles	15000f 0 cam 1500 cans 6Tons 2500 sqm	1 2
]"	Quantities with type				disposal
	during Operation Phase & Capacity of OWC to be	Dry waste	937 kg/day		Will be handed over to a recycler
	installed	Wet waste	652 kg/day		Composting by OWC - manure produced will be used at a site for landscaping, 3 OWCs of total Capacity - 400 & 300 Kg/day.
; 		E-Waste	4.5t on/yr		Will be collected and sent to MPCB authorized recyclers.
		STP Studge (dry)	13.5 kg/day	r	Dry sewage sludge will be used as manure for gardening.
31	R.G. Area in sq.m.	RG required = 46			
		RG provided on		= 200 sc	q. m.
	}	Podium RG = 46 Total = 4880.82 :	· · ·		
		Existing trees on The number of tr o) In RG area: 29 b) In Miyawaki I Number of trees Number of trees	the plot: 28 ees to be plan It nos. Plantation 00 to be out: 00		:

		Number of trees to be transplanted: 3				
32	Power requirement	During Operation Phase:				
		Details TATA/BEST				
		Connected load (kW) [16278 KW				
]	Demand load (kW) 9490 KW				
33	Energy Efficiency	a) Total Energy saving (%): Residential tower- 19 % & Wing A & B 16% b) Solar energy (%): Residential tower- 1 % & Wing A & B 2%Solar offset will be purchased for commercial bldg entire bldg, will run on clean energy				
34	D.G. set capacity	Lx 2250 KVA, 2 x 1500 KVA & 1x 500 KVA				
35	No. of 4-W & 2-W	4 Wheelers - Residential 23, MPPL-20				
	Parking with 25% EV	2Wheeler - 1,068 (Including 6 transport vehicle); MPPL				
L	_	803 (Including 9 transport vehicle)				
36	No. & capacity of	2 RWH tank is proposed which is having a total capacity of				
	Rainwater harvesting tanks /Pits	143 cu.m/day.				
37	Project Cost in (Cr.)	Rs. 979 Cr				
38	EMP Cost	Capital Cost- Rs. 1431.5 Lakhs, O and M cost- Rs. 139.91				
	CED D. C.	Lakhs				
39	CER Details with	It will be as per the OM dated 30th September 2020,				
	justification if anyas					
	per MoEF&CC circular :					
40	dated 01/05/2018 Details of Court	NA				
10		NA				
:	Cases/litigations w.r.t the					
	project and project location, if any					
	location, it any					

The comparative statement showing project details approved as per earlier EC and proposed project details is as given below:

Sr.		_		Details	·	
No.	Details İ	SIA/MH/MIS/42830/2018 Amen		For proposed Amendment / expansion	Remarks	
١.	Plot area	Sq.m.	20.117.24	20,117.24	No change	
2	FSI area	Sq.m.	88.047.07	90.975.71	FSI area increased by 2928.64 Sq. Mt. due to change in planning FSI area is as per BMC plan dated 14001.2023	
1	Non ESI area	Sq.m	1.28,863.13	143,827.85	Non FS1 Area is increased by 4964.72 Sq. m.	

4	Total Built up area (Construction area)	Sg.m.	2,16,910.20	2,24,803.56	Total Built up Area is increased by 7893.36; sq m.
5	Ground Coverage Squa. Plot Area		14141 (70.29%)	14141 (70.29%)	No change in Building footprint
6	Project Cost	Rs.	Rs. 1085.23 Cr	Rs. 979.00 Cr	Project cost is revised
	Buildin	Ēž	Building Confi Configuration	g <i>uration</i> Configuration	
7	Residential		2B + (r + 5 parking floors + 5 still + 6 structura)/ service floors + 3 fite check floors + 49 habitable floors, the 5th parking floor above the	floors + 46 habitable floors. The 5th parking	Decrease in three upper habitable floors
	PPL		2B + G = 4 parking floors	2B + G + 4 parking floors	No change
	Office building (wing A) Residential Bldg Office Bldg/(Wing B)		3B+ G = 8 (pt) office floors	3B+ G + 10 office fluors	Remaining portion of part 8th floor + additional two upper floors above it
			Stilt ÷ 6 habitable Rours + part Stilt + 6 habitable floors terrace+ 4 upper office floors		Addition of part terrace & 4 upper office floors
8			Number of tenants	s and shops	
.	Residential Tower	Nos.	18.3	135	Decrease in No. of tenements by 48
	Office Bldg Wing A	squi	19086.77	25579.03	Increase by 6498.26 sq. m.

	Residential Aldg. (Wing B)/ Office Bldg	Nos.	36	36	No Change		
	i —-	· · _ ·· · ·	No. of expected	Residents	•		
	Residential Tower	Nos.	915	810	Residents are decreased by 105 nos.		
9	мры.	Nos.	321	321	No Change		
	Office Bldg Wing A	Nos.	1908	3409	Increases by 1501 Nos.		
	Residential Bldg, Wing B	Nus.	180	180	No Change		
 	Total	Nus.	3324	4720	Total No. of expected Residents as increased by 1396 Nos.		
	Height of the building						
	Residential Tower	m	239 00	227.3	Decrease in height by 11.7 m.		
10	PPL	М	18.80	18.8	No Change		
	Office Bldg Wing A	m	35.20	42.8	Increase in height by 7.6 m.		
	Residentiat Bldg Wing B	m	24	42.8	Increase in height by 18.8 m.		
11	Total water requirement	KLD	268	326	Increase in total water requirement by 58 KLD		
ι≥	Wastewater generation	KLD	223	270	Increase in sewage generation by 47 KLD		
13	STP capacity	KLD	114, 4, 82, 23 Total ≃ 223	160, 10, 150 Total 320	Increase in STP capacity by 25 KLD In earlier EC the quantities of sewage generation were mentioned instead of STP capacity. Earlied the capacity of STP were 160 KLD, 10 KLD & 125 KLD		

					respectively.		
L4	Total Solid waste generation	Kg/Day	770	1589	Increase in total waste generation by \$19 kg/day		
			No. of Parl	king			
	2 Wheelers	Nos.	Residential 23, MPPL-20	Residential 23, MPPL-20			
15	4 Wheelers	Nos.	1,047; MPPL 803 (Including 9 transport vehicle)	1,068 (± 6 transport vehicle); MPPL 803 (Including 9 transport vehicle)	As per regulation		
	Green Relt Development						
16	Prop. Total R.G.	Sq.m.	4680.82	4 6 80. 8 2	No change		
	Power Requirement						
	Connected [gad	Kw	14213	16728	As per revised calc.		
17	Maximum Demand	Kw	7511	9490	As per revised calc.		
	D.G. sets	KVA	1 x 2250 kVA & 2 x 1250 kVA, 1x250kVA	1 x 2250 kVA & 2 x 1500 kVA, 1 x 500 kVA	As per revised calc.		
			Cost for E	MP			
18	Capital	Rs. In Lacs	1218	1413	Increase in EMP cost as per the revision in		
	O&M	Rs In Lacs	138.9	139.91	Environmental parameters		

3. The proposal has been considered by SEIAA in its 250th (Day-1) meeting and decided to accord Environment Clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implantation of following terms and conditions-

Specific Conditions:

A. SEAC Conditions-

- PP to submit IOD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions as per the Circular dated 30.01.2014 issued by the Environment Department, Govt, of Maharashtra.
- PP to obtain following NOCs & remarks as per amended planning: a) Water supply; b) Sewer connection; c) CFO NOC.
- PP to either explore to increase saving in energy up to 5% from renewable sources or submit registered equivalent/pro-rata green power purchase agreement.
- PP to provide 1.5 Mtr. RG strip all around the plot as per DCPR-2054 provisions & accordingly submit revised landscape layout.

- PP to submit revised tree list by providing shrubs on podium instead of proposed trees;
 PP to count trees planted on ground only for calculation of nos, of trees to be planted as per norms & revise tree list accordingly.
- 6. PP to use advanced technologies for dust suppression in addition to sprinkling of water in construction phase & revisit the monetary provision for various activities in EMP of construction phase and submit revised EMP.
- PP to paid balance scrutiny fee as per government resolution dated 18/06/2018.
- PP to current quantity of sewage generation & capacities of STPs provided earlier FCs
 obtained in 2018 & 2020 to the project.
- PP to reduce discharge of treated water up to 35%; PP to submit undertaking from concerned authority/ agency/third party for use of excess treated water generated in the project.

B. SEIAA Conditions-

- This EC is restricted for residential building Wing B up to 24.00 m height only as per CFO NOC.
- PP to keep open space unpaved so as to ensure permeability of water. However,
 whenever paving is deemed necessary, PP to provide grass pavers of suitable types &
 strength to increase the water permeable area as well as to allow effective fire tender
 movement.
- PP to achieve at least 5% of total energy requirement from solar/other renewable sources.
- 4 PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEP& CC vide F.No.22-34/2018-1A.III dt.04.01.2019.
- SEIAA after deliberation decided to grant EC for ·· FSI = 90812.59 133587.90 m2, Non FSI- 133587.90 m2, Total BUA- 224400.49 m2. (Plan approval No.EB/1108/GS/A/337/14/Amend. dated 10.01.2023) (Restricted as per approval)

General Conditions:

a) Construction Phase :-

- The solid waste generated should be properly collected and segregated. Dry/inert solid
 waste should be disposed of to the approved sites for land filling after recovering
 recyclable material.
- II. Disposal of muck, Construction spoils, including bituminous material during construction phase should not create any adverse effect on the neighbouring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in the approved sites with the approval of competent authority.
- III. Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashira Pollution Control Board.
- 1V Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mubile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.

- V. Arrangement shall be made that waste water and storm water do not get mixed.
- VI. Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other hest practices.
- VII. The ground water level and its quality should be numitured regularly in consultation with Ground Water Authority.
- VIII. Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
 - IX. Fixtures for showers, toilet Husbing and drinking should be of low flow either by use of serators or pressure reducing devices or sensor based control.
 - X. The Fnergy Conservation Building easle shall be strictly adhered to.
 - XI. All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- XII. Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- XIII. Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
- XIV. Pl³ to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas). Protection and Preservation of Trees Act. 1975 as amended during the validity of Environment Clearance.
- XV. The diesel generator sets to be used during construction phase should be low sulpbut diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- XVI. Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.
- XVII. Ambient noise levels should conform to residential standards both during day and night. Incremental pullution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- XVIII. Diesel power generating sets proposed as source of backup power for elevators and common area illumination during construction phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
 - XIX. Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environment cell /designated person.

B) Operation phase:-

1, a) The solid waste generated should be properly collected and segregated, b) Wet waste should be treated by Organic Waste Conventer and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises, c) Dry/inert solid waste should be disposed of to the approved.

- sites for land filling after recovering recyclable material.
- E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
- a) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP, b) PP to give 100 % treatment to sewage /Liquid waste and explore the possibility to recycle at least 50 % of water. Local authority should ensure this.
- 1V. Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the hurldings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.
- V. The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
- VI. Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
- VII. PP to provide adequate electric charging points for electric vehicles (EVs).
- VIII. Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
- A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
- X. Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.
- XI. The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at particeshmic.in
- XII. A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
- XIII. The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the

respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely: SPM, RSPM, SO2, NOx (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.

C) General EC Conditions:-

- PP has to strictly abide by the conditions stipulated by SEAC& SEIAA.
- If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution
 Control Board under Air and Water Act and a copy shall be submitted to the
 Environment department before start of any construction work at the site.
- III. Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
- IV. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
- V. The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proportent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Roles, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
- VI. No further Expansion or modifications, other than mentioned in the EIA Notification. 2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.
- VII. This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as it applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
- 4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
- 5. This Environment Clearance is issued purely from an environment point of view without prejudice to any court cases and all other applicable permissions/ NOCs shall be obtained before starting proposed work at site.
- 6. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.

- Vulidity of Environment Clearance: The environmental clearance accorded shall be valid
 as per EIA Notification, 2006, amended from time to time.
- 8. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.
- 4. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zune Bench, Pune), New Administrative Building, 1st Floor, D-Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.

Pravin Darade (Member Secretary, SEIAA)

Copy to:

- Chairman, SEIAA, Mumbai.
- Secretary, MoEF & CC, JA: Division MOEF & CC
- Member Secretary, Maharashtra Pollution Centrol Board, Mumbai.
- Regional Office MoEF & CC, Nagpur
- District Collector, Mumbai City.
- Commissioner, Municipal Corporation of Greater Mumbai.
- Regional Officer, Maharashtra Pollution Cuntrol Board, Mumbai.

EC Identification No. - EC23B039MH123060 File No. - SIA/MH/INFRA2/417166/2023 Date of Issue EC - 26/05/2023

Page 15 of 15



BRIHANMUMBAI MUNICIPAL CORPORATION ANNEXURE 20 & 22

OCCUPATION CUM BUILDING COMPLETION CERTIFICATE UNDER REG. 11(6) OF DCPR 2034 AND PART OCCUPATION UNDER REG. 11(7) /11(8) OF DCPR 2034

[EB/1105/GS/A/OCC/3/New of 27 December 2023]

To,
M/s. K Raheja Pvt. Ltd
Plot No.C-30, G Block, Raheja Tower, Bandra Kurla Complex, Bandra (E).

Dear Applicant,

The Part 5 development work of Residential building comprising of 45th (Part) + 46th habitable floor + 1 Service floor (between 45th and 46th Habitable floor) + Terrace i.e. Full occupation permission for Club House and Residential building in phase -1 on plot bearing CS No. 2/1629,1A/1629 of Division Lower Parel at Doordarshan Tower is completed under the supervision of Shri. KASTURI KEDAR PEWEKAR, Architect, Lic. No. CA/97/20974, Shri. Girish Purushottam Dravid, Structural Engineer, Lic. No. STR:840004515 and Shri. Mohit Adelkar, Site supervisor, Lic.No. A/179/SS-I and as per development completion certificate submitted by Architect and as per completion certificate issued by Chief Fire Officer u/no. EB/1105/GS/A-CFO/1/New dated 27 December 2023. The same may be occupied and completion certificates submitted as sighted above are hereby accepted.

The PART OC is approved subject to following conditions:

1.That all the conditions of I.O.D. under even No. dated 03/08/2005 and amended plans approval letter dated 14/05/2012, 01/03/2013, 31/12/2013, 21/03/2016, 04/05/2017, 13/02/2018, 22/06/2018, 24/01/2019, 22.10.2020,19/03/2021,14/08/2021 20/02/2022 & 10/01/2023 shall be complied with before asking full OC.

2. That the balance conditions of Part OCC dtd. 07/09/2016, 27/09/2019, 10/06/2020 & 18/12/2020 shall complied with before asking full OC.

Copy To:

- 1. Asstt. Commissioner, G/South
- 2. A.A. & C., G/South
- 3. EE (V), City
- 4. M.I., G/South
- 5. A.E.W.W., G/South
- 6. Architect, KASTURI KEDAR PEWEKAR, Plot No. C-30, Block "G", Opp. SIDBI, Bandra Kurla Complex, Bandra (East) For information please



Yours faithfully Executive Engineer (Building Proposal) Brihanmumbai Municipal Corporation





MUNICIPAL CORPORATION OF GREATER MUMBAI APPENDIX XXII

PART OCCUPANCY CERTIFICATE

[EB/1105/GS/A/OCC/1/New of 10 June 2020]

To,
M/s. K Raheja Pvt. Ltd
Plot No.C-30, G Block, Raheja Tower, Bandra Kurla Complex, Bandra (E).

Dear Applicant/Owners,

The Part 2 development work of Residential building comprising of 4th and 5th (Below Tower Portion) parking floor + 23rd to 35th habitable floors + 1 service floor(Between 27th and 28th habitable floor) and 1 fire check floor(Between 25th and 26th habitable floor) and club house on plot bearing C.S.No./CTS No. 2/1629,1A/1629 of Division Lower Parel at Doordarshan Tower is completed under the supervision of Shri. KASTURI KEDAR PEWEKAR , Architect , Lic. No. CA/97/20974 , Shri. Girish Purushotam Dravid , RCC Consultant, Lic. No. STR/D/59 and Shri. Mohit Adelkar , Site supervisor, Lic.No. A/179/SS-I and as per development completion certificate submitted by architect and as per completion certificate issued by Chief Fire Officer u/no. EB/1105/GS/A-CFO/1/New dated 04 March 2020.

It can be occupied with the following condition/s.

- 1) That all the balance conditions of I.O.D / amended plan approval letters shall be complied with before asking further OC.
- 2) That the remaining work shall be carried out as per approved amended plans.
- 3) That all the safety and precautionary measures to safeguard the occupants and neighborhood shall be taken while executing the remaining construction works.

Copy To:

- 1. Asstt. Commissioner, G/South
- 2. A.A. & C., G/South
- 3. EE (V), City
- 4. M.I., G/South
- 5. A.E.W.W., G/South
- 6. Architect, KASTURI KEDAR PEWEKAR , Plot No. C-30, Block 'G', Opp. SIDBI, Bandra Kurla Complex, Bandra (East)
 For information please



Name : JADHAV RAJENDRA ANANDRAO

Designation : Executive

Engineer Organization : Municipal

Corporation of Greater Mumbai Date: 10-Jun-2020 16: 09:20

Yours faithfully
Executive Engineer (Building Proposals)
Municipal Corporation of Greater Mumbai
G/South



MUNICIPAL CORPORATION OF GREATER MUMBAI APPENDIX XXII

PART OCCUPANCY CERTIFICATE

[EB/1105/GS/A/OCC/2/New of 18 December 2020]

To, M/s. K Raheja Pvt. Ltd Plot No.C-30, G Block, Raheja Tower, Bandra Kurla Complex, Bandra (E).

Dear Applicant/Owners,

The Part 3 development work of Residential building comprising of 2nd parking floor + 5th parking floor (Beyond Tower Portion) + Stilt + 36th to 45th habitable floors + 1 service floor (Between 37th and 38th habitable floor) and 1 fire check floor (Between 42nd and 43rd habitable floor) on plot bearing C.S.No./CTS No. 2/1629,1A/1629 of Division Lower Parel at Doordarshan Tower is completed under the supervision of Shri. KASTURI KEDAR PEWEKAR , Architect , Lic. No. CA/97/20974 , Shri. Girish Purushotam Dravid , RCC Consultant, Lic. No. STR/D/59 and Shri. Mohit Adelkar , Site supervisor, Lic.No. A/179/SS-I and as per development completion certificate submitted by architect and as per completion certificate issued by Chief Fire Officer u/no. EB/1105/GS/A-CFO/1/New dated 10 December 2020.

It can be occupied with the following condition/s.

- 1) That all the balance conditions of I.O.D / amended plan approval letters shall be complied with before asking further OC.
- 2) That the remaining work shall be carried out as per approved amended plans.
- 3) That all the safety and precautionary measures to safeguard the occupants and neighborhood shall be taken while executing the remaining construction works.

Copy To:

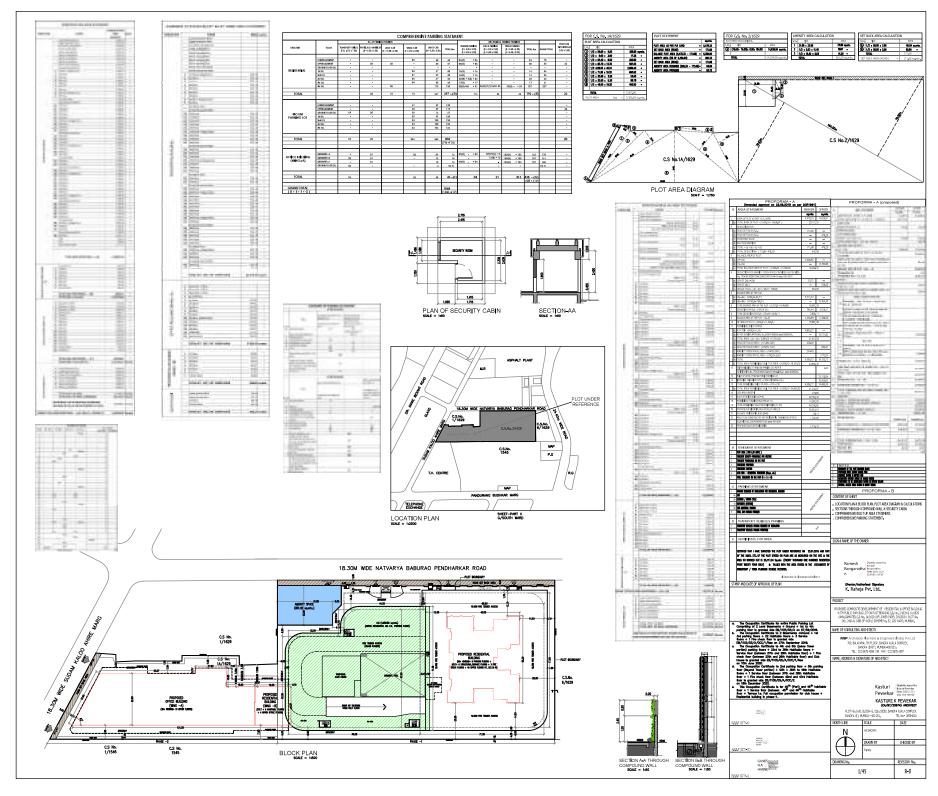
- 1. Asstt. Commissioner, G/South
- 2. A.A. & C., G/South
- 3. EE (V), City
- 4. M.I., G/South
- 5. A.E.W.W., G/South
- 6. Architect, KASTURI KEDAR PEWEKAR, Plot No. C-30, Block 'G', Opp. SIDBI, Bandra Kurla Complex, Bandra (East) For information please

Name : JADHAV RAJENDRA ANANDRAO Designation : Executive

Organization : Municipal Corporation of Greater Mumbai Date : 18-Dec-2020 14: 30:08

Yours faithfully Executive Engineer (Building Proposals) Municipal Corporation of Greater Mumbai G/South

Engineer



Municipal Corporation of Greater Mumbai

(Hydraulic Engineer's Department.)

C/7311/G/S-24 01 2022

Assistant Engineer
Water Works
G/ South Ward Office,
Brihan Mumbai Muncipal Corporation.

Certificate Form for provision of adequate water supply on Newly constructed premises before issue of Building Completion Certificate as required under Section 270 A of the Mumbai Municipal Corporation Act.

CERTIFIED THAT adequate water supply has been provided at the following premises within the Limits of Greater Mumbai, as required under the Mumbai Municipal Corporation Act.

Ward: - 'G/South'

Ward No: - (G-1759-60 (1) & 1762(1-2) 758-59 & 761-A -Account No.GS0408190030000

Street Not: -Residential Building on plot bearing C. S. No.1A/1629 and 2/1629, plot no. 248/B, 249 & 249-A of Worli scheme No. 52, Lower Parel Division, Natavarya Baburao Pendharkar Marg, G/South Ward, Mumbai.

Name of Owner: - M/s. K Raheja Private Limited.

Description of Premises:-Residential Building on plot bearing C.S. No. 2/1629 of Lower Parel Division, Plot No. 249, 249 - A of Worli Scheme No. 52, Lower Parel Division, Natavarya Baburao Pendharkar Marg, G/South Ward, Mumbai.

Nature of Occupancy:- Residential Building comprising of Lower Basement + Upper Basement + Ground + 5 parking floors + stilt + 1# floor + 45th upper floors along with Club House on Stilt floor level.

Remarks: To grant 65 mm dia Size water connection with 65 mm dia internal pipe for 30 mt Initial length and with 80 mm dia internal pipe line for rest 70 mt. final length with 80 mm dia size Private meter for the Residential Building comprising of Lower Basement + Upper Basement + Ground + 5 parking floors + stilt + 1st floor + up to 45th upper floors along with Club House on Stilt floor Level and 15 mm dia sub meter water connection for Club House u/s.169 of MMC act.

Requirement of Water: - Residential Building (69,300 liters/day) and
Club House (7,720 liters/day) Total Requirement = 77,020 liters/day

Occupation Certificate No: - Part Occupation Certificate u/no. EB/1105/GS/A Dated -18/12/2020.

'P' Form No: - C/7311/GS dated 16/03/2021.

Water connection granted on: - 20 January, 2022.

-sd-

Assistant Engineer (Water Work)
'G/South' Ward.

Copy to:- Owner - M/s. K Raheja Private Limited

Assistant Engineer (Water Work)
'G/South' Ward.

24/12

MUNICIPAL CORPORATION OF GREATER MUMBAI

SEWERAGE PROJECT DEPARTMENT

No. Dy. Ch/E/S.P/ 35 5 P&D

Office of the Dy. Chief Engineer (Sewerage Project) P&D,2rd floor, Engg. Hub, Stores Bidg., Dr. E. Moses Marg, Work, Mumbai 400018

To,

Mr. Nikhil Mehla (P.L.No.2451),
Raheja lower , Plot No. C-30, Block G,
Next to Benk Of Baroda,
Bendra Kurla Complex,
Bendra(Eest),
Mumbai-400051,

Sub:- Acceptance of Drainage Completion Certificate for the internal drainage layout with STP for the proposed **Residential building** on plot bearing C.S.No. 1A/1629 and 2/1629 , plot no. 248 B ,249 and 249 A of Worli Scheme No.52, of Lower Parel Division ,G/S ward Worll , Mumbai.

Ref:-

- 1) Your Letter dated 14/06/2019
- I.O.D. u/no- u/no. EB/1105/GS/A dtd 3/8/2005, last lamended on 22/6/2018...
 I.O.D. Holder; Director, K. Raheja Pvt.Ltd.
- Dy.Ch.E. (S.P.) P&D's approval dated 27/06/2019.

Gentleman.

By directions, the Drainage Completion Certificate submitted by you for internal drainage layout with STP of proposed Residential Building on the above mentioned plot is hereby accepted.

However, so fer as the house drains and street connection for the building on the above mentioned plot is concerned, you are requested to approach the Executive Engineer (B.P.) City- I & Asstt. Commissioner G/S ward.

Yours Faithfully,

Executive Engineer (Sewerage Project)

MUNICIPAL CORPORATION OF GREATER MUMBAI

Sawerage Projects Department

Ho.Dy.Chres.Pt. 35 | 41 Sipati 1 9 MAR 2020 Office of the Dy,ChE Engineer (Sewerage Project),P&D, Engg. Hub. Stores Bidg., 2nd floor, Dr. E. MosesRoad, Worll, Mumbai-400 018.

Mr. Nikhri Mehta(P L No.2451),

Raheja tower , Plot No. C-30, Block G,

Next to Bank Of Baroda,

Bandre Kurla Complex,

Bandra(East), Mumbai-400051.

Subject:- Revised NOC to the internal drainage byout for. Wing A & Wing B (Phase – II) the proposed on plot bearing C.S.No 1A/1629 and 2/1629 , plot no. 248 B ,249 and 249 A of Worli Scheme No.52, of Lower Parel Division .G/S ward Worli . Mumbai.

Ref: i) Your letter received on 23/1/2020

- ii) IOD u/no. EB/1105/E/A, dtd 03/08/2005 amended on 24/1/2019.
 I.O.D. Holden Director , K.Raheja Pvt. Ltd.
- EEMMS/5287/City of 29/11/2005.
- iv) Dy.Ch.E (S.P.) P&D's approval dtd 18/3/2020.

Gentlemen,

With reference to the above, by direction, there is no objection to connect excess treated overflow from STP for Wing A & Wing B(Phase II) on referred plot by pumping arrangement upto Balancing Chambers and 150 mm Internal ISIW Sewer line at 1:80 lope marked B-C , with new street connection marked B-A , as per the accompanying approved plans, subject to the following conditions.

- That the sewer line shall be laid as per the approved plan attached herewith.
- The work shall be carried out as per the Municipal Specifications and drainage bye-lews.
- 3) That the vent shaft of adequate size shall be provided at every need manhola/sewer trap chamber and at every 150 m intervals, along the sewer line.
- That the work of internal drainage layout shall be carried out through beensed plumber only.
- 5) That the conical manhole of 1 20M, dia. shall be constructed if the depth of manhole is between 1,50M, and 2 30M, and 1,50M, dia. Conical manhole shall be constructed if the depth of manhole exceeds 2,30M, but is less than 5.0M, as per Municipal Specifications with C.I. heavy air tight frame & cover, weighing 230 Kgs (Minimum).
- 6) That where the depth of the sewer is less than 1.50 M. the rectangular inspection chamber shall be constructed of size 0.90M, x 0.60M or 0.90 M, x 0.45 M, with 230 mm thick brick measurity in C.M. 1: 2 with both sides 20 mm. thick plaster in C.M. 1:1 with C.I. heavy air tigo: frame and cover (for 0.99 M; x

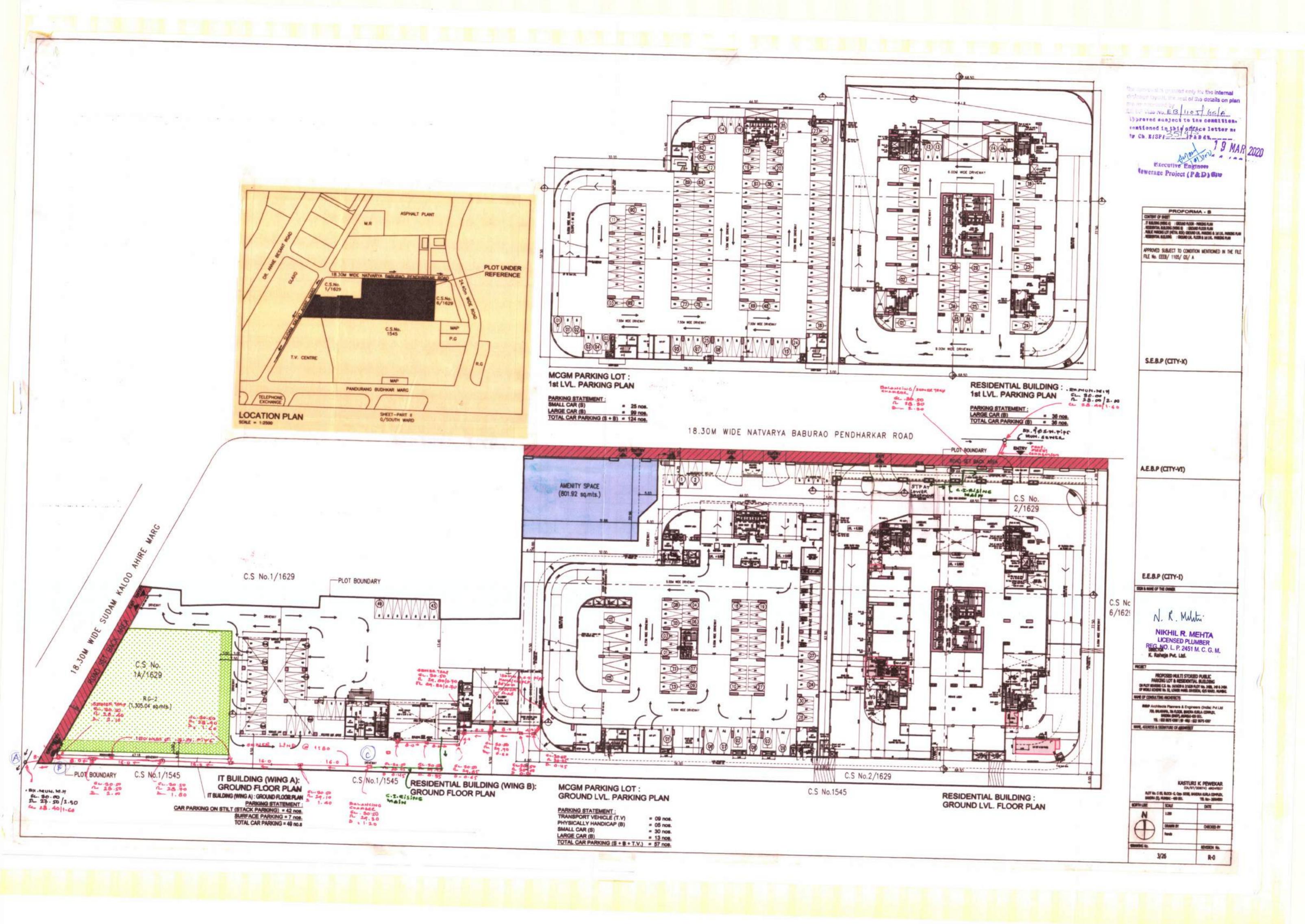
- 0.60M Inspection chamber the cover shall weigh 250 kg. (Minimum) and for $0.90~{\rm M}\times0.45~{\rm M}$. Inspection chamber cover shall weigh 270 kg. (Minimum).
- That the C.I. steps 5.40Kg, each shall be provided for M.H./Chamber at 300 mm c/c, distance staggered when the depth of the manhole/chamber exceeds 1.20M.
- 8) That the 30cm, thick 1:2:4 bed c.c. for concal M.H. of size 1.20M, dia, & 1.50M dia, 23 cm, thick 1:2:4 bed concrete for 0.90M,x0.60M,t.C. & 15cm, thick 1:2.4 bed concrete for 0.90M,x0.45M,t.C. shall be laid which shall be 15cm all along the external faces of the manhole/chamber.
- B) That the sewer should be fully encased with 15cm, thick M.150 (1:2:4) cament concrete when the average depth of the top of the pipe sewer is less than 1 meter and more than 3 meter & shall be half encased with 15cm. (1.2:4) cernent concrete when the average depth of the top of the pipe sewer is between 1 to 3 meters.
- 10) The necessary drop arrangement as per Municipal specifications should be provided in connecting the manholes where drop in the sewer exceeds 0.60 M.
- 11) That the sewer line laid shall be cleaned before applying to Assit. Commissioner 'G/S' Ward for connecting it to the existing Municipal sewer.
- 12) That after the work is completed the drainage completion certificate along with completion plan as per drainage work carried out shall be submitted to this office for acceptance.
- 13) That the house drain/down take pipe for all the buildings at the above mentioned premises should be got approved from E.E.(8.P)City-I.
- 14) That all pipes from ground floor upto 1st floor level shall confirm to 15:3989
- 15) That the location of Sawage Treatment Plant should be got approved from E.E.(B.P) City-I...
- 16) That the S.T.P. shall be maintained in working conditions by making suitable arrangements.
- 17) That a notarized undertaking on Rs 200/- stamp paper shall be submitted stating that the treated water shall be consumed for gardening, taundry, flushing etc upto maximum extent and the overflow from STP will be treated overflow only.
- 18) That you should approach Asst. Commissioner 'G/S' ward for connecting the treated overflow from S.T.P. of the residential building u/r to municipal sewer with new street connection after remitting the necessary charges for street connection and reinstatement. Remarks for the same shall be submitted to this office before approaching for D.C.C.
- 19) That the approval for the commissioning and ready for operation of the constructed sewage treatment plant (STP) shall be obtained from the concerned authority before approaching for D.C.C.
- 20) Drainage line from house gulfy, if any, may be diverted in consultation with A.E.(SWM) 'G/S' ward and beneficiaries of the house gully.
- 21) The excavated trenches for the drainage line shall not be filled up unless the joint inspection of the drainage work after submission of D.C.C. is carried out and approved by this office.

- 22) That you will have to submit revised proposal for approval of internal drainage layout to this office as and when the plans of the proposed development on the property under reference are amended.
- 23) That the sewer line near the underground water tank, shall be of C.I. with R.C.C. Chamber.
- 24) That all C.I. pipe sewer proposed shall be laid in single piece from chamber to chamber or MH to MH with full encasement.
- 25) That IOD holder/L.P. shall submit the undertaking for rectification of defects occurred during the functioning of internal drainage at the time of OCC.
- 26) This NOC is valid for one year from date of issue. NOC shall be revalidated every year by remitting revalidation fees.

Acc: 1 Plan.

Yours feithfully,

Executive Engineer (Sewerage Project) P.&D., City



BRIHANMUMBAI MUNICIPAL CORPORATION MUMBAI FIRE BRIGADE

Office of the Dy. Chief Fire Officer (R-II), Wadala Fire Station, Shaikh Mistry Dargah road, C.G.S. Colony, Opp. Mhada Colony, Antop Hill, Wadala, Mumbai-400 037.Telephone No. 24132058 Fax No. 24153027.

SUB: Fire Protection measures & Fire Fighting Safety requirements for the proposed Addition/Alteration/ Amalgamation/Amendment in High rise residential and office building with Public Parking lot on plot bearing C.S.No.2/1629 and 1A/1629 (Amalgamated C.S.No.1A/1629) of Lower Parel Division, Plot No. 249,249-A and 248B of Worli Scheme No.52, G/S Ward, Mumbai.

REF: i) Online File No. EB/1105/GS/A/CFO/1/Amend by Mrs. Kasturi Prakash Zankar, Architect.

MRS. KASTURI PRAKASH ZANKAR, ARCHITECT.

In this case, Fire protection & Firefighting requirements issued by this office vide No. FBM/507/196 dated 29/10/2007, for construction of high rise residential building comprising three ground floor on stilts, parking level-1, podium floor and 31 upper floors (including two refuge floors and 29 residential floors) with a total height of 163.50 meters from ground floor to terrace level as shown on plan (Treated as cancelled).

Further, Fire protection & Firefighting requirements issued by this Office vide No. FBM/508/425 dated 05/01/2009, for amended plans for high rise I.T. building having basement + Ground floor on stilts + 17 upper floors with a total height of 69.00 meters from general ground level to terrace level as shown on plan (Treated as cancelled).

Further, Fire protection & Firefighting requirements issued by the office vide No. FB/HR/City/39 dated 22/04/2010, for amended plans for high rise residential and parking building, Car parking building having two level basement + Ground floor + 1st to 10th upper parking floors with a total height of 38.55 meters from general ground level to terrace level and Residential building having Ground floor + 1st to 5th podium floors + 6th stilt floor + 1st to 33rd upper floors with a total height of 204.60 meters from general ground level to terrace level as shown on plan (Treated as cancelled).

Further, Fire protection & Firefighting requirements issued by this office vide No. FB/HR/City/343 dated 18/11/2011, for amended plans for high rise residential and low rise car parking lot building, Car parking building having two level basement + Ground floor + 1st to 4th upper parking floors (handed over to MCGM) + 5th parking floor for horizontal car parking and scooter parking for Residential building + top of 5th floor for Club House, Swimming Pool, kids pool with a total height of 23.40 meters from general ground level to terrace level (where both 5th floor and top of 5th floor accessible through residential building) and Residential building having Ground floor + 1st to 5th parking floors + 6th stilt floor +1st to 45th upper residential floors with a total height of 192.60 meters from general ground level to terrace level (where both

car parking and Residential building are interconnected at 5th floor and 6th (Stilt floor)as shown on plan.

Further, Fire protection & Firefighting requirements issued by this office vide No. FB/HR/City/119 dated 25/05/2012, for amended plans for high rise residential and car parking lot building, Car parking building having two level basement + Ground floor + 1st to 4th upper parking floors (handed over to MCGM) + 5th parking floor for horizontal car parking and scooter parking for Residential building + top of 5th floor for Club House, Swimming Pool, Kids pool with a total height of 24.00 meters from general ground level to terrace level (where both 5thfloor and top of 5th floor accessible through residential building) and Residential building having Two level basement + Ground floor + 1st to 5th parking floors + 6th Stilt floor + 1st to 37th upper residential floors with a total height of 182.70 meters from surrounding ground level to terrace level (where both car parking building and Residential building are interconnected at 5th floor and 6th (Stilt floor) as shown on plan.

Further, Fire protection & Firefighting requirements issued by this office vide No. FB/HR/City/473 dated 19/01/2013 for amended plans for high rise residential and car parking lot building, Car parking building having two level basement + Ground floor + 1st to 4th upper parking floors (to be handed over to MCGM) + 5th parking floor for horizontal car parking and scooter parking for Residential building + top of 5th floor for Club House, Swimming Pool, kids pool with a total height of 24.00 meters from general ground level to terrace (where both 5th floor and top of 5th floor accessible through residential building) and Residential building having Two level basement + Ground floor + 1st to 5th parking floors + 6th stilt floor + structural / service floor + 1st to 9th floors + Fire Check floor + structural/service floor + 10th to 18th floors + structural /service floor + 19th to 25th floors + fire check floor + 26th& 27th floors + structural / service floor + 28th to 37th floors + structural/service floor + 38th to 42th floors with a total height of 207.60 meters from general ground level to terrace level (where both car parking building and Residential building are interconnected at 5th floor and 6th (Stilt floor)as shown on plan.

Further, compliance of stipulated Fire protection & Firefighting requirements is issued by this office vide No. FB/HRC/R-II/33 dated 02/08/2016 for part occupation to occupy & use PPL comprising of two-level basement for car parking accessible by 9.00 meters wide two-way ramp & two car lifts + ground floor for car parking + 1st to 4th parking floors for car parking accessible by 9.00meters wide two-way ramp as shown on plan.

Further, Fire protection &Firefighting requirements issued by this office vide No. FB/HRC/R-II/22 dated 27/10/2016 for amended plans for high rise building comprising of three buildings i.e. high rise residential building, public car parking lot building and car parking building for residential tenants; high rise residential building having two level basements (-7.70 M) for horizontal car parking accessible by 9.00 meters wide ramp + ground floor for horizontal car parking & amenities + 1st to 5th podium (18.50 M) for horizontal car parking accessible by 9.00 meters wide ramp + 6th podium/stilt (24.00 M) for amenities + 1st to 45th upper residential floors (habitable floors) + lower terrace level for swimming pool & other amenities + upper terrace level with a total height of 227.30 meters from general ground level up to upper terrace level having fire check floors above 9th, 25th& 42nd habitable floors at the height of 68.60 meters, 136.40 meters & 208.10 meters

from general ground level and structural / service floor below 1st& 10th floor and above 18th, 27th,37th& 45th floors at the height of 31.70 meters, 70.40 meters, 107.30 meters, 146.00 meters, 186.80 meters & 221.60 meters respectively from general ground level; public parking lot building having two level basements (-7.55 M) for horizontal car parking accessible by 9.00 meters wide ramp & two car lifts + ground floor for horizontal car parking + 1st to 4th parking floors (17.90 M) for horizontal car parking accessible by 9.00 meters wide ramp & two car lifts (occupation is already granted to two level basements, ground & 1st to 4th parking levels will be used for public parking lot) + 5th parking level for horizontal car parking accessible by 9.00 meters wide ramp of residential building + on top of 5th floor for Swimming Pool, kids pool with a total height of 24.00 meters from general ground level to top of the 5th parking level (both 5th floor and top of 5th floor accessible through residential building) and one club house above top of 5th podium level comprising of lower ground (5th parking level) + ground (top of 5th parking level) + one upper level with total height of 8.00 meters from top of 5th podium level up to terrace level of club house and car parking structure for residential tenants having a ground floor for stack & horizontal car parking & 1st upper floor (pt) for welfare centre having height of 9.15 meters from general ground level up to terrace level. Car parking structure is connected to public car parking lot building at ground floor and PPL building residential building are connected at 5th parking level & top of 5th floor of PPL are connected to 5th podium & 6th podium level of residential building only as shown on plan.

Further, online Fire protection & Firefighting requirements issued by this office vide No. EB/1105/GS/A/CFO/1/Amend. Dated 27/06/2019 for amended plans for proposed construction of High rise residential building having two level basements (-7.70 M) for horizontal car parking accessible by 9.00 meters wide ramp + ground floor for horizontal car parking & amenities + 1st to 5th podium (18.50 M) for horizontal car parking accessible by 9.00 meters wide ramp + 6th podium/stilt (24.00 M) for amenities + 1st to 45th upper residential floors (habitable floors) + lower terrace level for swimming pool & other amenities + upper terrace level with a total height of 223.40 mtrs. from general ground level up to upper terrace level having fire check floors above 9th, 25th& 42nd habitable floors at the height of 68.60 meters, 136.40 meters & 208.10 meters from general ground level and structural / service floor below 1st& 10th floor and above 18th, 27th, 37th& 45th floors at the height of 31.70 meters, 70.40 meters, 107.30 meters, 146.00 meters, 186.80 meters & 221.60 meters respectively from general ground level; Public parking lot building having two level basements (-7.55 M) for horizontal car parking accessible by 9.00 meters wide ramp & two car lifts + ground floor for horizontal car parking + 1st to 4th parking floors (17.90 M) for horizontal car parking accessible by 9.00 meters wide ramp & two car lifts (occupation is already granted to two level basements, ground & 1st to 4th parking levels will be used for public parking lot) + 5th parking level for horizontal car parking accessible by 9.00 meters wide ramp of residential building + on top of 5th floor for Swimming Pool, kids pool with a total height of 24.00 meters from general ground level to top of the 5th parking level (both 5th floor and top of 5th floor accessible through residential building) and one club house above top of 5th podium level comprising of lower ground (5th parking level) + ground (top of 5th parking level) + one upper level with total height of 8.00 meters from top of 5th podium level up to terrace level of club house as well as High rise Office building i.e. Wing-A having three level basements (-14.30 mtrs) for stack car parking accessible by 07.50 mtrs. wide two-way ramp + ground floor partly on stilt + 1st to 8th upper floors for offices with total height 36.40 mtrs from general ground level up to terrace level with sports facility on terrace floor, as shown on plans; Low Rise Residential building i.e., Wing-B having ground floor on stilt + 1st to 6th upper residential floors with total height 24.00 mtrs. from general ground level up to terrace level, as shown on plans as shown on plan.

Further, compliance of stipulated Fire protection & Firefighting requirements is issued by this office vide No. EB/1105/GS/A/CFO/1/Amend. Dated 10/08/2019 for part occupation to occupy & use two level basements+ ground floor+1st to 5th podium + 6th podium/stilt+ 1st to 22nd upper residential floor of a high-rise residential building comprising two level basement + ground floor+1st to 5th podium+ 6th podium/stilt+1st to 35th upper residential floor as shown on plan.

Further, compliance of stipulated Fire protection & Firefighting requirements is issued by this office vide No. EB/1105/GS/A/CFO/1/Amend. Dated 04/03/2020 for occupation to occupy & use from 23rd floor to 35th floor of high-rise residential building including 1st fire check floor above 25th floor & 1st service floor above 27th floor & club of a high-rise residential building comprising of two-level basement+ ground floor + 1st to 5th podium + 6th podium/stilt + 1st to 35th upper residential floors as shown on plan.

Further, online Fire protection & Firefighting requirements issued by this office vide No. EB/1105/GS/A/CFO/1/Amend. Dated 19/08/2020 for amendments & addition / alteration on page no.4 & 5 for construction of High rise residential building having two level basements (-7.70 M) for horizontal car parking accessible by 9.00 meters wide ramp + ground floor for horizontal car parking & amenities + 1st to 5th podium (18.50 M) for horizontal car parking accessible by 9.00 meters wide ramp + 6th podium/stilt (24.00 M) for amenities + 1st to 49th upper residential floors (habitable floors) + lower terrace level for swimming pool & other amenities + upper terrace level with a total height of 239.00 mtrs. from general ground level up to upper terrace level having fire check floors above 9th, 25th& 42nd habitable floors at the height of 68.60 meters, 136.40 meters & 208.10 meters from general ground level and structural / service floor below 1st& 10th floor and above 18th, 27th, 37th& 49thfloors at the height of 31.70 meters, 70.40 meters, 107.30 meters, 146.00 meters, 186.80 meters & 237.20 meters respectively from general ground level; as shown on the plans. Public parking lot building having two level basements (-7.55 M) for horizontal car parking accessible by 9.00 meters wide ramp & two car lifts + ground floor for horizontal car parking + 1st to 4th parking floors (17.90 M) for horizontal car parking accessible by 9.00 meters wide ramp & two car lifts (occupation is already granted to two level basements, ground & 1st to 4th parking levels will be used for public parking lot) + 5th parking level for horizontal car parking accessible by 9.00 meters wide ramp of residential building + on top of 5th floor for Swimming Pool, kids pool with a total height of 24.00 meters from general ground level to top of the 5th parking level (both 5th floor and top of 5th floor accessible through residential building) and one club house above top of 5th podium level comprising of lower ground (5th parking level) + ground (top of 5th parking level) + one upper level with total height of 8.00 meters from top of 5th podium level up to terrace level of club house as well as High rise Office building i.e. Wing- A having three level basements (-14.30 mtrs) for stack car parking accessible by 07.50 mtrs. wide two-way ramp + ground floor partly on stilt + 1st to 9 th upper floors for offices with total height 30.00 mtrs. from general ground level up to terrace level with sports facility on terrace floor, as shown on plans; Low Rise Residential building i.e., Wing-B having ground floor on stilt + 1st to 6th upper residential floors with total height 24.00 mtrs. from general ground level up to terrace level, as shown on plans.

Further, compliance of stipulated Fire protection & Firefighting requirements is issued by this office vide No. EB/1105/GS/A/CFO/2/Amend Dated 10/12/2020 for occupation to occupy & use from 36th to 45th upper residential floors including one fire check floor above 42nd floor & one service floor above 37th floor as shown on plan.

NOW, THE ARCHITECT HAS UPLOADED ADDITION/ALTERATION & AMENDED BUILDING PLANS AND PROPOSED AMALGMATION, ADDITION/ALTERATION & AMENDMENTS IN HIGH RISE RESIDENTIAL BUILDING, WING A & WING B MENTIONED AS FOLLOWING:

HIGH RISE RESIDENTIAL BUILDING

1) ADDITION/ALTERATION.

i) Now Architect proposed Addition/Alteration in Occupied floors i.e., Ground floor, 3rd level parking floor, 2nd floor, 6th floor, 7th & 8th floors, 15th floor, 16th floor, 19th floor, 21st to 24th floors, 27th & 28th floors, 30th to 32nd floors, 34th floor & 36th floors.

2) AMALGMATION.

i) Now Architect proposed Amalgamation in Occupied floors i.e., 10th to 12th floors, 18th floor, 25th floor, 31st floor, 28th floors, 36th floor & 40th floor.

3) AMMENDMENT.

- i) Now Architect proposed entire 45th floor instead of earlier approved 45th part floor.
- ii) Now Architect proposed to delete 03 nos. of floors i.e., 47th to 49th floors due to which the total height of building now is 227.30 mtrs. instead of earlier approved 239.00 mtrs.
- iii) Now Architect proposed 01 additional service floor between 45th & 46th floors.

WING A (OFFICE BUILDING).

1) AMMENDMENT

- i) Now Architect proposed 01 additional office floor i.e., 10th floor due to which the total height of the building now is 42.80 mtrs. instead of earlier approved 39.85 mtrs.
- ii) Now Architect proposed to extend 3 level basement (common for wing A & wing B) depth from 14.30 mtrs. to 14.90 mtrs.
- iii) Now Architect proposed to extend floor area of 7th to 10th floor above Wing B.

WING B (LOW RISE RESIDENTIAL BUILDING).

1) AMMENDMENT

- i) Now Architect proposed to relocate Staircase & 02 nos. of Lift.
- ii) Now Architect proposed minor changes in floor wise users.

MINOR CHANGES IN FLOOR-WISE USERS OF THE BUILDING ARE AS UNDER:

HIGH RISE RESIDENTIAL BUILDING

Floor	Users of the Building
	ADDITION/ALTERATION
Lower Basement	As per earlier approved Plans by this department.
(-06.80 mtrs.)	
Upper Basement (-03.40 mtrs.)	As per earlier approved Plans by this department.
Ground floor	Society office + electrical meter room + telephone room + D.G. set room + Garbage room + party I assembly hall + ATM + electric sub-station + Cafeteria + pantry + service lift lobby + letter room + Space for female staff toilets + Space for Toilet & Shower.
1st & 2nd Podium floors	As per earlier approved Plans by this department.
3 rd Podium floor	Maintenance staff toilet + Horizontal car parking accessible by 09.00metres wide Ramp.
4 th & 5 th Podium floors	As per earlier approved Plans by this department.
6 th floor (Stilt)	As per earlier approved Plans by this department.
Service floor	As per earlier approved Plans by this department.
1st floor (refuge floor)	As per earlier approved Plans by this department.
2 nd floor	04 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).
3 rd to 5 th floors	As per earlier approved Plans by this department.
6 th floor	04 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).
7 th floor	Proposed 01 no. of Lower-level duplex flat + 03 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).
8th floor (refuge floor)	Proposed 01 no. of Upper-level duplex flat + 02 nos. of Residential flat + Refuge area.
9 th floor	As per earlier approved Plans by this department.
Fire check floor	As per earlier approved Plans by this department.
Service floor	As per earlier approved Plans by this department.
10 th floor	02 nos. of Residential flat (02 nos. of Residential flat Amalgamated).
11 th floor	02 nos. of Residential flat (03 nos. of Residential flat Amalgamated).
12 th floors	03 nos. of Residential flat (02 nos. of Residential flat Amalgamated).
13 th & 14 th floors	As per earlier approved Plans by this department.
15 th floor (refuge floor)	03 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat) + Refuge area.
16 th floor	04 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).

17 th floor	As per earlier approved Plans by this department.			
18 th floor	Proposed 01 no. of Lower-level duplex & amalgamated flat + 02 nos. of Residential flat.			
Service floor	As per earlier approved Plans by this department.			
19 th floor	Proposed 01 no. of Upper-level duplex flat + 03 nos. of Residential flat (Addition/Alteration in 02 nos. of Residential flat).			
20th floor	As per earlier approved Plans by this department.			
21st floor	04 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).			
22 nd floor (refuge floor)	03 nos. of Residential flat (Addition/Alteration in 03 nos. of Residential flat) + Water tank + Pump room + Refuge area.			
23 rd floor	04 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).			
24 th floor	04 nos. of Residential flat (Addition/Alteration in 02 nos. of Residential flat).			
25 th floor	02 nos. of Residential flat (02 nos. of Residential flat Amalgamated).			
Fire check floor	As per earlier approved Plans by this department.			
26 th floor	As per earlier approved Plans by this department.			
27 th floor	04 nos. of Residential flat (Addition/Alteration in 03 nos. of Residential flat).			
Service floor	As per earlier approved Plans by this department.			
28 th floor	03 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat & 02 nos. of Residential flat Amalgamated).			
29th floor (refuge floor)	As per earlier approved Plans by this department.			
30 th floor	04 nos. of Residential flat (Addition/Alteration in 01 no. of Residential flat).			
31st floor	03 nos. of Residential flat (Addition/Alteration in 02 nos. of Residential flat & 02 nos. of Residential flat Amalgamated)			
32 nd floors	04 nos. of Residential flat (Addition/Alteration in 02 nos. of Residential flat).			
33 rd floor	As per earlier approved Plans by this department.			
34 th floor	04 nos. of Residential flat (Addition/Alteration in 02 nos. of Residential flat).			
35 th floor	As per earlier approved Plans by this department.			
36th floor (refuge floor)	02 nos. of Residential flat (Addition/Alteration & Amalgamation in 02 nos. of Residential flat) + Refuge area.			
37 th floor	As per earlier approved Plans by this department.			
Service floor	As per earlier approved Plans by this department.			
38th floor	As per earlier approved Plans by this department.			

39 th floor	As per earlier approved Plans by this department.				
40 th floor	02 nos. of Residential flat (02 nos. of Residential flat Amalgamated).				
41st floor	Proposed 01 no. of Lower duplex flat.				
42 nd floor	Proposed 01 no. of Upper duplex flat + Proposed 01 no. of Lower duplex flat.				
Fire check floor	As per earlier approved Plans by this department.				
43 rd floor (refuge floor)	Proposed 01 no. of Upper duplex flat + Electrical meter room + Refuge area.				
44 th floor	Proposed 01 no. of Lower duplex flat.				
45 th floor	Proposed 01 no. of Lower duplex flat + 01 no. of Upper duplex flat.				
Service floor	For services.				
46 th floor	Proposed 01 no. of Upper duplex flat + Swimming pool + Plant room for services & equipment's.				
Terrace floor	Part terrace for Duplex flat + Part terrace open to sky for services -solar panel.				

WING A

Floor	Users of the Building			
	AMMENDMENT			
Common 3 rd level	02 nos. of Pump room + 02 nos. of Fan room + Area for			
basement	store & services + Surface & Puzzle car parking			
(-14.90 mtrs.)	accessible by 07.50 mtrs. wide ramp.			
Basement Level 2	02 nos. of Fan room + Area for store & services + U.G.			
(-10.40 mtrs.)	tank + Surface & Puzzle car parking accessible by 07.50			
	mtrs. wide ramp.			
Basement Level 1	02 nos. of Fan room + Commercial panel room +			
(-05.90 mtrs.)	Commercial electric meter room + Surface & Puzzle car			
	parking accessible by 07.50 mtrs. wide ramp.			
Ground floor	Double height entrance lobby + Single height entrance			
	lobby + Space for electric substation + Space for D.G. set			
	+ C.F.O. room.			
1 st floor	02 nos. of Office + AHU space for large double height			
	lobby + Meeting room + Pantry.			
2 nd to 5 th floors	05 nos. of office + 02 nos. of Meeting room + Pantry on			
	each floor.			
6 th floor	04 nos. of Office + 02 nos. of Meeting room + Pantry +			
	Refuge area.			
7 th to 10 th floors	02 nos. of Office + 02 nos. of Meeting room + Pantry.			
Terrace	Open to sky			

WING B

Floor	Users of the Building		
	AMMENDMENT		
Common 3 rd level	02 nos. of Pump room + 02 nos. of Fan room + Area for		
basement	store & services + Surface & Puzzle car parking		
(-14.90 mtrs.)	accessible by 07.50 mtrs. wide ramp.		
Basement Level 2	02 nos. of Fan room + Area for store & services + U.G.		
(-10.40 mtrs.)	tank + Surface & Puzzle car parking accessible by 07.50		
	mtrs. wide ramp.		
Basement Level 1	02 nos. of Fan room + Commercial panel room +		
(-05.90 mtrs.)	Commercial electric meter room + Surface & Puzzle car		
	parking accessible by 07.50 mtrs. wide ramp.		
Ground floor	Entrance lobby + Garbage segregation for Commercial		
	EWS + OWC Commercial, EWS.		
1st to 6th floors	06 nos. of Residential flat on each floor.		
Terrace	Yogalaya /Fitness center + Part terrace.		

THE DETAILS OF LIFTS OF THE BUILDING ARE AS UNDER; WING A

Lifts Type	Profile	Nos. of lifts
Passenger lift	Leading from 3 rd level basement to terrace floor	06 Nos.
Passenger lift	Leading from 6 th floor to terrace floor.	02 Nos.
Stretcher lift	Leading from 3 rd level basement to top floor	01 No.

One passenger lift from each bank shall be converted into fire lift as per norms. The lift lobby & common corridor at each floor level is naturally ventilated too outside air as shown on the plan.

WING B

Lifts Type	Profile	Nos.	of
		lifts	
Passenger lift	Leading from 3 rd level basement to terrace floor	02 Nos.	

One of the passenger lifts from shall be converted into fire lift as per norms. The lift lobby & common corridor at each floor level is naturally ventilated too outside air as shown on the plan.

MINOR CHANGES IN REFUGE AREAS:

RESIDENTIAL BUILDING:

Refuge floor	Required Refuge area in Sq. Mtrs.	Proposed Refuge area in Sq. Mtrs.	At the height in Mtrs.		
1 st floor	As per earlier approv	As per earlier approved Plans by this department.			
8 th floor	As per earlier approved Plans by this department.				
15 th floor	As per earlier approved Plans by this department.				
22 nd floor	As per earlier approv	ed Plans by this depar	rtment.		

29th floor	As per earlier approved Plans by this department.				
36 th floor	As per earlier approv	As per earlier approved Plans by this department.			
43rd floor	157.52 sq. mtrs.	157.52 sq. mtrs.	209.90		
In addition, above, terrace will be treated as Refuge area. Excess Refuge area shall be counted in F.S.I. as per DCPR 2034					

WING A

Refuge floor	_	Proposed Refuge area in Sq. Mtrs.	At the height in Mtrs.		
6 th floor	471.33	471.50 sq. mtrs.	23.80		
In addition, above, terrace will be treated as Refuge area. Excess Refuge area					

In addition, above, terrace will be treated as Refuge area. Excess Refuge area shall be counted in F.S.I., as per DCPR 2034.

THIS PROPOSAL HAS BEEN CONSIDERED FAVORABLY BY TAKING INTO CONSIDERATION THE FOLLOWING:

- **a)** The party has already obtained N.O.C. from this department FBM/507/196 dated 29/10/2007, FBM/508/425 dated 05/01/2009, FB/HR/City/39 dated 22/04/2010, FB/HR/City/343 dated 18/11/2011, FB/HR/City/119 dated 25/05/2012, FB/HR/City/473 dated 19/01/2013, FB/HRC/R-II/33 dated 02/08/2016, FB/HRC/R-II/22 dated 27/10/2016, EB/1105/GS/A/CFO/1/Amend. Dated 27/06/2019, EB/1105/GS/A/CFO/1/Amend. Dated 10/08/2019, EB/1105/GS/A/CFO/1/Amend. Dated 04/03/2020, EB/1105/GS/A/CFO/1/Amend. Dated 19/08/2020 & EB/1105/GS/A/CFO/2/Amend Dated 10/12/2020.
- b) The party has already obtained Full C.C. u/no. EB/1105/GS/A/FCC/1/Amend dated 26/07/2019 for **Residential building** up to 45th floor and same is constructed up to 45th floor, EB/1105/GS/A/FCC/6/Amend dated- 22/04/2022, for **Office building (Wing A)** up to 9th part floor and same is constructed up to 2nd floor & for **Residential building (Wing B)** up to 6th floor and same is constructed up to 4th floor
- c) The party has already obtained part occupation certificate from EEBP (City) u/no. EB/1105/GS/A/OCC/1/New dated- 27/09/2019 for 2 basements + Ground + 1st & 3rd parking floors + 22 habitable floors + 3 service floors + 1 fire check floor. of Residential building, EB/1105/GS/A/OCC/1/New dated-10/06/2020 for 4th and 5th (Below Tower Portion) parking floor + 23rd to 35th habitable floors + 1 service floor (Between 27th and 28th habitable floor) and 1 fire check floor (Between 25th and 26th habitable floor) and club house & EB/1105/GS/A/OCC/2/New dated- 18/12/2020 for 2nd parking floor + 5th parking floor (Beyond Tower Portion) + Stilt + 36th to 45th habitable floors + 1 service floor (Between 37th and 38th habitable floor) and 1 fire check floor (Between 42nd and 43rd habitable floor).
- **d)** F.R.D.'s is proposed for main entrance of each flat, office, staircases, lift lobbies etc. provisions.
- **e)** The inbuilt fixed firefighting system such as wet riser cum down comer, down comer hydrant system, fire alarm system, automatic smoke detection system, automatic sprinkler system, integrated system, voice evacuation system, public address system, Voice evacuation system, Fire control room etc. were recommended for compliance.
- f) This NOC is subject to approval by High Rise Technical Committee.

Architect is requested to scrutinize the plans as per amended DCPR-2034 & verify civil work and all other requirements pertaining to civil Engineering side including open spaces, corridors, staircases, amendments, height, refuge area in sq. Mtrs. & Floor occupancy of the building and if these plans, given open space is not

approvable then this NOC shall be treated as cancelled & refer back to this department for revised NOC also till then further process of issuing IOD & C.C. shall not be permitted.

In view of above, as far as this department is concerned there is no objection for the Addition/Alteration/ Amalgamation/amendment in Residential building, Wing A & Wing B for the construction of High-rise Residential cum Commercial Building having 2 level Basement (-(-06.80 mtrs.) + 1st to 5th Podium floors + 6th floor (Stilt floor) + Service floor + 1st to 9th upper residential floors + Fire check floor + Service floor + 10th to 18th upper residential floors + Service floor + 19th to 25th upper residential floors + Fire check floor + 26th & 27th upper residential floors + Service floor + 28th to 37th upper residential floors + Service floor + 38th to 42nd upper residential floors + Fire check floor + 43rd to 45th upper residential floors + Service floor + 46th upper floor with total height of 227.30 mtrs. from general ground level up to terrace level, Wing A having common 3 level basement (-14.90 mtrs.) + 1st to 10th upper commercial floors with total height of 42.80 mtrs. from general ground level up to terrace level & Wing B having common 3 level basement (-14.90 mtrs.) + Ground floor + 1st to 6th upper residential floors with total height of 24.00 mtrs. from general ground level up to terrace level, as per the details shown on the plans signed in token of approval, subject to satisfactory compliance of the following requirement:

- 1. All the requirements stipulated earlier vide online N.O.C. u/no. FBM/507/196 dated 29/10/2007, FBM/508/425 dated 05/01/2009, FB/HR/City/39 dated 22/04/2010, FB/HR/City/343 dated 18/11/2011, FB/HR/City/119 dated 25/05/2012, FB/HR/City/473 dated 19/01/2013, FB/HRC/R-II/33 dated 02/08/2016, FB/HRC/R-II/22 27/10/2016, EB/1105/GS/A/CFO/1/Amend. Dated dated 27/06/2019, EB/1105/GS/A/CFO/1/Amend. Dated 10/08/2019, EB/1105/GS/A/CFO/1/Amend. 04/03/2020, Dated EB/1105/GS/A/CFO/1/Amend. Dated 19/08/2020 EB/1105/GS/A/CFO/2/Amend Dated 10/12/2020 shall be strictly adhered to.
- 2. <u>REQUIREMENTS STIPULATED EARLIER SHALL BE CONSIDER WITH ADDITIONAL REQUIREMENT:</u>

FLAT ENTRANCE & STAIRCASE OF DUPLEX FLAT.

- a) The duplex flat will have access through the main staircase at each floor level
- b) Internal staircase of duplex flat shall be of non-combustible material.
- c) No combustibles shall be kept or stored in staircase/passages.
- **3.** All the Fire Protection & Fire-Fighting requirements stipulated in above said N.O.C.'s shall be applicable from Basement level / parking floors and upper typical floors level of building & each wing.
- 4. No any changes except as stated above and as shown on the enclosed plans shall be carried out on the premises unless permitted by this department.

The concerned party has paid scrutiny fees time to time as mentioned below;

Sr. No.	Reference Number	Scrutiny fees paid, Rs.	Gross built up area, sq. mtrs.	Receipt No.	SAP D No,	Ooc.	Date
1	Proposal FBM/507/196 dtd.29/10/2007	Rs.4,71,250/-	47,125.00 sq. mtrs.	261839			25-10-2007

2	Amendment FBM/508/425 dtd. 05/01/2009.	Rs.26,850/-	49,810.00 sq. mtrs.	0463565	1000213492	31-12-2008
3	Amendment FB/HR/City/39 dtd.22/04/2010	Rs.81,900/- Rs.7,35,000/-	81,690.00 sq. mtrs.	094701 094702	1000429247 1000429256	03-10-2009 03-10-2009
4	Amendment FB/HR/City/343 dtd.18/11/2011.	Rs.8,76,000/-	109550.00	3954191	1000992191	14-11-2011
5	Amendment FB/HR/City/119 dtd.25/05/2012.	Rs.6,99,000/-	1,44,500.00 sq. mtrs.	5881277	1001156027	25-05-2012
6	Amendment FB/HR/City/473 dtd.19-01-2013.	Rs.6,42,200/-	1,41,288.00 sq. mtrs.	5940561	1001317632	14-01-2013
7	Part O.C.PPL. FB/HRC/R-II/33 dtd. 02/08/2016	Rs.13,12,010/- Approval letter not issued.	1,38,406.00 sq. mtrs.	5280075	1002165940	11-06-2015
8	Amendment FB/HRC/R-II/22 dtd. 27/10/2016.	Rs.13,48,951/-	1,58,799.00 sq. mtrs.	0553216	1002581679	07-06-2016
9	Amendment EB/1105/GS/A/ CFO/1/Amend. dtd.27/06/2019.	Rs.56,33,140/-	2,09,134.00 sq. mtrs.		CHE/BP/28 127/19 CHE/28976 /19	07/06/2019 15/06/2019
10	Part O.C. EB/1105/GS/A /CFO/1/Amend dtd.10/08/2019	Not levied	92750.00 sq. mtrs.	Not levied	Not levied	Not levied
11	Part O.C. EB/1105/GS/A/ CFO/1/Amend dtd.04/03/2020	Not levied	23900.00 sq. mtrs.	Not levied	Not levied	Not levied
12	Amendment EB/1105/GS/A/ CFO/1/Amend dtd.04/03/2020	Rs435,559/- Autogenerated Rs.561,926/-	2,17,354.00 Sq.mtrs		CHE/BP/418 28/20 CHE//42077/ 20	13/07/2020 25/07/2020

Scrutiny Fees:

Now, the party has paid Scrutiny Fees of amount of Rs. 20,000/- under Online receipt no. CHE/BP/86635/22 dated 30.06.2022 & Rs. 5,57,854/- under Online receipt no. CHE/CFO/87336/22 dated- 12/07/2022 on the total gross built up area admeasuring 2,24,401.00 sq. mtrs., as certified by the Architect.

Fire Service Fees:

Architect has certified height of the building as 227.30 mtrs. & Total Gross built up area as 2,24,401.00 sq. mtrs. for the said High-rise Residential Building & as per schedule II of section 11(1) of Maharashtra fire prevention & life safety measure act 2006, has paid "Fire Service Fee" of Rs. 33,66,015/- vide CFC Receipt No./Online Receipt No. CHE/CFO/87336/22 dated- 12/07/2022.

Architect is requested to verify the total built-up area and inform this department, if the same is found to be more for the purpose of levying additional Scrutiny fees, if required.

Note:

- i) The Fire-Fighting installation shall be carried out by Govt. of Maharashtra approved Licensing Agency.
- ii) The width of Abutting Road & Open spaces is mentioned in plans as submitted by the Architect attached herewith & these parameters shall be certified by the Architect
- iii) The Schematic Drawings / Plans of Automatic sprinkler system, Automatic smoke detection system, Wet riser system, public address system, Manual fire alarm system shall be submitted to C.F.O. dept.
- iv) The area, size, etc. for the Sprinkler system, Detection system, Fire alarm system, Wet riser system, public address system, Fire duct, Electrical duct etc. to be verified & examined by M.E.P. Consultant.
- v) Separate necessary permission for any licensable activity shall be obtained from concerned authorities of M.C.G.M. / C.F. O's Department, till then shall not be allowed to use.
- vi) There shall be no tree located in the compulsory open spaces or in the access way near the Entrance gates.
- vii) This recommendation letter is issued only from Fire Protection & Fire-Fighting requirements point of view on behalf of the online application from Architect. If any matter pertaining to authenticity or legality shall be cleared by concerned Owner / Occupier / Developer / Licensed Surveyor. etc.
- viii) The plans approved along with this approval are issued from Fire Risk & Life Safety point of view only. Approval of these plans does not mean in any way of allowing construction of the building. It is Architect / Developers responsibility to take necessary prior approval from all concerned competent authorities for the proposed construction of the building.
- ix) As per Section 3 of Maharashtra Fire Prevention & Life Safety Measures Act. 2006, it is the liability of Owner / Occupier to provide the Fixed Fire-Fighting installations & shall be maintained in good working order & in efficient condition all the time, in accordance with the provisions of Maharashtra Fire Prevention & Life Safety Measures Act. or the Rules.
- x) This approval is issued without prejudice to legal matters pending in court of law, if any.
- xi) This NOC is subject to approval by High Rise Technical Committee.

Div. Fire Officer (Scrutinized and Prepared by)

Dy. Chief Fire Officer (Approved by)



भारतीय विमानपत्तन प्राधिकरण AIRPORTS AUTHORITY OF INDIA

AAI/20012//447/2006 -ARI (NOC)

Dt. 10th Oct., 2013 a

To M/s K Rahera Private Ltd. Plot No. C-30, Block G. Next to Bank of Baroda. Bandra Kurla Complex. Bandra (Tast)

Mumbai - 400 051.

Subject: Revalidation of NOC - Case No. MUM/317-K.

Sr

Please refer to letter No. Not dated 23° July 2013 through your subjective representative and letter dated 3° September, 2013 from M/s. K. Raheja Private Landou on the above mentioned subject for revarioation of the NOC issued by this office.

The NOC issued by this office vide lotter of evan number detect 221. August 2008 for construction of residential building by Ws. K. Raheja Pvt Ltd. at Milliannia hereby extended for another three greats incl. <u>upto 21st August, 2016</u>. The sound teans and conditions as mentioned in the NOC.

Inisiasues with the approval of the Commetent Aumority

Yours teithfully

ASST GENERAL MANAGER (ATC-NOU): for GENERAL MANAGER (ATM NOU):

Copy to

 The Regional executive Director' Western Region, Airports Authority of India. OS: Airport, Mumbai – 99.

Mumhai International Airport Ltd. (MIAE: CS: Airport, 15 Floor, Terrignating).
 Santagurz (F.), Mumbai – 400 099.

Guard File.

GM,NOC Bundle.

दूरभाष : २४६३२६५० | Phone : 24832950 फॅक्स : ६९.९९.२४६३२६६०। Fax : 91-11-24632990



Ref: MIAL/A0-A0S/REC/47/6230

Date: 08/07/2022

To. The Deputy Chief Engineer Building Proposal (City - I), G-1/2 Dosti Venus Off, S. M. Road, Opp Dosti Estate, Vidyalankar Marg, Nr. Vidyalankar College, Walmiki Chowk, Wadala (East), Mumbai 400037

Sub: Proposed composite development of residential and office building with Public Parking lot on plot bearing C.S.No.2/1629 and 1A/1629 (Amalgamated C.S.No.1A/1629) of Lower Parel Division, Plot No. 249,249-A and 248B of Worli Scheme No.52, G/SWard, Mumbai.

Ref: 1) MCGM BP File No: EB/1105/GS/A-AAI/1/New.

AAI NOC Case No: MUM/317-K; Date: 22/08/2008

Dear Sir.

This is in reference to MCGM online request on auto DCR, dated 20° May 2022, on the above mentioned subject.

Joint site verification of the building under reference was carried out on 23rd June 2022 in presence of MIAL representative and Mr. Vaibhav Samarth (A V.P. Projects – M/s K. Raheja Pvt Ltd). Please find attached picture of the building which was verified and details regarding top elevation (in meter AMSL) of the building are mentioned in the table below.

Building	LMR + Staircase Room	Antenna	Shed on Duct
Top Elevation	233.41	234.50	233.75

The NOC issued by AAI for this plot/building is for 235.48 m AMSL. The developer has provided obstacle lighting as per the guidelines specified in chapter 6 of OGCA Civil Aviation Requirement (CAR) Section – 4, Series B, Part - I.

The above is for your information and further necessary action please.

Thanking you,

Yours sincerely,

For Mumbai International Airport Ltd

Manoj Joshi

Sr. Manager-Airport Operation Services

Encl: As Above.

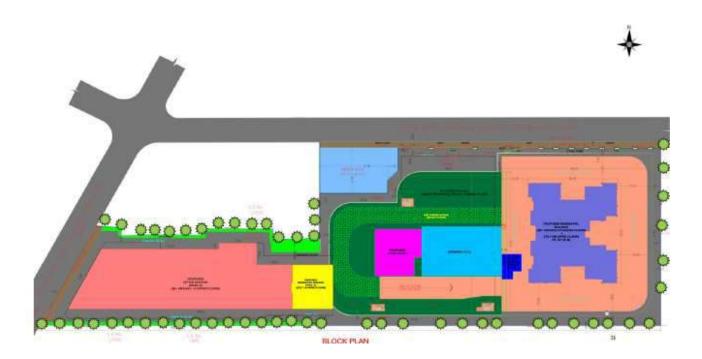
Mumbal International Airport Limited Chhatrapati Shivar Maharar International Airport Ist Floor Terminal 18. Santachuz (6), Mumbal 400 (99), Maharashira India CIN 1945/2004/2006/2016/164

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ANNEXURE X

1.5m strip of RG is provided as per DCPR







ANNEXURE XII





















MUNICIPAL CORPORATION OF GREATER MUMBAI

(Solid Waste Management Department)

Office of Executive Engineer, SWM SWM Zonal Office 2,

Application Number - EB/1105/GS/A/SWM/12/Amend, dated - 15 Jul 2021 Issued remarks Number /008079/2021/G/S/CTY Dated 15 Jul 2021.

To (Architect / L.S),

KASTURI KEDAR PEWEKAR

Plot No. C-30, Block 'G', Opp. SIDBI, Bandra

Kurla Complex, Bandra (East)

CC (Owner),

M/s. K Raheja Pvt.Ltd.

Raheja Tower,

Plot No. C-30.

Block 'G',

Next to Bank of Baroda, Bandra Kurla Complex, Bandra (E),

Mumbai-400051

Subject :-

Approval to Construction & Demolition Waste Management Plan for the site at CTS/CS Number 2/1629,1A/1629 of village

Lower Parel at ward G/South.

Reference:- Your application / online submission for C&D Waste Management Plan levelling & filling at designated site dtd. 15 Jul 2021.

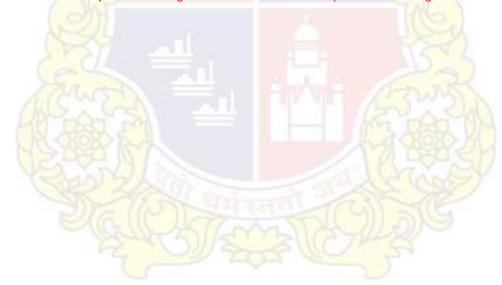
With reference to your application/ online submission, the Debris Management Plan submitted by you has been approved as per "Construction and Demolition Waste Rules 2016" and you are allowed to transport Construction & Demolition/ Excavation Material from construction site to the unloading site subject to following terms & conditions.

- 1. This approval is subject to the orders given by Hon. Supreme Court u/no. in SLP (Civil) No. D23708/2017 dated 15.3.2018. You shall follow this order of Hon. Supreme Court and instructions therein.
- You shall handle & transport Construction & Demolition Waste / Excavation Material to the extent of 1200 Brass only to the designated unloading site M/s. Navi Mumbai SEZ Pvt. Ltd., Village Dronagiri, Taluka Uran, District Raigad, Navi Mumbai (Part II).(Mr. Shabbir 9322340359 shabbirtransport@gmail.com) & validity 23 Jun 2022.
- 3. You shall transport the C&D waste with proper precautions and employ adequate measures safe guards to dispersal of particles through the air.
- 4. You have mentioned designated site for transportation of C&D waste for filling and levelling purpose. The C&D waste shall be transported and deposited at the designated site only The Landfill site (unloading site) shall be governed by the Construction and Demolition Waste Management Rules, 2016 and Solid Waste Management Rules, 2016.
- 5. In the event for any reason whatsoever, the consent given by the Designated Site / Agency is revoked or the time limit for the designated site has expired or the capacity of unloading site is exhausted. In such case the builder / developer shall forthwith stop the transportation
 - activities. The builder / developer shall submit revised Construction and Demolition waste management plan along with required valid documents for revalidation of existing C&D waste Management Plant.
- 6. The construction & Demolition Waste shall be transported through your Transport Contractor. The details of the same shall be uploaded in the system by the applicant at the time of actual transportation.
- 7. The deployed vehicles shall abide by all the R.T.O. rules and regulations. You shall ensure that the vehicles should be properly covered with tarpaulin or any other suitable material firmly to avoid any escape / fall of waste on road from moving vehicle. The body and wheels

- shall be cleaned and washed thoroughly to avoid spreading of waste on road.
- 8. The copy of approved Construction and Demolition Management Plan Shall be accompanied with each and every vehicle under this approval. The developer shall issue the proper Challan for each and every trip of vehicles and that shall be acknowledged by the agency of unloading site. The developer shall maintain record of C&D material transported and shall make it available to MCGM and / or Monitoring Committee whenever required for inspection.
- 9. The approval is granted presuming that the papers submitted by the applicants / Owners are genuine. For any dispute arising out of documents submitted by applicant, POA / Occupant / Owner shall be held responsible as prescribed under the law prevailing in force.
- 10. The approval granted hereto does not absolve the other approval required from the other department of M.C.G.M. OR Govt. authorities.
- 11. In case of disputes, court matters etc. related to the subject site / land / property, this approval cannot be treated as a valid proof.
- 12. In case of any breach of condition is brought to the notice of MCGM or Monitoring Committee, Show Cause Notice will be issued and decision will be taken within one month as expeditiously as possible, which shall be binding on you / land owner.
- 13. This approval is not a permission for excavation or permission for dumping but this is the only approval under Construction & Demolition Waste Management Plan for the transportation of Construction & Demolition Waste for unloading at designated unloading site.
- 14. You / Land owner shall submit valid Bank Guarantee from the bankers approved by the MCGM and the amount applicable as per attached table. The bank guarantee remains valid till grant of Occupation Certificate (OCC).
- 15. The license architect / license engineer shall upload compliance report in respect of Construction & Demolition Waste Management Plan, any breach will entitle the cancellation of building permission and work will be liable to stop immediately.
- 16. (A) Project Total Estimated Qty (Brass):29865
 - (B) Obtained NOC(s) Total Qty (Brass): 29855

Note:

- 1. The above remarks are system generated based on the input data submitted by Architect / Consultant / L.S and if in future it is found that the data is incorrect / fraudulent then the remarks deemed to be treated as cancelled and necessary action will be initiated.
- 2. The above remarks are system generated and does not require any signatures.
- 3. This C & D approval is issued subject to obtaining valid IOD / CC. Actual transportation shall begin after obtaining valid IOD / CC only.





Maharashtra Pollution Control Board

महाराष्ट्र प्रदूषण नियंत्रण मंडळ

Form 4

See rules 6(5),13(8),16(6) and 20(2) of Hazardous and other wastes 2016

FORM FOR FILING ANNUAL RETURNS

[To be submitted to state pollution control board/pollution control committee by 30th June of every year for the preceeding period April to march]

Industry **Unique Application Number:** Submitted On: Type:

MPCB-HW ANNUAL RETURN-0000036379 15-06-2023 Generator

Submitted for Year:

2023

1. Name of the generator/operator of facility Address of the unit/facility

Plot bearing CS No 2/1629 & 1A/1629 of M/s. K Raheja Pvt. Ltd. Lower Parel division, Plot No. 249 & 249 A, 248 B of Worli estate scheme No. 52,

Worli, Mumbai

Nov 11, 2020

1b. Authorization Number Date of issue Date of

validity of consent

Nov 10, 2025

Format 1.0/BO/CAC-cell/UAN No. 0000028220/CE(Exp) & Amalgamation/ CAC- 1808000657 dated 16.08.2018 & Format 1.0/CAC-CELL/UAN No. 0000076911/CE-1912000103 Dated. 04.12.2019 & Format 1.0/CAC-

CELL/UAN N

2. Name of the authorised person

Mr. Vaibhav Samarth (General Manager - Engineering)

Full address of authorised person

M/s. K Raheja Pvt. Ltd Plot bearing CS No 2/1629 & 1A/1629 Of Lower Parel division, Plot No. 249 & 249 A, 248 B of Worli estate scheme No. 52. Worli, Mumbai

Telephone Fax **Email**

02226564560 09167779454 vsamarth@kraheja.com

3. Production during the year (product wise), wherever applicable

Product Type * Product Name * Consented Quantity Actual Quantity UOM

OTHERS

NA as project is for Residential tower building. Multi Storied Public 0.0000 0 --NA--

Parking Lot building & Office Building, Residential Building

PART A: To be filled by hazardous waste generators

1. Total Quantity of waste generated category wise

Type of hazardous waste	Wate Name	Consented Quantity	Quantity	UOM
5.1 Used or spent oil	Used Oil or Spent Oil	0.100	0.150	KL/Anum

2. Quantity dispatched category wise.

Type of Waste	Quantity of waste	UOM	Dispatched to	Facility Name
5.1 Used or spent oil	0.150	KL/Anum	Recycler or Actual user	Mercury Metal Industries, Mumbai

3. Quantity Utilised in-house, If any

Type of Waste Name of Waste **Quantity of Waste UOM** KL/Anum 5.1 Used or spent oil Used Oil or Spent Oil 0

4. Quantity in storage at the end of the year

Type of Waste Name of Waste **Quantity of Waste UOM** KL/Anum 5.1 Used or spent oil Used Oil or Spent Oil 0

5. Quantity disposed in landfills as such and after treatment

UOM Type Quantity Direct landfilling NA KL/Anum Landfill after treatment NA KL/Anum

UOM 6. Quantity incinerated (if applicable)

NA KL/Anum

PART B: To be filled bt Treatment, storage, and disposal facility operators

UOM State Name 1.Total Quantity received

KL/Anum Maharashtra NA

UOM 2. Quantity in stock at the beginning of the year

NA KL/Anum

UOM 3. Quantity treated

NA KL/Anum

4. Quantity disposed in landfills as such and after treatment

иом Quantity Type Direct landfilling NA KL/Anum KL/Anum Landfill after treatment NA

UOM

5. Quantity incinerated (if applicable)

NA KL/Anum

UOM 6. Quantiry processed other than specified above

UOM

7. Quantity in storage at the end of the year.

KL/Anum NA

PART C: To be filled by recyclers or co-processors or other users

1. Quantity of waste received during the year

NA

Waste Name/Category Country Name State Name Quantity of waste received from Quantity of waste Units domestic sources imported(If any) NA India Maharashtra NA KL/Anum

KL/Anum

2. Quantity in stock at the beginning of the year

Waste Name/Category Quantity **UOM** NA KL/Anum

3. Quantity of waste recycled or co-procesed or used

Name of Waste **UOM** Type of Waste Quantity KL/Anum NA NA NA

4. Quantity of products dispatched (wherever applicable)

Name of product Quantity **UOM** NA NA KL/Anum

5. Total quantity of waste generated

иом Waste name/category quantity

NA	NA	KL/Anum
6. Total quantity of waste disposed		
Waste name/category NA	quantity NA	UOM KL/Anum
7. Total quantity of waste re-exported (If Applicable)		
Waste name/category NA	quantity NA	UOM KL/Anum
8. Quantity in storage at the end of the year		
Waste name/category NA	quantity NA	UOM KL/Anum
9. Quantity disposed in landfills as such and after treatment		
Type Direct landfilling	Quantity NA	UOM KL/Anum
Landfill after treatment	NA	KL/Anum
10. Quantity incinerated (if applicable)	UOM	
NA	KL/Anum	
Personal Details		
Place Mumbai	Date 2023-06-15	Designation General Manager - Engineering

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29/09/2023	MH04 H0 8154	MH04700070001350	11/09/2027.1	0/09/2024	UCON P.T.	34150 1 7467341701	Esw.	et	
7 30/09/2023	M412 Pg 0268	MH00101150003817	24/12/2022 2	23/12/2023	The state of the s	13046 89 693	च्यमिन्द	#	
30/09/2023	MH-48 AG-07-97	GJ01500190011924	10/08/2023	09/02/9024		Vaseom 3471024524	विकार	& Kumar	
9 01/10/2023	MH48 BM 9815	MH00402570002669	23/03/2023	22/03/2024	TNN.	(नुबेराबान 8459614540.	<u> अ</u> बेट बाग	pity.	
02 10 202	BUP-63 AT-4547	5,701,900 220003829	13/06/2023	12 6 2024	Sami Transport	Nangesh Bhai 226341327	क्षिमान/	RiKamar	
> 04/11/2023	MH-48 BM-5526	MH 04 600480003321	09 10 20 22	08/10/2023	Sanjay Transp 5		SHK14	R. Kumur	
			1 1	n=1 =1 = =1	11-11-1		n - 1	7 4.5	

43				STORY.		I be on	NEO DRIV	ER BISU	IP a south
SR NO	DATE	NON	PUGNO	PUC ISSUE IDATE	EXPRAI DATE	PITTO	VER DRIV		125 100 104 200
93>		MH04 HD.	MH00502610001205 1	2/02/2023	1/02/2024	सारा द्रापी समित	7387484606	Dw	ett
34	11/20/23	MH-47 4-7262	NEW '			K.R.C. Malad	Ahamad 7678096602	अडभट्ट	Rikumede
95> 4	14/10/23	MH-04 (F-0145	MH00402970002915	12 08/2023	11/08/2024	Vaish navli Transpor	7676991797	Quent	R. Kymer
967	16/10/23	MH-04 D-6384	MH04800880005208	18/01/2022	17/01/223	Solla Bronsp	Shiyam 9523421492	22446	asy Bikumas
97)1	6/20/23	MH-48 Ay-5810	MH00100570001958	25/01/2023	24/10/2024	Suptan Fromsp	214 Ziblas 9106959431	An in wats	R. Klemar
98/1	6/10/23	RJ-40 5A-452	HR04700630002003612	11/11/2023	10/11/2023	NEW Kumar Bron	Sammi 8696849943	याम	R.Kimes
93>	13/10/23	MH05 DIK 2788	MH0460L340011390	22/08/2018 15/05/2018	21/08/2024	Roshani Tempo ses-	9923930187	BAT	
(00)	19/10/23	MH01EE 4998	New	-		Kristing Toursport	Sanjeen Raja 9321264896	किंजु	
101.	22/10/hors	MH46 CL	New.	-		-Shirshaki Roadlikes	7038.99144	Bay	
102	22/10/23		MH0010066000393	1 15/11/202	2 14/11/2023	Bosti Wala Tonsport			R. Kumar
1.7	9/2/10/9	2 m/1 1 m/	210.1	-	-		AL 1.1	1	2. Kymer

43					1000	TRANSPORT I	DELLOW	BIGH S	SUP F	EMARK
SR NO	DATE	NEH	1	DATE	DATE .	NAME	NAME	. ,	. , .	
105.	2/10/2023		New.			Tezcariste our sei	1268937961	p. Sube	H	
106.	27/10/2013	9697 DOOIM 9828	New			SuPer Bharat Road	91318834		-	
67.			MH00101390002161	27/12/2023	26/06/2024	Roj water Supp	4076 208395	what mist	A	
108	27/10/23	MH48CQ 3678	New			Asol Stemposantice Shankshilk	अश्रीक पाइव 961950 5713	,1		/ 1
169	27/10/2		6002400070025035	20/10/2013	19/10/2024	399 damba Red	न् १८३६५६३०४	Aung	-2	
110	27/10/2023	MHOSKE	MH00200 4500 20509	29/03/2023	28/03/2023	POTER	MON ANSHU 8928792096	,	N	
M	30/10/2025		MH00402570002800	10/04/2023	09/04/2024	Inno pertors	serro)	ध्योण वल	N	
1127		4157 MH-14	NEW	-		Nav Nath Tronsp	Nag Nath 9373717630	MIGIETA	B.Kumi	2-2
113>		MH 13 BP 9862	mH0460050001032	0 18/0/23	17/01/2024	Proalcash Toursgent	town April	बिक्न स्वेम	**	
1147	-11-		mHc040395 (b00072	21/10/23	24/10/2024	Any checkineal	Arvind kumar 9867407233	Bet in out 300	n H	
		2.500	- Lan Filmon	aldination	02/03/2024	prohidha Ent.	yugesh	ysubut.	H	4

	A	The same		No. of Street, or other Persons and Street, o	- 100°	TRANSPORT	DRIVER		SIGN	REMARK
5R NO	DATE	NO	PUGNO	DATE	DATE	N Amt	NAME	SAUN T	10-	
17)	31/10/23	MH-03	MH 00300880008713	02/05/23	01105 124	J. k. Infra	Digmbar kolt	pikar	Ag	mere
18)	-11-	MH-01 EE-1029	MH00401920001674	25/9/23	24/09/24	Unique Elevators	Rajaram	Byrace	49	Die Land
(11)	01/11/23	MH04 LE 0721	New	-		Innuvetors	Rovi shankar 6393333605		A	0)
207	-1-	MH43 CE 3696	New	_	-	shivam Trunsport	Amornath Yad 6390356594	av Ashut	A	
121)	—n—			11/09/23	10109124	VHaracon	3 halbaz 7400341701	200	Ag	more
122)		MH-03 DV-8263	MH003005100547	22/09/23	21/09/24	Trunkye	Cymesh	अपेटा	AG	mero
23)			mH04700100031109	25/10/23	24104124	Om Sui	Balister Yadav 8928381906	Barsh	H	more
1247	०२/11/१3		mH043008000 7625		01/11/24	5.K. Khein Tanga	gayasuddin 1choin gco 4258328	cuos	H	
1257	-1-	M HOLER 3131	2 m10101320104608	26/01/23	25/01/2024	sed Express comics			*	more
126)		DV-3954	m400300880008713	02/05/23	01/05/24	T.K. Inform	Digentar koli 9702314981	you	H	nore
inni		note fold		15 12 12 2	14/12/23	mahi Francisort	Usuf Bhai	Marca	*	more

Ne di				puc 1	PUG	KULOLO	DRIVER		BISUP I	REMARK
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1797	03/11/23	1774468m	New		26/09/24	Bassowala	Kamal 9702177374	tees 1	AG	
(80)		mH46 BP 7209	New	22 Sort23	21/02/24	-1_	Habi Bur 7099291378	Loss	Al	
187)	-1-		mHW3c047av05080	23/01/23	22/01/24	BFS malling Enter- Prises (BFS)	10074ddin		H	
1827		m H03DV	New *	- .		Baddan J. K. Inf.	Badisha 9892422111	वीदशाह	-14	
1837		MH04LQ 2467	New	,		corrier Neel Kauth	Dinesty 9220976012	Coxyl	**	-
184)		MH-46 BP-4590	New	22/02/23	3	Bastiwelee	3iraj 6003542963	Stop	Al	
185)	10-	MH-48 CQ-3788	New	27109123		Jaiswal	Schraj Ali 9151173757	War.	-At	
186)	tı	- mH-11 CH-9666		13.101123	12/01/24	The Times of Aque	1 morem 964888514	Surg	11-11	
187)		CB-9509	mH00402570002984	22/05/23	21105/24	Asovrather Eterprises	mukesh Raj 9506904985	<i>व्युव्येखा</i>	H	
188>		9130			01/01/24	Agnae Seal	straj 9702821573	Souten;	W	
1891	04/11/2	3 mH-04	mH 04300740004722	05/09/23	04/09/24	Trunkye	Pursha-foun			

4					1270	The Later of the l				
		ALC: I		puc	PUL	TRANSPORT	DRIVER	DEIVER	SICH	REMARK
SR NO	DATE	NEH		DATE	EXPRAI	Ø.	1	17	1	1
140		NO I	19	DAIB	DATE	*				7
- 1		1 10				V 0 C	Dinesh		Al	
011	ablulan	mH-03	MH00300950008117	30/01/23	29/01/24	K. R. C.			P.	"
191)		CP-5602	11100200 12000 0 114						4-9	V17 1
		Changer				Ashaku Sormat.	Anil mahte	Anil 1	AS	4-6
7/200	+ 1	100	MH647000 8000 2755 1	6/08/2-23	15/02/2024	HShaka Sovrat	7977251980.	11.	- 1	-
192)	05/11/23	MH 48 HG	MHB 41600 DEGO 2753	100100	13.000		111701100			
		95 94				- C (1)	Marech		4	
12.2		must Tra	MH00402570001647	17/11/2022	-16/11/2023	Sara (Innovator)	Naresh 7387484606	ente	Ag	16 78
193	1	3805					- 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1	100		21.01.036-
		COMPANY				AKSha Soxu Temposem	MAKShow Ghoror	Aloxal	1-11	-
101	1	Court Vision	MH00582610001205	12/02/2023	11/02/2024.	Hoha som lampered	8552852531			
194		MHOY HID.	THE STATE OF THE S	1001			W.E.	(A)	1	
		6384				Innuoter	Samol	स्रोत	*	
195	06/11/23	mH+48	MH00402570002800	10/04/23	09/04/24	71,100,101	9919936284			
1.12	00/11/20	CB-4157					21	11111		
		119.7				Raman Jean	Ramsanjeevan	Pom Sajivan	++	
196		mH-48	mH00100570001958	25/01/23	24/01/24	Jan San Jacoban	9106959431			1.1.1
1-1-10		194-2810				The second second				
		77.7				K. Rahej PVTLETD	9026565125	DiliP	A	
107	poliupon	3 1111/1/ 120	B MH 001012-200034	20112122	19/12/2023	V KING ALL ID			100	tilare mail
197	OR MILE	9346	S8					1 11		
						Shri fam Engo.	Lalit Garra	red	1135	100000
198	09/11/25	3 MHGG A	M 0460001001575	0 10 01/23	5 09 01/24	(KiRoheya P. Ltd.)	A TA	- 0	1-14	
120		turn				a war ar water		-	-	
100	00/11/0	3 MHOUT	1U MH004025700011	6 17/11/2021	2 16/11/2023	Town or The Town of the Town o	7387484606			1 74
199-	02/11/3	3805	47	0				161	3	
				1		Om Sai Bisleri	8369047502	To the	Da	
200	10/11/23	3 mH-47	MH 04701170002439	7 02/10/2	3 01/10/24		8369047502	1000		15
		AS-169				-				
		The				Shri Rom Engg CK. Ruhe	ja talit. Goware	C8.		
201.	uluban	5. WH448	M MH046000 1001575	0 to/01/202	3 09/01/2024	entito san	9890524972	. 0		
201.	THE PARTY OF THE P	11 61 101				N. K. C. M. M. M.			1	

100	and the same	عد الح			X-JAN JH			-	
5R NO	DATE	NO	PUCNO		EXPRAI	TRANSPORT	DRIVER	DRIVER	BISUP REMARK
	1	1		DATE	DATE I	1	1	1	
203)	15/11/2023.	MH 03 DU 5052	MH003022/0002199.	22/04/2023.	22/09/2024	Masson Plastos	md: Sorals 9082489209	श्रीहराव	A4
1	1.5	HE TOTAL	MH 00 40 25 7 000 27 36	10/04/2023	09/04/2024	Down Votar Company	Ravi Shankar 800 34 86 05:	10 miles panel	2002iaz R.Kumez
2057	18/11/2013-	MH 47 BL	New.			Haresh-Transpot	5: Singh.	9	tt
206/-	18/21/202	3 MH-11 CH-4361	MH0470063000 9265	25/03/202	3 24/03/23/24	Tystoigling Tron	Lov men 8369881272	De la companya dela companya dela companya dela companya de la companya de la companya de la companya dela companya de la companya de la companya dela company	f. Kumar
207	20/11/23	MH03CV	New	222/05/2028			Bankar	8	43
208	21/11/23	MH04 HD 2641	MH00101821004527	16/11/23	15/5/24	Schlary	9139796083 ma-sarry	Doll	Phone
209 8	21/11/23	MH-04 JU-3002	MH 04		19/02/2024	Yadow Tronspo	Raju yadow 7045099466	Porge	R. Karala
210 2	12/11/13	MH48 Ay 5810	m 4000100100195	25/0/23	24 161 24	GUPAG TECHS	4106959431	राम संजीवन्त्र	" Anus
222/0	14/11/23 E	MH-05 M	14 80 100 S1 000 3373	03/05/2023	08/05/2022	उध्याम् विहार	Iwala Bass	-80_	R. Kands
212)-		MH-02 N G-4212	HOOSE 269 000 40 83	13 03 2023	12/03/2024		Imaran 7652084817	Sim	R. Kumoz
213).	D.	1H-03 N N-7747	MHODV MHO \$025 7002796	10/4/23	9-14-3	Twentay	7007040546	आर्विह	- R.Kumarz
-1/7-	11-	MHOSLE							Morrie

00	DATE .	VEH	Table 1	PUC E	PUA	TRANSPORT	DRIVER	BIGH	SIGN REMARK
SR NO		NO I			DATE IN				,
1.216)	23/11/0	Mu 0188	nu12391502(97542	7/10/93	6 04 24	welcome Infra	8976726717	D	Aneura
1		BM-5520		2 4		,	63 92 31 53 83	रम्	R. Kumar
1	9	オーラスメイ		7140/23		R. N. Line Depo	Juy Kishan 9167443825	(मराविन्द्राम	R.Kanas
219	24/11/23	MH04 GF6154	MH60302153609599	-		omsai	810228122,99	SA	Around
1279)	24/11/23	MH47 BL 3021	New	-		Hari transcort	7387464071	अजय	Anrah
22	24/11/2023	m406510	muso101358004217	14/11/23	13/11/25	Basti Wa 19	73883.8526	राम भिलान	Anarel
222	24/11/2023	MHOI BR 1983.	M Hoolood 9000 4336.	07/10/2023	06/04/2024·	Welcome Tufan	8926226242 Shailed Ronds &	B	Arand
223	1	mH-03 CP: 1074	MH00301600012395	02/11/23	01/11/24	ACP-L Courier	Bhennolaus 9702286852	456146	
-			4 MH047000700013				Jahabaz 2400341701	ghaler	R.Kamon
225	- 1	DK-846				Kishamat Town	Tahise 9930557287	letter	R. Kusnar
226	· w	MH-43	MH 04300 8500 104	71 25/02/	120%3 Tr 101%0	Subhas From	subhash	artifice.	R. Kymas

5/2	DATE	4EH	PUC NO	PUC	PUG EXPRAS	TRANSPORT	DRIVER	DRIVER	SIGH	REMARK
NO NO		IND		DATE	DATE			1	1	
228 2	6/11/2023 1	OP63AT	350190022	07/08/20230	6/08/2024	Marik Toronsport	Baddik Khan 3892716560	रनद्भी भर	AI-A- P. Klim	2
23) 2	7/11/2023/	5637 MH-04 M	H 509023450 50141	15/12/2022	14/19/2023	Elevate HVAC	8149355236	- Chr	Aherrel	
30>-	_w K	V-0527 NH-03 N N-0270	1H04301140008264	05/09/2:23	04 09/2024	Shir Malhar Exterp	अहित्रस १८८०२०१९४८	038	R.Kumar	
(31)	lu-		1H00402570002796	10/04/2023	03/04/2024	H.M. Bronsport	Abadul Rahim 7461985186	र ही म	R.Kumaz	
232)		MH-01 CV-9469	MH04800420010006	8101123	07/01/24	Dhan Loxmi Tran	Hanumant 8310331339	besim	R.Kumar	-
233	28/11/201	BDD-01 M-9292	NEW			G.W.S. Teransport	Shobh Nath 9004340929	Zu Dunne	R. Kumate	
234)	ب والح	MH-47 BL: 3021	NEW	-		J.15	77109 90215	of. Charl	Akerkel	, i
1	1	3 mH-01 DR-9222				Harish Transpo	ATay Sarof 738740 4021	GACA	R. Kumarz	
236		HD, 670	MH 0050261500 120		A. Charles	sidhdharth Contini	yogendra 3833571627	400	A-Kunah	
237	> - u	MH-04 LE-072	MH 00 40257000	2796 10/01	12023 09 04 24		1	COOL	flored.	
238	> m	MH-DI	NEW	-		1 H.P. Fransport	9137335389	ZIZZIO	1	

W. T. 1966									-	
SR.	DATE	TIEH	PUGNO	PUC I	PU S EXPRAI	TRANSPORT	DRIVER	DRIVER	HO18	REMARK
NO	T	INO	4	DAJE	DATE III		Ram Rauchan 9561.888105	724	Gla	and the same
		9621	my 4601420016249	15/n 3		Mahi Townsp	Yuluf 23 6 00 71155	May Contain	4	umer-
391) 2	701/24	MH-48 CB-8388					Halim Khan 7715083870	स्थिड	R	Kumar
392)	27/01/24	MH- 01	New .		19/10/24	Innvoters	Abid 7007040546	आविट		RKumalz
3937		EE-1574 MH.03.DVI 3954	mnn300880008713	02/05/23	01/05/2024	Arrgan Line Depot	Sonu 7756039853	क्रोच		Sw.
394)	29/01/23		m H04600260018130	31/10/2023	30/10/2024	NEW Swarastra T.	Rongila gode 7358600997		T	R. Kumaz
395			MH04601280010398	17/03/2023	1603 2024	Harrish Chardres Single		31474		R.Kumas
096	20101124		m+10502615001205	12/02/2023	11/02/2024	R. N. Treusport	Jaikishen- 9167443825	(म्हाकिकाना		Sec.
397	>-1-		VMH0030047050572	18 29/08/2	3 29/08/2024			250		R. Kymes
298)	-1-		155 to 005 acoladam 8	0/101/2023	31/03/2024	Innovator	8209486051			
399)	30/01/2	094 MH-48	8 MH00302400003335	-31/02/2023	30/01/2024	TNEW Swarrestra	Japed 8948143831	७ मार्चे ५		R.Kumer
		BM-3853	5.			11: 0 0-	1 1 1 1			DV. B

DRIVER BISUP DETTER PUC PUG RANSPORT REMARK NEH SR DATE PUC NO SIGN SIGH ISSUE EXPEAT NAME NI Amati NO MHO41KU MHOOGO 34000141 15/12/22 240) 1/12/23 13/12/23 HOMMIN Immusete horal 0547 Allet 8788771038 MH604025700-2669 22/3/24 2417 -1-23/3/23 MAH48BM Innvotor 54les Khan 9815 ध्यार खाव 883-871282 Muchel 2427 03 12/23 MHOICV 3107/24 01/08/23 mH00100530002986 Grelam show J.D.C. 3896 9769 239403 62 ,243) 03/12/23 MHOIEE New J.D. C mabin Ahmad ary TE 3731 9892084666 244) 03/12/23 MH48 CQ New Innovetors Punkay Dube Yahar TE 8388 7386615750 245) 03/12/23 MH-48 MHO48 0088 0007446 08/03/2023 07/09/2024 Inac Votor Company Villek yadal kiver & Kumar CB-9505 6307003459 MH0=5012510001205 MHO4 HD 246) 4/12/23 12/2/23 11/2/25 Innholer 7387486666 6384 1800 247) 04/12/23 MH-48 MH004002570002800 10/04/2023 09/04/2024 Inm Vator Company Takhat Singh R.Kamar CB-4157 7007040846 311/02 248) 5/12/23 MH48 Ay MHOD 1002 500075001 27/1/23 2511/25 राम संजीवना स्म 9106954931 GUPTE Trus 5810 MNOIDR MHOOGO 3400005105 2492 9/8/24 10/8/23 Kerupt 9967484816 J. F Juten Harl 2487 250) M4049A MHC0302150009599 6/4/24 7/10/23 6/12/23 8108422782 38 omsai 6757 2517 1 - MHO3 MH80302410002179 - 41-1 a notato ...

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SR NO	DATE	VEH	PUGNO	PUC	EXPRAI	TRANSPORT	DRIVER	DRIVER		REMARK
2527	6/12/23	1646	myousetyouser		9/8/24	om say	7738187749	Perg	Ahund	
2537	7/11/12	PB 05 A1			26/16/23	· Uftam Roadway	8652330213	Sel	Ahred	
255)	7/12/23	6821 MM 01 Ar 20 = 5	MH0010124002047	2817/23	27/1/24		-तिवारी	क्तनारी	Alony	
255	07/12/23 K	MH-04 V-5328	MH 80 101330009155	19/08/2023	18/08/2024	Parter Transpo	Shahir 9892208801	76	Rekumi	
256)		MH-03 DC-7976	MH004034000607	5 19 10 2023	18/10/2024	Mostor and song			Kr Kun	2
2579		MH-04K) 2264	FMHU0101220003439	9 08/12/2022	07/12/2023	Bastiwala (KR.C)	5iterdsa 8173935076	क्षितेन्द्र		
2587	8/12/23	MH04 FP-5725	mH04760108031109	25/10/23	24/4/25	om sai	Balister 1/20/20	Band	Anand	
2597	8/12/23	MH 04 LE3540	MH04601650001675	19/12/22	8/12/23	prince Cable	9548439160	Milast	Anun	
260)	ळ्यायय	1990	mH0050_3010000201	26/04/12/03	25/04/2024	self.	Ram 2594807706	- 87		
2613	10/12/23	MH048B1 5526		0月10123	06 10 2024	Inmovator com	क्षमान अती 6392315383	\$312/0/3/	जी-	
2.62>	10/12/2023	2264	MH00101220004585	10/12/223	09/12/2024		Jitendag 8173935076	GALEX		
2637	ーレ	mHo4-KF	mH00100660064894	05/04/23	04/04/2024	Basti wald (Dumper)	Seinil Pal	0.0el k	Primit	

NA	DATE	VEH] PUC NO	ISSUE	EXPRA	PANSPORT	NAME	Sign	HOTE	REMARK
264	11/12/2023	DD 01 C 9032	M+1 04520 4400 0635	16/05/2023	15/05/2024	Shahi Transbort		april		
2627		MH-46 BB-9346	MH 00 10122003458	20/12/2022	29/12/2024	Harish Tronsport	Harish 9987012459	A.	R.Khinaz	
	~~~	MH46BB	m+104601310004714	15/04/2023	14/10/2023	Vedika Road Way Bra	9167618475	1/84.	R. Kumala	
2677	12/12/2023	M &J-31 T-5242	MH0480068000486	9 05/03/2023	04/03/2024	Sate Express Son	Wasim- 6351914305	N. Lette	A STATE OF THE STA	1000
368)	12/12/2023	MH - 18 BG-7982	мн оо 40335 обо 2846	09/10/2023	08/10/2024	Harish Tronspor	Vinod Kumah 3619175104	100	R. Kumos	
269>	- w- 1	MH-02 FG-1646	MH0030047000\$667	10 08 2023	09/08/2024	D.J.M. Bronspo	Harshad 7738187749	pera	1 R.Kumar	
270)		M4-48 BM-7715	MH04800240024730	11/10/23	10/10/24	Vishwer	7219578084	B. 09	8 More	e ,
271)		M4-02 FG1-7354	MH0030097005353G	12/5/23	11/5/24	Shaubbur	932/88648/	canth some	Ave.	
272>	-1-	MH48CB 4157	MH004025705028	0.10/04/23	09/04/2024	Innorefor	Sakhat 838083395	EB FO		
243	13/12/23	MH46BI	3 MMa 4600 5000 11874	19/8/22	18/2/24	Rombay Golden	9(19804(62	Shoryout	d w	
274	-1-	1643 MMOSDV 8580	Mew	31/3/23	3= 31=4	Bafa Esden	9892084666	大自		
275>	13/12/209		MH-0430013000974	\$ 18/10/202	23 17/10/2024		Shobh Nath Gai	21 Ornades	RKymak	
		1		1				1.		1 010

SR	DATE	- VEH	PUCNA	PUC	PUS	TRANSPORT	DETTER	DRIVER	B)SUP HOLD	REMARK
276	16/1-12	3 m448C					1	1	4.	
	Tries	8388	Med	-		Innuber	240, 00000 10000	.0. #		
277	14/18/23	MH-61 -R-4834	MH00100160004238	16/01/2023	15/01/2024	Show Laxmi Frans	7986615750 4364	CN	SNO 1. 0	
		11 -10-1					8005904211		S.R. Kumal	
	Tolasla	Ju-6093	MH 504018300 17972	14/12/2-23	13/12/2024	Nikom Tronspor	Anil	अर्गिका	Quere	
299)	15/02/2	2mH-01	mH00100840003317	14/01/23	13101/22					
201	Action	-				Some Dos	8108250679	210/El	Son	
- to-		N 007	1			En M.G. L. Brows	Kaif 9766864814	Jan -	Som	
281)	15/12/23	MH-43 BP-0382	mH6431140006756	23/02/23	22/02/24	Shyan		BUN	Stere	
2827	15/12/23	mno1 CR8897	MH00100530603047	18/9/23	1719/25	Jon sai	9867631927	(ox	Angel	
283	·	MH04 HY 3136	MH0430123000973	30/09/23	29/03/2021	New Age	Apprao	satural d	,	
							7400347721	gilocici	Ag	
284)		MH-43 4-0542	MH00300410058597	09/10/23	08/04/24	Om Sai	Ragenchrae 702155 4469			
285	~	mHO2FQ	MH00201330001666	22 (08)23	21/08/2024	1		2100-2		
0.84		4070				J.K	Nagees 9892084666	anayers		
2/86	e 1	2709	MH0430052000668	23/02/2013	22/02/2024	Bichinler	1449	- 11	R-S	

SR	DATE VEH	PUGNA	PUC	PUG	TRANSPORT	NAME.	DRIVER	BISUP R	SMARK
	12/23 MH-03 DV-9725	New		+	Self	MD Noot Hasa 98 33384347	भीत्युर	Dior R.Kum	<u>.</u>
288)_	V-8378	MH 1020215 0002544			self	Najare Atlan 9004137069	- जैर्माल	1 R. Kunas	
	29 4000			14/20/2024	Self	Nitesh 8299800483	र वितिश्च	RiKumas	
290	7/12/03 MH48BM 9815	MH60402570002667	23/3/23	22/3/24		8459614590			
25 \$ 2	17/12/23 MH-02 FG-863	мноодого 1001279	22/09/2093	21/09/2024	self	7208205742	-4-3,40	R. Kermas	
	18/12/23 DD-01 J-9900	GJ 01500480057935	22/04/23	21/04/24	Sahil Road lines	Toufik 7958752467	Touth	Shore	
293>	BF-563	6	16/02/23	15/02/24	727 C. B 12	Mohes's 9082420517	(F)		
	19/18/23 MH-0.	2 New			- self	Abahul 6/2/002	03-1	R-Kumus	
295>	20/12/23 MHOG	2	443 04/09/23	03/09/2024	Rajendra Transport	832979-14	2	哥子	
2977	-1- M+1 48 -3989	RAY M+104800750008	420 21/10/22	20/10/2023 Ex:	Deepak Road line	Pramed - 9360742132 Chandrowson- 9665825540	F-1717		
298>	21 12 23 MH-	11 MH 00 10 12 000 219	131 13/01/202	3 12/01/2024	self (Innovitors)	Imaron 9987.968089	8h	R.Kumar	

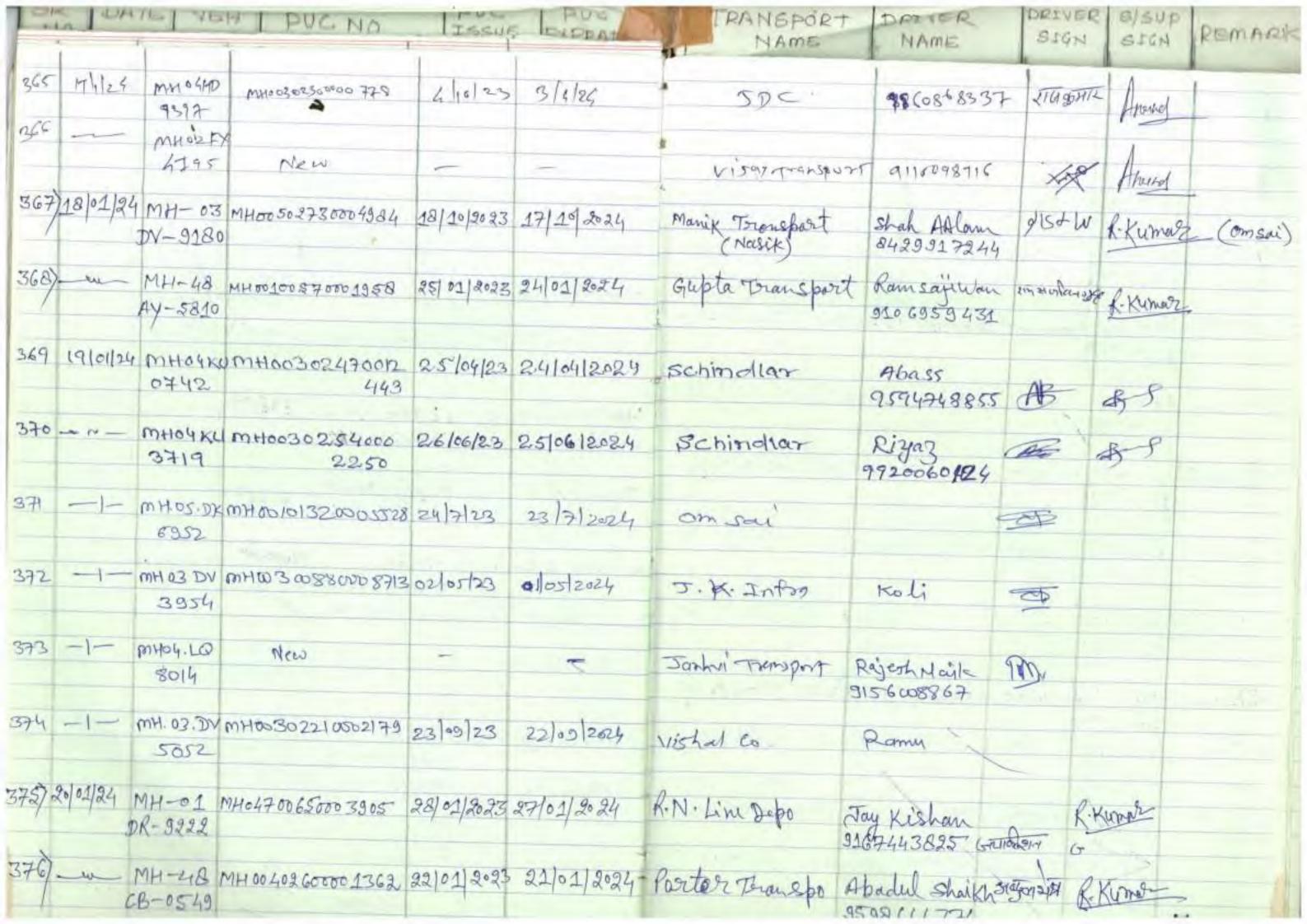
BISUP DRIVER DPIVER PUL DATE VEH PUC PRANSPORT SR REMARK PUG NA SIGN SIGH FACOLAT TECHE NAME NAME 300/22/12/23 MMO3GP मां भागप New 9 3 25 7 8 24 FSD Bilding 88 56 68 6369 Anna 9612 9967974528 ASHIK Angrel 30/ 13/5/24 MHOSEV MHO1402780001717 14/3/03 SLION INFOG 7723 राष्ट्र सफीवन MHORINO 5900:1958 25/1/23 24/1/25 om sai 9106959431 202 MH48 AY 5810 my10/20072008183 303 14p/2 1/1/23 31/12/23 8423603722 1 MHIZTY phred Balgyi 7342 304 23/12/23 mH-05 Self Of the Self 9594807706 al . EL-1990 26/04/23 MH00503016000201 25/04/24 305 MHOBDV 211-8580 306 Lal Mohammad otatile MH-0J New self f. Kiemadz EE-9222 9372535588 30724/12/23 M+146BM- No puce Number 24/02/2028 03/02/2024 Sandeep 9004341353 100-Lupesh Road limes 3752 Omlian. MH0460/296006482 Anund macrin 2a Morrifuza 8874449151 308) MH.48 AG MH00301790000921 12/09/2023 11/03/2024 JK Grypsum 80 48 309 27/1413 MH03 CV MH00301230008690 25/01/23 Master & son Ramdas 2401/2024 9026 9867752551 639043535 21012 21101017 10 27/12/23 M1+01 DR MHOO100420008207 01/04/2023 31/03/2024 1745

SR	DAT	E VEH	PUCNO	PUC	PUG	TRANSPORT	DRIVER	DRIVE	SICA	REMARK
311	28/12/2623	MH48 AG 6551	•	17/11/2023	16/05/2024	omsai(fate)				
3/2.	28/12/2013.	MH04LE 6721.	NEW	27/01/2003.		कीला दाश्यापि	Rujan Yaday 2570040910	pajem		
313	29/12/23	MH40BG	mH04900220023191	12/01/2023	11/01/2024	K. Raheja	748696444	3 0000		
314	24/12/23	MHOLCV	MH 2307 15V9433930		31/07/2025		Vinad Kumar pul		Anond.	
315		M71.48 A&-4469	M+10030081000412	4 13/11/2022	18/05/2023 Ex-	K.R.C. (YAALI)	Samayun- 8097043450	8097043	9	
316	30/12/23 E	MH-20,	CG00700580004113	13 02 2 202	3 12/02/2024	Manik Charrelona To	2. Infan Ahou 6389782394	ad zimv	R. Kirmer	
317	_ wA	MH-47 S-7754	MH0470116tt08988	19/12/2023	18/12/2024	self	9326435542	34461	f. Kumas	2
318)		MH04 KU 6804	MH0040068000656	26/11/2023	-	Somovador	Sachin 8655469193	6.8	\$-5	
319)		MH50N 5325	MH0030240000339	9 02/02/	01/82/2024	Telmankey	9920578554	The	AS	
320		MH 46 AR 5491	MH0430074000460	23/06/2023	28/12/2023	Koshal Transport				
321	17	unoz FG	MH000 to00 10013160	30/04/2013	24/04/2024	om Sai - (Naka)	Hanif 0820852210	4	Anothel	
-312		4469 WHO3DV 8580	NEW	10/04/2023	09/04/2024_	Safu Transport	5h1 × Kumun 9484032252	विवन्द्र मार्		
323	11		MH0040257000 2800		1	Throvotar	8624034126	H18934	Anand	- 3

OK	] DATE	1 APH	I PUC NA	IPOC	Pos	TRANSPORT	DRIVER	DRIVE		REMARK
325	3/1/24	MX4089 4782	D133114 119186	24/1/23	23/1/24	C5 Darcal	9309827883 Raju	MARIA	Akouses	
326	8-1-	MH48 CO. 8388	NRW	+		· Impolous	7986615750	तं भग्नाह्य	Ahand	
327)-	e		m 40042570002796	10/04/23	su/ 54/24	Inhovoter	Alamad Abid	- जारिट	Anund	
			191100 502 Clow + 105							
2,28)		MAGLE	m400402570002796	10/4/23	9/4/24	Impoters				
2		0721				. 5.1<	8689840027	ands	Annel	
328)		MHO 2 FG	WHO 10023 00031 65	31 110/23	30/10/25				-	
夏29	04 01 909	4 MH-01 2R-7875	MH00300390006177	21 01/2023	201/2024	1008 Nishart Enterp	9920653057	Pean	Kumar	
\$30	5/1/24	mn1209	Man	9/3/24	14/3/25	Sugar grass	8999568276		Ahan	
3317	~	MX19 CY 5411	MHO19000 700 7017	20/10/22	19/10/23	om sai	9712566087	Abnas	Annul	
332		104 HD 6383	MH00302610001205	12/02/23	11/02/2029	Sara Tompo Servi	Shayam table, 9529421492	Sasnore	A4	
333	6/01/2024	MH-48AG 8012	G501300280016857	01/12/2023	31/05/2024	Ascolight	mahend-4 9828662576	When Is	Sant	
334	71.65	MN48 AS	MM60200110021592	27/11/23	26/11/24	Ao sawant man	9819-6-348	Welf &		
335	09/01/24	MH-14GU	M+10140360000419	10/03/23	09/03/2024	EcoTech	7028490287	31	1	elajes

DR	] DA	E VE	H T PUC NO	PUC	PUG	TRANSPOR	DRIVER	DRIVE	Company of Callette
		MH14 HU4369	MH014011 5000 7596	29/6/23	28/6/24	glion Infra	860088626	70 52	= There
338	-	6427	mno0 2010 6600 2463	0 3/03/2023	17/12/24	e com sed	9769787731	राजेश	Akeres
339		MH-0 CU 4747	MH 00302480003995	64103129	8/3/24		899984178	1 1 1 10	
350)	10/1/24	MHOS DKIJ25				- Upgsan aren			
341).		MH-47 BL-3027		- w	-0	Harish Bransp.	Ajay		f. Kumar
342	11/01/24						73.89 404021	31017	717
543	12/1/24	M447B6	NRW.	-		Haritranspon	7387404021	अप्रय	Akaral
	~	M404 70 6384	m400502610001205	12/2/23	11/2/29	Sara man port	-9529421492	Smines	
345)		MH0450	MH0040092000916	2/9/23	20/9/25	aludiu In	9766864814	Waif	
346)	12/01/24	mH03CV 3816	J.D.C. MHW20112001836	03/01/29	02/01/2025	50.C.	mohol shaikh		
3470		MHO 6BW	□.D.C.	06/04/23	05/04/2024		8928767120	0	
148>	-	6742 mH.01.CV.	mH01502310010080	alloxlas	31/47/2004	1	chandsa Psedi 8423392301	चंद्रपात	
		3896		211-012	S II - J Javay	≥.0,€.	9892084866 (	Gentan	#
349	13/1/24	XA-56 3409	mH00502550001570	2819123	27/9/24	Sai Fransport	Dachreith	Sound !	Au
50	-1-	MHOI W	MH00403400004740	11/7/23	10/07/2024			7	

DR.	DA	TE NE	H   PUC NO	POC	PU4	TRANSPORT	DANER	SIGN	SICH.	Character of the Contract
351)	13/01/24	mH.04.KF	mH04701287005823	20/10/23	19/10/2024	Bastiwala	mano j Pal 922 178740 1	Mora's Ru	1	
352)	-1-	MH03 GP 6704	mH04301020020012	12/08/23	11/08/2024	Busdinald	vithel G 993034701		(A)	
353)	-L	MH04 KF	MH 045003000325	8 2:0/12/23	19/12/2024	Immorretors	Sachin 892203126	yeusy of	2	
351)	14/1/25		M404880888007446	\$14123	7/9/25	prandfolding Interprise	- 7317339642	Whole	Ahand	
317			MH01408570011342	24/5/23	23/5/25	parti Transport	96999 51230	- From (D)	Amos	
356>	15/01/24	mH48CQ 2179	New	03/07/23	02/07/24	Huniom Tompo services -	268061116	लबकुर्न	1,000	
357)	-1-	mH48CB 4157	mH0040257002800	10/04/23	09/04/2024	ImmureAs	Nivaj Kymar 8174892167	和沙亚		
3587	-	MHUI.EE	New	_	-	welcome Infor.	riyaz	Pinposthi		
-	~	4237 MH04 FF	muro100660004894	5/4/23	4/4/24	Besiw-197	92478763	*wisey		
3Ca	~	8762 MHXKI 2264	EMH00161220004585	10/12/23	9/12/24	Bastuala	8858129555	सम्बद		
361	16/01/24	MH02FX	MH04306740004336	23/06/2023	22/06/2024	Y.K. G. N. Tempo Service	Anife. 9820852210	\$KA		
362)	~	MHOGLE 9693	M 40040036002926	11/9/-3	10/9/25			MBIHULLA	1	
363)	17/01/14	MHOU/16 6932	New	-	-		Rehidas Powers	nes f	keite	*



DR DAT	IE VEH	DUC NO	Issue	PUG	TRANSPORT	NAME	SIGN	SIGH REMARK
377/20102/24	MH-19)	MH00302550005452	07/11/2023	06/11/2024		Chablan		Aboutel
378)	MN042	a New	×		portertrans	7 506940931	2 111	
379/21/04/24	MH-04 LE-6932	NEW	-X-	-X	Rithbi Transport	7986615750	धम्माइल	R.Kumer
380/22/01/24	MH- 46	MH00903260001185	19/01/2024	18/01/2025	Ponter	Chandrebhan 956033\$537	1	CAB DE
1	BU-7139 KA-56	MH04801120006232	31/08/2023	30/08/2024	5.1c. Inf.	Digambhar Ka, 3702314381	Li	
382/23/01/24	- 3952 MH-43	MH 043 00 13 000 9745	18/10/2023	17/10/2024	schindlar	Royesh 9867688619	अवेश:	85
	BP-8541	mn 0631061112612	3/1124	2/1/25	18chindlas	Mc/Kesh 9136211577	mS	A-5
384/24/01/24	5823 MH-47	19	× ×	-× ×	Sara Tempo Innovator	Norush -	Sur	R.Kumas
	BL-3021	MH04601040005660	16 08 2023	15/08/2024	Schindler	IrshandAL 8108632547	Contract of	
386) ~	AR- 4030	my 0030/80003692		22/1/25	Potar		3/2	
387	MHM (V 8444	m400403400004340	11/02/2023	10/03/2024	Shui Briya Brons		मा स्मिनिय	R.Kumar
2,88)	M405 DY	MJp843876000383	22/9/23	211914		Ganesh		h R. Kumer

S/SUP DRIVER DRIVER RANSPORT PUC NO REMARK ISSUE DIEDAN SIGN SIGH. NAME MAME 30/01/24 m1746 mH04301140009791 30/01/2024 29/01/2022 KIR.C. Ochodi) Faizan 8N 6040 5702789728 3 403> MH03DV MH00301730020244 11/08/23 10/08/2024 Porter Trusport. · RAY Ajour 1754 8055907711 7 404) 31 01 2024 MH-03 MH 5030 2000 001643 08/09/2023 07/09/2024 Nanhaku Ahsor; d of of CV-8749 W MH-43 MH 00 300 39 000 7087 27/04/2023 26/04/20248Wastik Blak More Barakhu Brutap Jaishar f. Ruman 3405> Transport 9222060528 0122 3406) MH-02 MH00301230007852 30/11/8022 29/11/2023 Nabab Ali FG-4083 9326793232 57461 3407) MH.03.CY 17/02/2023 16/02/2024 Parpart Com. shoi6 3463 9623830525 3408) 63 02/2024 MH-04 Om Sai (203) 10/07/2023 09/07/2024 Additya Interposi Sattyan Kumar trons Kumar JU-8828 MH04601 48000 8843 8858 35 65 31 3409) 03/02/2024MH-14MH01403270002415 29/010/2023 28/10/2024 Blobal Network Lav Kush Lish 90-7105 80 9727 0855 - MH-01 NEW S.B. Interprise Abadul Salam 2Test +1 f. Kumaz EE-3731 9594782359 MH-48 MH0253345 (B-56) Nand Wana Carrior Babaloo CQ-3397 X. Kumer 3046554766 412) MH. 04. LE MH 20400 360029726 11/09/23 10/09/24 V++2000 sabihulla ENBIHOULA 9693 8384826542 413/04/02/2024 MH-03MH04700630010585 13/12/2023 12/12/2024 Porter Confuy soutostikume Alen -to-

DK DATE VEH PUC NO	TECHE	PUE	TRANSPORT	NAME	DRIVER	SIGN.	REMARK
3 414) 04/02/2024 MN-02 MH00200 99 5007431 ER-8013	28/01/2024	29/01/2025	A on Enterprises	Nishar Ahamad 7045817423	Pat 2112	RoKumer	
415) 05/02/2024 MH 0434 MH0040136000 6117	20  02   2023	19/02/2024		Swapph   Bhoste 8380857705	37		
416 05/02/24 MH 04 HY MH 0140070005606	18/11/2023	H/11/2024	Akshta Roadine	Aslam 9892649961	n a		
417) - MH-15 MH00502730002909 GV-8055	18 03 2023	14/03/2024	Manik Bransport	Bagarangi yadal 3832688206	au (sif	R. Kamas	3 7 7
4187 -1- MHU7AS 2011	5/04/23	04/04/2024	Poter (ornate comp	9167389467	3K19c4		
419) -1 - MH.43.8PmH04301130027422	17/12/23	14/12/2024	Ramesh Transport.	Ramesh Daini 9819265564	Rout		
420 06/02/24 mH.01. DR mH 00100790061677	26/06/23	25 06/2024	Dhar Uttrion	Dhamrey 9695304143			
421> -1- mHOYLQ New 2 3305			vitrecan	Rafig. 8169564105	1 101		
- 422) - MHOIECV MHODIO12200380		27/02/24	Trunkey	Shrinarg 9833515692	35		
4 9469		29 /04/24	onsai	Tejy Kumar 9975 322565	Toda Konoren	7	
424> - L mt1.48.68mH00401820010681 =	extentes	45/20/15		mokan singh 9819743805	ne		

NO.	DA7E	VEH ]	PUCNO	ISSUE	PUT	TRANSPORT	DETTER	DRIVER	6/5UP	REMARK
426) 6	70218024	MH-48 AG-8313	MH0020099000 6276	24/04/2023	23/04/2024	A one Transpart	Nishor Ahowe 7045817423	d PAZ112		
427)		mH03DV 9534	New		-	Bhumese Fairsport.	Antit minj 98201 930145	DEF 3883		
428>	-1-	mH03.DS 3124	New	12-1	- 1 - (	Husein Sayad 3004453543	thisain sayad			
423>		MH-01 R-7875	MH00301230012210	24/21/2021	23/03/2025	Ishan Interprise	Brem 9920053097	ger of		
		1378	144 64 60 134 00 1204°	1			atonish	Angud.		
1		1211 7710		100		Shree gamesh transpor	8007407260 5AH Alam	B doli		
1	00/2/2024	- 1 t to A	S MM 005005 3000 278			Swam Sanzush.	9424917244	ZUM	VI (VIII)	
4347	10/02/2020	MADICY 5227	MY00200110022150			Yogendry Armours	Jugendag		3	
435		4746				8609193545	7808470615	Ahand		
436	mnol	BB 931	mx0401070015245		3 9 14/24	Juniole	8009486091 2012102	Ahred		
439	15077	4	muso ( 0 0 4 2 30 18 0	392/12/22	21/2/23	Train India	9-161851815 Kaif	Ahnel		
14				6/1			1	1	100	

DK I	DATE	VEH ]	The state of the s	PUC I	PUS	TRANSPORT	NAME	DRIVER	BISUP	REMARK
440	14/2/04	MX 03DV	maras 201380001130	5/9/23	419/24	Om Sai	1	Attack an		
441	14/02/24	MH-01 CR-5705	MH 0470128 0004615	09/03/2022	08/03/2023	Turnky Transp	Shyann Lal Shar 8779029728	ma pir hine	R.Kumar	
442) -		MH-02 FX-4682	New	x x	x x	Craft Hardhlore	Chetar-shorma 8655273486	Sulve	f. kumas	
443	- eve	MH-04 KF-2264	MH0010122004585 Basti Wala (Danj	10/12/2023	09/12/2024	Self	8029600784	2101121	Rekumar	
444 -	-tu-	MH-04 KF-8762	MH00100660004894	05/04/2023	04/04/2024	Self (Basti Wala)	Nivaj Pal 9324039868	भीरेय पाक	R. Kumas	
4457-		MH-03 EG-2297	New	× ×	××	self	Ariavel 3082106538	Kine	f.Kumar	
446	15/2/24	15 5254	XICW	-		Annioter	7420806052		Ahrend	
442	16/2/29	MX104F5 7589	MH10300920003173	1112125	10/8/24	Takker Axim	8169728569 Samon		Aparant	
448		3506	2 mHa 0500478006195		26/1/25	om Sai	Vsw11con	of 24 chorum	Phard	
449	-	MHOIDO 6640	2 MHOOGO34200571	8 10 9 23	9/9/23	7895iwa19	8452909451 md Treez	3,200	Akend _	
450	1-1-		MH01300690004662	09/03/23	08/03/24	Fodgrædig	Ganesh 9920326389	Man		
454)1	7/02/2624	MH-02 FX-653	Niew 7	× ×	x x	Partar Company	ganesh Avadhi 8591410648	tu Arm	R. Kymal	

Ole	DA	7E   VE	H ] PUC NO	TECHE	PUE	TRANSPORT	NAME	SIGN	HOIS	REMARK
	1. 11	1, 19	10	1			1	C. C.	N.	nt .
453			mH0020105000565		03.63/24	self.	Firtu Rom 9987818905	412 Fry		
454)		mH.04.Kf	mH0010122004585	10/12/23	09/12/24	Bastiwala	Rakert 7887109181	5hahi		
455	2 *	MH46BP	5 MH00401070015240	17/01/2024	16/01/2025	em sai	Dilip 9026565225	DiliP	43	
456	20102 24	MH48 (B)	MH00402570002800	10/04/2023	09/04/2019	Innovative	Zuberthan 7219131179	Ev	A4	
457	-1-	mH.03 DV	New	-	- 1 1	Timology	mozim 88981653.3			
458	1-1-	MH.46.BP 3243	MH030370031424	19/10/23	18/10/24	Poster	shyamander Day			
459	3 -1-	G5.16.AW	mH04601340012307	04/11/23	03/11/24	Ram Shreejo	Ram shreejo 9081683515			1.7
460	>-1-	MH. 47-95 3262	MN047 00 6500 4915	29/11/23	28/11/24		meraj 8779567841		14 G	7:
46	1 - L	MH.48.08 7021	m4022013ax13443	17/08/23	16/08/24	Imacin Posters 3452 300 967	5 152900967	Enteri		
44	27 - L		New			Yurray Tringert	Vasir Ahmad 82-68168788	<u> পরিজ্ঞান্ত</u>		
46.	3)-L	MH.43.00	New	1) 11 2 8		Rudra Transport	5000 5 L 80002			
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PANSPORT PUC NO REMARK DICEDAN TERME SIGN SIGN NAME 465/22/02/2024 MH-04 AN2/200520233032 19/04/2024 Shindship f. Kumar S.I.T.S. Franspor H.R. Shinde 44-5556 9702540079 Anis 09/11/2024 · 11/m3 =1 2 xus MH 28 BM MH048 002 400 207-88 10/11/2023 466 - L (Fil) 9322340774 9212 MAIN MAIO 636-52=0 6585 20/2/25 21/2/23 45 23 2 24 Aum 8654073730 NIS Alend \$22 a self Irsad Al 31/07/23 01/08/24 468) -L too mH.oh. JIC 9594762485 0356 MEW S.V. Enterpris MHOLEE Abdul 9594782359 -00 3731 20/02/25 4697 2412/24 mH-01-CQ MH04301120027173 21/02/24 Amour. Amoin 0970 75069 79058 Innovator Conformy Ravi shamper 2012 ins R. Kumel 470/25/02/24 MH -04 MH 00 40 25 7000 27.96 10/04/2023 09/04/2023 LE-0721 8009486051 Dantat Rom offmin MH- 04 MH00403950000800 28/12/2023 27/12/2024 Ansari Toranspor f. Kumar HY-8251 6397794620 479260224MH-46 MH04650165005426 06/06/2-23 05/06/2024 Shri friya Trans Ram Milan 214/1) OF Kynar BF-2435 7738418254 9773949394 MH00100070011367 19/07/2023 18/07/2022 Parter Campany Attish 473) _w_ MH-01 Likunar. CV-6989 MH-01 MH00201170005853 13/09/2023 12/09/2024 Self 474 Vinad 810 878 1794 1914 R.Kumal CV-7718 MH-03 MH00301290506871 23/09/2022 22/09/2023 Ramesh yadal 4757 Sill > R. Kumoz

NA	TUATE TO	7 VEI	I PUC NO I	TREUE TO	PDO	TRANSPORT	NAME	DRIVER	B/SUP B/SUP	REMARK
476):		MHOA 1 HY-1428	MH 50 4.01 52 000 58 59		20/07/2024	Shrisai Tempo ser.	Leneman 3767543836		R.Kand	
477)		MH.02 FG 7-354	New			sham self	5hambhu 9521886481			
478)	27/02/24	MH.47.BL 0951	New	_		Tatat motors Utl. Self.	5.B. Gypta 9820544190	8-ph		
4750	28 looky	MH-47.BL	New	-	-	self	Rajosh	(4-1)	- 19	
560>			Mhe 302550003(85	saloalrois		Rear placere	2819803613 212404116 2120550427	Anaul		
481)			MH00302460003454			Shree polyn	अदीप ८.५५०३०३०५३	अदीप		
: 482>	2103/24		MH00401830017782	27/11/2-23	26/11/2024	Same Trensport	95201 4214012	2साप्र	Anaud	
483>	2103/24		MH04701280603504	06/04/2027	05/05/2024	Turnkey	2 44390 55 45.8		Anemal.	
484)	2 3 2 4	MH04 KU-1370	MH 401004200 5887	19/4/23	18/4/24	J-D	9221026412		39	The Aller of
485	03 03 24		MH00402570002669	2310312023		Inno Voter Company	Satish yadar 3648747012 3175022472	सहरा	3	
486>		MH-01 EE-373	NEW	× ×	x x	S.B. Anterprise	Abadul salam 953478 235		R. Kumos	_ 15
487	04 03 24	MH-43 BP-0382	MH-0300040010666	23/02/2024	22/02/2025	lorter	Shyam. 9167548393	Shyem	f. Kumor	1182
1 1	Ilaniai		4	1./100	naturals n	6,1116	,	A PARTY	Ad Felly	15

SIK	TEAT	ET VEH	T BUC NO	THUC T	FDE A	TRANSPORT	DRIVER	DRIVER	SISUP	REMARK
LHO		1	PUCNO	liscut lo	CODA	NAME	NAME	SIGN	STCH.	
,	. 11	1 1000	A 1	J.E.				×	43)	
293	5/03/24	mH. 48.AY	- poline	08/03/2023	07103724	Self	Kaitash	golde.		
1	-1-1-1	5400				(marbolarel)	9820796262		1	
490	4	KASE	New	-		Swest il creampen	9867055451	Sun	Hour	
		7418					8874449151	Moyor	Model	
491		MU48A9	m40030129000921	121/09/23	11/03/24	5 K SIPSEM	muringa	गम संक्रीयन		
492	-t-		MH04301120025	25/01/24	24/01/25	om sai	-		-N-	
		5810	713							
493	০হা ০খ্ৰাহ্ৰ	MH-48 BM-3815	MH00 40 257 0002669	23/03/2023	22/53/2624	CITION OF THE STATE OF THE STAT	Nam DeV 9175028472	AIMGO	R.Kuma	2_
494	6/3/24	MU045K	m+100501170004799	18/1/24	111125	maharastra Lime	9594710828 Gach	Durola	Amen	
495	6/2/24	MH 03 CP 670G	MH811200110006484	26/12/2023	25/12/224	Tol Tosbo	P-307 7021287756		B. Snogh	
496)	-1-	mass	MH0030255000 576 0	15/4/23	16/11/25	3DC	8672851068	<u>नाजेश</u>	Anny	
497	06/03/24	MH- 47 AS-2793	MH 50302310004185	5 09 03 2023	08/03/2024	forto	Rajendra 292.536177		Repund	
498	_ w_	MH-03 CV-7822	MH0010055000356	3 17/01/2024	16/61/2025		Jay frotale 738768193	5	Reference	2
439)	- 200	HD-6384				Innovator Campany	338748460t	i res	2 fikum	2
500)	07/03/24	MH02FL -7860	mH01600450015694	28/10/23	27/10/24	om Sai	AZLAT 8879784353	Azhar		
501	,		MHAMILTE GROSS GS C	0 26/41/2023	25/21/2024	Amisha Transpo	Sachin Rath	ad	R-Kum	r

DIK	IDA	75 71	SH   PUC NA		POR	TRANSPORT	DATTER	DRIVER	SISUP STCH.	REMARK
	Tr.		nois A p	i i T	-		M	18	- 4	
502-8			m401582980001748	22/2/29	21/2/25	NIKEMTOGES	8655122/77 215112th	audiana	Award	
	4		MN0010167000160	17/8/25	18/3/24	3DC	8291169449	अंबिद	Alany	
504)-	1	MX104 FPSQLS	m x 04 7 6010081109	25/1925	24/4/24	Omsali	0	Buisan	Are med	
505	~	MHOICE TEST	m406700 (56000417-1	1/4/23	81 8 124		9086633067 Dir-Sh Usman Alli	混合21	Phone	
5%		2136	mpo4 0 63 60 11 65	09/03/2023	08/03/24	self	7651884913 Rajendar	(MEHZ	Market	
9597>-	L .	2733	WHOOZOSSINDARS	01-3120-3			9920536177	BI		
508 0		MH-03 CP-2595	MH00300530002838	16/03/2021	09/03/2022	Sif	Ram suraj	en i en		
500) -			mH00100890004673	11/01/2024	10/01/205	Self	grad sin	Sanjangs.	0	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
510>	10/03/2	4 MH-41 BM-7875	6 MH 0 470 11 000 28612	14/05/2023	13/05/2024	Porter	Irfan Khan 9534604882	1	K.Kuma	2
en II		may be	MH00101370001728	11/10/2023	10/10/2024	B.N.K	Barneez 9867001193	सक्रा		
512	13 124	MH-01 CV-7681	MH04301120023054	27/10/23	26/10/24	Porter	Anuragi 9076375938	Burney	more	
513	12/03/24		MH003023 00 000731	28 08 2023	29/08/2094	Bash Wala	Ram Kumar 983370738	<u>अमिक्रमाट</u>	R. Kumer	
514		4 MH-43		14/09/2023	13/09/2024	Poonam Bransport	Bahadur 8789069502	epopp)	f. Kumery	

DR D	TE VEH	I PUGNO	THEUF	PUE	TRANSPORT	NAME	DEIVE		REMARK
F - 14 11	A 1-9	-14	-	111		7	N.	100	The second second
518 13/3/2	4 mHOD HY 8136	MHO4801230004973	30/9/23	29/3/25	Mew Age	54 54GA16GY	- Lingth		Aprical
517)		m410680112000670	7/10/23	16/10/24	50C	5011084 8AC-487266	13		Annel
518		m 40030256005760	15/11/23	14/11/24	500	8692851068	- of		Aherel
: 519 13 03/5	024 MH-48 CB-4617	New	×××	x X	Parter	Ram Prakosh 0080609255	~MY=10	1 R. Kumaz	
520 -w	-	MH00302480005225	- 05/04/2023	04/04/2024	Basti Wala	Bal Kriishan 8114052172	Santray	R. Kumer	
: 521 - w	-	MH 04301120021846	15/09/2023	14/03/2024	Bestiwala		MIMIP	R. Kumer	
· 522 - w		MH005022900086	18 20/01/2	024 28/01/2025	××	Rajesh Kamary 0619543060	*	R. Kumoz	
: 523)141512	1		157 20/9/23	19/4/24	om sai	mano51	क्रक्ला जी	Ahorsel	n - n
524/14/03/		MH043011202571	3/25/01/2024	24/01/2025	Gupta Toranspo	Ram Safinbur 97-02478928	राम सक्तिर	Kumar	1
525)	- MA46 BC	m+4013023150076	52/16/01/24	15/01/25	sni Balati Tra	7710923068	उरलाइ		
525 15/03/2	9283	MH0480071000°	10/11/2023	09/11/2024.	chha	4314 41M 1558222451	चरीपं		1 -
526.	- MHOYJK	MH2010132000 .	19/01/2014	18/01/2025	J- K. Infra.	Bablu Ba	ablu-		

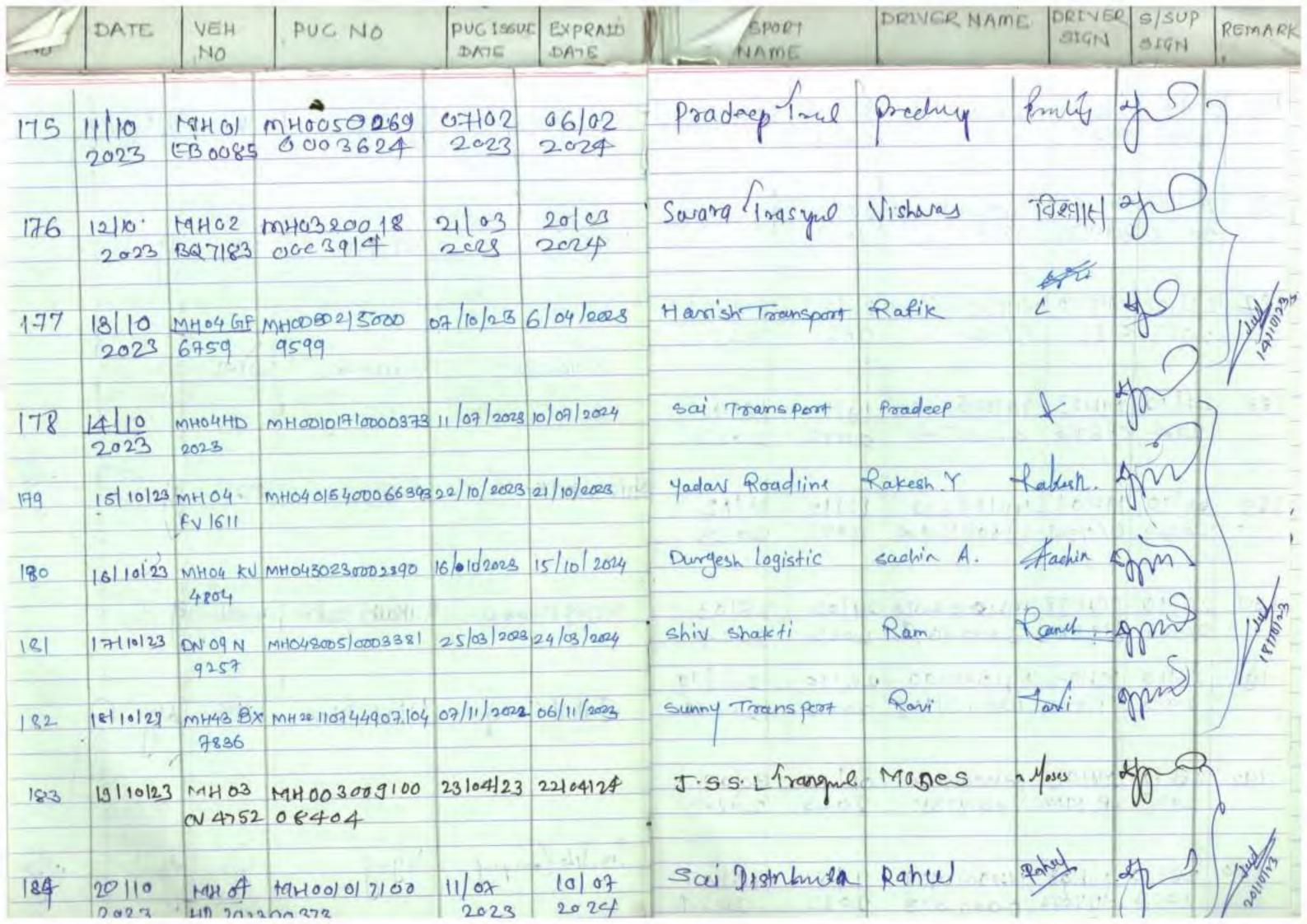
DR DATE TEH PUC NA	THUL POS	TRANSPORT	DATER	DRIVER	BISUP	REMARK
The state of the s	M AT		*	4	W.	
528/16/03/24 MH-02			Ft.		7	*
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529)-w- MH-01 MH001001400802 DR-3781	177 13/03/2024 12/05/2025	Parter	Amit 8828055511	7	R.Kuma?	
530 17/03/24 MH- 04 MH 047011 3000 350 J.X-3498	7 31/10/2023 30/10/2024	Pawan Transpo	Taluk Dar Pathan 9619808751	-COL	RKumaz	
537 DD-01 New R-9581	x x x x	High Take Toran	Atik 9129664750		R. Kumer	
= 532 18/03/24MH-04 MH 0040124004833	0 02/03/2024 01/03/2024	Harishohandra	Sumil Dou'ver 9335126727	यु नीन	R.Kumor	
7084 MH-01DR MH011300680015560	29/10/2023 28/10/2024	Renter	OIDEREFERE! CPCIV	Vivay	B. Smogh	
= 534)20/03/24 MH - 46 MH00 401 0700152 BB-9346	945 17/01/2024 16/01/202.	5 Om Sai Service	3026565225 Dilip Kumar Dr. 8808470615	<u>चेमकुमार</u>	R. Kumer	
		D . +	surf Raj		Ovenas	
535 - W- MH-01 New	× × × ×		8655 550104	5/2	R. Kumar	
EM-0224  mt104 mn00502 8014771  536 - 405836	29/2/24 27/2/85	ViblerTrans	8070786600	Block		
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937 9287		The state of the s	1000	- CENT	4	
538 21 03 24 MH - 01		Rapti steel Confuy	Ajimkhan 8898828602	Adra	R-Kumar	
CV-3105			, 11	-	1	

DE DATE VEH PUC NO	TESSUE IN	Span /	TRANSPORT	NAME	DRIVER	SIGN REMARK
5492103/2024 MH-01 MH04700650004171 CR-7637	01 04 2023 31	103/2024 +	Harish Trauspo	Dinesh 2054633067	9=321	K. Kumar
54)- MH-03 MH04701285005534 CV-8124	24/05/2093 23/0	5/2024	Partee	Purushottam 1821088020	4mming 8	R. Kumar
542 - WHOH HY MHOOT 02070009686.	07/02/2024 06/0		- orange -	7039165143 Bajrangi	Mesno	*
543 22/03/24 MH15GV MH0050273000 8055 2909 544 - MH03BH MH04701150043985 9803			w profestional	0	Tember_	~
345 23 03/24 DD .01.7 GJ02600 190006211	27/07/23 26/0	07/24	Robit Toursport	sonderp 8756681439	स्थित.	
: 546 23/03/24 MHOU ETS MHOOZOO740024450 7-83	16/03/2024 15/00	4/24 1	landlad Gupta	a814050440	But	Anaul
= 546 23/03/24 MHO3DC MH00302140009598	10/01/24 00/1	01/25 5	schilder any shunkar yadar	9930679304		Anand
547) 24103/24 MH- 01 MH001005300029 BC	01/08/2023 31	107/2024	bakash Road Linci	Gulab 9769239403	,49)	f.Kumer
548) en mnofny D3AP577103725	11/7/23 10	17/25	Unison manspo	9834999503	Im	Akevil
54926 3 24 MH 48 CB MHO4 700970008412	20/09/33 19/0	09/2024	Veril bourd Torumpost	Harrlad gadar 8898142425		Jarote 12
550) -11- MH 04 KF MH 04701280005823	20 10 /23 19	10/2024 8	Bastiwala	Manoj Pal		Jord ess

DR DAT	ELAEH	I PUC NA	TACHE	POS	TRANSPORT	DATTER	DRIVER	SIGH.	REMARK
1. 11	L P Jess	(10	1			į į	1	η	
550276324		MHOY 60026001571	9 28/08/23	27/08/24	Safa stone	Abdul 9594782359	E		
352	0228 my 49 M 9594	MH0471090009158	16/2/24	1518124	57C	8725715655		51	Ahrul
553)28]03]24	MH-47	New	* *	x x	Silf	Ram Vilash 7310 43 77 14	Ram Xela	e R.Kumak	
554 30 03 24	BL-4982 MH-48	MH04701638000101	08 03 2024	07/03/2025	Shijan Tempo Sor	shobh Nath	0_	R.Kuma92	
1-/	Ay-7818				San 1/2 to The are	9284791138	- An	R. Kumasz	
	LET-4214				Inno Vator Brane			-	
556 _ w	HR-38 AC-1331	HRO 4700 42000 2290.	28/04/202	26/04/2023	De Luxe Road Ways	NaScem 3671018884	12911	K. Kuma	
557									
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	11111								
		7511W	AVII.	7 - 11					
	1700			Parallel Parallel					

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158	24/09	19HO4	MH0040068	27/10	26/10	Star X Transpo	6 Vishny	Vistru	offen	1
153	25/09	MH02 CP 8926	100013 000173	19/12	18/12	Dangere Transport	Lasman	প্ৰেৰণত	- defin	
160	26/09	19HO2 BQ7183	MH0320018000 3914	21/03	20/03	Swarg Grayme	vishwa	a-eq1	alay 5	1
161	27/09		MH01400089	03/04	2023	Horishchandon	Goverda	2111041		de la constant de la
162	2023	16H 43 BX 7886	AH 014128900 2765	07/11/2	06/10	prockash supply chain solutions up	Jankaroo	JK	go	17/00/
163	24/09/	MH04 KV4804	MH043023000 2890	16/01/25	15/01/24	Duogesh Logistic	Sachin	S It I THE	Blobs	16
164	30/09	MH48 BM9921	14 GJ 01 500 48 0 0 5 3 0 7)	11/02/2023	10/02/	Jay Bhewani Transport	Aabdul	A	Bub	3 of to 150
165	01/10/2023	MH03 CV3730	MH0050046000	02/08/	2029	Sidhesh Freins Post	Savala Rum	Mar bill	Bed	
166	02/10/		MH00620089 63001321	10/05	9/05/2023	Chawnilal Tempo	Ghanshyum	2: 1	Pako	Salle To

1	DATE	NO	PUC NO	PUG ISSUE	EXPRAID	SPORT DRIVER NAME DRIVER SIGN REMA	RK
167	03/10	MH04 HD 2023	MH6010171 0000373	11/07	10 07	Scei Transpori Producep & DIMMY	21
168	6753	M'H 04 KG 4340	19400200 5600 10506	06/07	202	Shwort Vishall Vishall by	19
169	2023	MH 46 BG 0883		13/11	12/1/2023	Romesh The Parash 2H21 gh	
170	2023	DN 09 N9257	188880000 18888000	25/03	2020	this shake of Ram 217 20 1985	5
171	07/10		144020117	28/12	27/12	Vyay Travec Rakosh yadov Rusel 9	
172	2023	MHO1_	100 3852	2013	23107	Jaked Toenspl Johns Khon Elete AMP	
173	2013	3354	my 04800 22001260 2	30/11	29/11	95 Sile Congry Vijery Of y Della	10



DRIVER NAME DATE VEH PUC NO PUG ISSUE EXPRAID REMARK SIGN BIGN NO DATE DATE NAME 30/03/2024 1 O.K. Around 185 MHOGHY MHOOPO91000 30/03) Charling Boy Breywashi 0387 3982 2023 2023 22/10/ MH48 186 MH0200117000 28/021 27/02/2024 VIJOY Tourspoot Rakesh Rakeish Buche BM 4559 2023 4087 2023 23/10/ MHOICR MH0050269000 24/02/ 187 23/02/ HISELAI" Jahid Toanspot Jahid K. Boh 2023 5185 3852 2023 2023 88 24 10 MHOZ THO460165 19/12 18/12 Dongoes 1 Laxonak dehol 2023 08926 000174 2022 2023 (Ru He 11/12 Quetas Sangoo + 189 25/10 MHO MHOD 320 12/12 2022 2023 CV 7324 29000 1294 2023 Brojesh Yade British - Bigbloc Frangul MH48 MHOO 2013 29/03 190 26 10 28/03 BM 8669 3000 1071 2024 Boristor July Bargh Don 24 10 MHO4 MHO4700 Hansh Transpel 27/10 25/10 191 2023 FP 5725 100031109 2014 2023 As Enescopnic Rasy 192 28/ 10 MHOI 3009 01 10 ta4001000 2020 CR 9414 20011735 2024 2023 Scei Distorbator Pscalerp 193 11 07 14HQB 1000 28/10 1440010171 2023 HD 2023 2024 2023 0000 373

103	DATE	VEH	, PUC NO	DATE DATE	EXPRATO	TRANSPORT	DRIVER NAME	DRIVER	S/SUP	REMARK
194		19434 KU 4306	MAHOO 200 56	2023	20107	Eswani Isanger	Vishcel	VIShul	21/20	
195			19H00201170	28104	22104	Gopcel Siromix Transpert	Drumerales - quets	Dhan mend		
196	31/10/023	8244	3931		14/11/023	Bastiwala	chandrakent	न्त्री देशा	Muye	
197			MH0470085000	22/04	2024	chowday Trangel	Americhand	AMPL	ofine	či –
138	-1-	MH02 ER6033		2022	31107	SM. Transport	I small Khain	15	Mp.9	
199	-L	MHOL	Mh0460019	31/07	30107	AAKash Lagestic	Royesh Aadhad	Rif	300	
200	24	MHO	MH.00 50 26 90.	23 08	22 08 0	utl 1.	Radheshyom	Ben	200	;
201	-11-	MH04 HD2023	1940010171	11/07	10/07	sa Dimbutors	Prespecto	A.	06	64.0
202	02/11/03		MN60100 66000	15/11/022	14/11/023	Bastiwala	Chantrakus.	न्यास्त्रमा	aure	
202	120			in Inlana	12/11/02 3		Rammhan	राम मिलन	Mense	nak .

No.	DATE	VEH	PUC NO	PUG 156U	EXPRAID	TRANSPORT	DRIVER NAME	DRIVER	SISUP REMARK
202	03/11/23	MHOICR 8244	MH0010035000	12/11/22	13/11/23	Bastiwala	Chandrakant	यान्स् भ	April 1
205	4-11-	MH03		25102	24/02	chaudary	Lovekush	1 CONKUST	210gman
206	4111123	мноз	part 00 400 68 000 88 27		14/4	Garanan Trangal	sohel	"hal.	* 2
207	05111	MH48 AG 5140	194047012 80005703	20/08	1g   08 1	Prod 1	Sandap poul	3 nicof	3/20
205	35/11		M40010067	20102	18102	A shoka +	Santostikate	· Calor	
209	05111	194 Ol CV 7324	MH00320 1290001294	12/12	11/12	Songel . T	Gouters	जीतर	240
210	2023	MH48 BM45	19HU20117	28112	27/12	Vyray of	Rakesh yada	Raladi	04)00
211	5/11	MH 01 0R 897		03 (0)		RaJan II.	Rajun	Rynn	2
212		MHOT		0 19 061	10/06/	Vsha. T	Sadik khan	स्मान्य भ	M. Jones Lingh

No.	DATE	VEH	, PUC NO	DATE	EXPRAMO	PANSPORT	DRIVER NAME	SIGN	SIGN	REMARK
213		DN-09 3'9297	52000 7105	2023	2024	Subham Road Line	A Jay Singh	reliant	off w	
2 1/2)	2023	MH03 DV 6928	1940030228	29/06	28/06	Vishva Kama it	Scelhash	Sur	apo	11.000
215	06l11 2023	MHOLEE OOIH	MH0H701280057	07/10	06/10 2024	Bostiwala	Koomtesh	low	20	
2-16	07111		MH470113	2022	2023	Fakky T	Samiro	· Chamins	dep	
217	_tt-,	MEI 63	MH0030157 0007397	09/02	2024	Raj hans T	Manaj	Mylay.	Spion	L1 (+
218	-11-	MH024 GR3937	MH02160155 0013202	12/10	11/18	Bright T	Rafiulla	H.Com.	zjin	
219		MH 03 DV 3849	144003019200	14/02	13102	Gardina T	Naresh	Waresh	agi-o	
220	-11-	PS 8751	MH0429100	25/08	2022	NING. T ESHWART T	Nardy	The	defin	
221	-	MH 03 CV 9046	10 H 00 80128	25  0   2023	2014	Bhoseit T	Randas	·~1/17	of g	July .

10	DATE	VEH	PUG NO	PUG ISSUE	EXPRAID	FRANSPORT NAME	DRIVER NAME	SIGN		REMARK
222,	2023	MHOL CV4331	1120014812	13103	12103	Ganpat T	Zalkir	स्माम2	may o	
223		MH 03 BG 6453	MH047010 70003145	07102	2024	PrakashT	Ram bali	श्चामारी	24	
224	-1	MH 43 846747	MH004019 50004551	02106	2020	Prakash.T	pradeep Kums	2 ming	Office Child	
225	-11	1982 FV	19H00 100 57 000 1958	25/01	24/61	Gaupta T	lam Sangram	रण से कारित र सु	" of 1	
226	46		1944700700. 047132	2023	2024	Sandy T	Sandap	8 Ju	2/2	
227	2023	MH04 JK6832	MK004026900	23/03	20103	Nikram	Dilip	Divil	ast O	
228	-14	MH03 CV0916	MH0040068	15104	2024	Garanan Transpo	Sohel	School	HAM	
220	1	19404 K49750	MH00501780000	14/01	13101	Ansom Tourepar	Sunil Yadar	मुनिट	3/2 D	
230	-11-		1940140154 0005928	26/02	25/02	Garesp Transport	Graness	gareth	Affina	

10	DATE	VEH	PUG NO	DATE	EXPRAID	TRANSPORT	DRIVER NAME	and the second second		REMARK
232	2023	MH04 HD2003	mH0010171 0000373	11/07	2024	Scoi Provepul	Produp	x-cell	Hy C	
233			MH026006200122	23/01/2023	22/01/2024	Partil Transport	Balaji Patil	Bahai	And	
234		MH4384 4969	MH0430114000° 8354	14/09/2023	13/09/2024	Poonan Transport	Momin onsari	mounin.	Davo	
235	14/11/2023	MHOHFD 7594	MH047009200287	18/6/23	2023	'BTS Transport	Hussen	HOSSAIN	929	1
236	-11-	MH 48041138	2004.4	22/09/23	21/03/24	Pattil	Nanath.	- thort. )	30	
237	15/11/2023	MHO! BR 9239	MH001004 80024193	20/02	2024	Masdor suppy	Shravandaby	28194	19	
238		MHO4 +10 2003		11 07	10107	Scei Transpure	Pridup.		90	- P
230	-11-	11403 CV 9046	tax0080123	25101	24/01	Bharel !	The second	Lind		214
240	(6) 11 long	мни <u>эр</u> 9399	mn 04300 58	15/11/023	14/11/029	prem Transport		1	Bull	0.80

10	DATE	NEH	ON DUA,	PUG ISSUE DATE	EXPRAID DATE	TRANSPORT	DRIVER NAME	BIGN SIGN REMARK
2A2	16111	MH46 BM9669	MH 004033 50000731	11 11/22	10/11/20	Karoenna T	Mahendon sign	Mohada of
243		MH46 AR 5582	MH0460016 0006099	29/04/	28/03	Ajoy Transpure	SCROT	Cop gras
244	17/11	MH04 102274	MH003021 60002301	28103	22-103	Bright Y	Amol	31 Jun 34)
245	17/11	LOCONO	MH0010105000	2023	2024	tachaur glasst	Dada thambe	31213ia10000
246	18   11		MH0320018	21/03	20/03	Swara Townsport	Vishwas	विश्वास २
247	18/11	MHO1 HD 2023	194001017108	11107	10/07	Sai Distribution	Rahal	Raint of
248	18 111 2023	DN 09 N 9257	MH048 6051 000 3381	25/03	2024	Shiv saktir T	Ram	TIHI DEPO
245)	18/11	MH0] (NO47]	000 5928	26102	25 102 20101	Ganesh Transpe	Garess	Gara of
250	lalii	MUIL	MHAI 4000	20100	201.0			

100	DATE	VEH	PUC NO	PNG tasuc	EXPRAID	TRANSPORT	DRIVER NAME	DRIVER SISUP REMARK
251	20/11/23	MH045K	MH0010035	12/11/22	11/11/23	Bastiwald	Ram milan	THE MAN SHAD
252	11	MH01 CV 4331	19H643011 200014812	13103123	2024	larpale-T	Zdkir	HEART STO
253	-L	MH04 FD 6862	MH00302 380010784	24/06	23/06	SUZY T	Pravio	prearies of
254	21/11/023	M401W	_	tomo runzis	10Masen	Str. Dyaneswar T.	Dyoneshur	France - Court
255	22/11/013	MHYEBE	mno46016300	08 112 022	07/12/23	Repesh Roadining	Janazahun	Somerdan Guil
256		19447 AS0023	MH0020138	25/0/23	2024	Sondy Transpl	Garash	Some of o
257	-1.	TAHO4 QC.5836		26/02	25102	Hanish T	· Astorio	ASLAM 250
258	23111	MH43BP	1949 900 800 000 000		19/01/29	Genesa Contennos	Sony	Bout All M
258	-10-	MH03 CV 6221	70001823	2023	0319	Silyh T	mahenoha Soya	Sint 2 Day
259	23/11	tan 46 AR 5583	MH04600 16000 6099	2023	28109.	Agry T	SURONJ	2

1		NEH			EXPRAID	RANSPORT NAME	DIETUEK NAME	SIGN	314H	REMARK
261	24/11/	1-94 04 1-10 2003	140010171 0000373	11/07	2024	Sai Transport	Pacdup	gue -	ofn	
262	4 1 1 2023	19H43	90006323	14/02	13/02	orange T	Dhor singh	osmor	of	
263	26/11/23	MH03 DV 56 08	MH003015700	03/10/23	62/10/24	Jyotistinga Tourspor	of Suresh G.	Spring	Quile	777
2684	29/11/23		GT0190022000	18/0/23	19/01/03	Krushna Transport	saket	sortet:	mlun	
2685	29/11/23		MH0030067000	03/16/28	02/10/24	pentagon company	manoj Tiwani	M	Mul	
	-	2713	1603		1	TELET THE	11 - 1 - 1	is the f	-0 -4	1-1-5
2,66	2023	1-1401 BQ1073	179003323	18106	2023	Babue 140 ILyaz Transport	Babburan vorme	<b>Bulli</b>	30	
267	111 2023	144 bl CV 2109	MH0010056	27/03	26/03 .	Ragaran Steh T	Rajararo	21012121	30	
268	28/11	MH06 BW7901	HH U0800 58000 2931	2023	2029	Rusham T	Roston	Bud	200	14/
269	29 11	191148	MH 0010025	69111	08/05		Permissi Premissi	0 10 P.E.	0	
270	2028	AG 5688	000 5466 MH047010	2023	10104	Han am Loursber	2 1 1 2 2 2 2 2 2 2	57 Q (28V)		300
- 130	0 - 0-	a redail		160	00001	Darchen	Manoi	now.	10 ye	

13	DATE	VEH NO	PUC NO	PUG ISSUE	EXPRAID	TRANSPORT	DRIVER NAME	DRIVER	SISUP REM	ARK
271	29/1/	MH47 AS 0539	MH04700 590005728	18/09.	17/09	Paresh Irongal	Dha hajay	Pramian	Spo	
272	30 11	01409 N9257	MH04800 51003381	25/03	20103	shrv saku T	Ram	THI	20	
273	-11-	The same of the sa	19H00301 570007397	THE PARTY OF THE P	08102	Ram hans T	Manoj	Luma	20	
274	-1	MH04 HD 2023	710000373	11/04	10/04	Scei Distributor	Rahul	ROMA	of of	
274	-L	19HOA HD 2003	mH0010171	1/07	10/07	saitsenue	Powerp	RD	de	
245	-11-	MH03.	MH0030228 0825940	2023	25/06	Vishra Kumor	Subhash	gwed	3p.0	
276	01/12	MHOL CR 9414	MH001007	01 10	30/09	AS Entemporase	ROTH	Pales	gmg	
277	-1 112	MHOL	MH0140154	26/02	25/02	Granesh .T	Garosh	gard	agh	
278	1: 12	MHOB	MH0080 123	25/0/	24/01	Broed. T	Randas	Levels	40	2.1

13	DATE	VEH	The second secon		EXPRATE	TRANSPORT	DRIVER NAME	BIGN	sign quels	REMARK
280	02/12	MHW) CN 2806	MH011011300	16/03	13/03	Laxini M.T	RamNavesh	रामग्रेश	کانیک	
281	2023		190002199	28103	20103	Gajanoo T	School	gad	21/2	
282	1- 112	MHOL	MH0140155 000 5928	26102	25/02	Garest Perpo	Ganen	Carry	affin	
283	-14 12- 2023	MHO4 JK 683		23163	20103	VIKram Raindin	Dilip	DI W	RIOJ	P TOTAL
284	03/12-	MH46 AR 3249	MH046002 60012544	20106	19112	Icer tomaple	umesh	mele	21/2	0
285	2023	MH01 3 CR554	MH00300 4 530005963	14/05	13/05	Gankat T	N.oor Salam	Dock	3/2	
286	04/12/23	mnu8 An sole	45019002800 16857	01/12/23	31/12	Ascolite.T	Mahendra	prehend	Em.	
287	04/12/201	23 MH 01 CR 8244	MH 04 301120024169	24/11/2023	28/11/2029	Bashiwala	Papp Chandrika	dogions	Nimed	
288	05/12/20	MHOLEE COL4	MH0470128000	07/10/202	306/10/2019	Bastiwala	Pappu Pal =	Poffu	numed.	100

3	DATE	VEH NO	PUG NO		EXPRAID	NAME	DISTANCE MAINE	SIGN	AM	REMARK
290	20,23	M40] CR 4836	tel H002085	29/09	28109	A CHORE T	1 wi	Thorn	20	
291		MH01 cv 2107	MH0010056	27/03	26/03	RajaRamoT	Rajalan	217112	20	
292	06   12	MH48 AY 2366	mH04800340 003668	08/0/23	2024	Shizan T. Some	Somnarth	8	30	
293	06/12	MH02, ER4093	MH003024 80002153	18101	12-10)	Astoniya T	Monu Kumar yel	may	2	
294	2023	MH43 BP8922	and the same of th	22/11	21/11	Latbergaler Porge		Leo VOO	1	
295	8/12	MH 46 BF 5561	MHU460 5000 12476	24/11	23/11	Rupesh Randine	Janardhan	Jarout		
296	1-1	MH47 AS 5356	MH0470072 0037017	12/02	16/02	May Coleen .T	Rakesh Gupte	pukesn	3/2	
297	07/12	MH04KU 3334		08/11/	2024	Bastiwell	Roju	D-	£C_	
298	7/12	MH03CP 9842	Mn0030053000 8289	21/03/	20/03/	Poolhe Shyum Transport		Ry	BIC	1-151
	2023	1892				0	- 01.,	a	and	

3	DATE	NO	PUC NO	DAG TREAT	EXPRAID	TRANSPORT NAME	DRIVER NAME	BIGN	SIGN	REMARK
300	08/12	MH 04 Hy 8319	19H002000 50007293	02 63	01103 2010p	ST Anithonay	Saban	Sform	24 Amic	
301	2023	MH04 TK6040	MH 0010135000	14/11/23	13/11/23	Basticala	Ashok	Agrore	timed.	
302	2023	NL OI ADAGOY	MH0310091000 8034	31/01/2023	30/01/2024	milan Roadways	Dharmendra	Dreumed	ver James	_
303	2023	MH46AR 3219	MH046002600125	20/06/2003	19/12/2023	Neermala Transport	Ramesh	Ramon	Numed 9:	
304	11 112	MHOI OR 8244	MH04301120024169	24/11 hors	23/11/2029	Bastiwala	Chandrika	-राज्या	uned >:	711
305			19H001007	2023	31109	A-S Entogones	Rajy	RA	My	)
306			MH0010171 0000373	11/07 2023	10/07	Sastronyme	Pombre	Paul	29	
307	12/12	MHC4 KY 9750	M40050178	14/0/	1310/	Ansan Trarepul	Scenil. Yada	न्योंगरे.	y C	
308	12/12	m114284 6669		24M0003	23 NOV 024	poonam Tagdes	Bahadur	Sad sume	@ Juse	
309	12/12		1940c40335 0002848	9 10	2029	Hansh Trangme	Vinad Kum	45-0	P	

23	DATE	VEH ,NO	PUG NO	DUG ISSUE	EXPRAID	TRANSPORT	DRIVER NAME	STEN	BIGN	REMARK
310	-10	R.J 19	D 221RJ	65/01	01/01/	Tata moloos	Ganga Ram	राभडाग्राभ	Columb	
311	2023	GH 3215	13104981 mna47006300	09/11/02-3	2021	yashon Transp	Nandu		alus	
		8751	10307		26 Jul 2024		STATE OF THE	1147	Samo	
315	14/2/2023	2639	y\check			Santosh Tempo Service	santosh	Suntito	V	
313	11/12		MH0470128	2023	2024	Sai Toenopul	Lalu	लीम्	30	
314	15 112	MH 04 AP 5725	19HO4 7000	2023	20112	Harish J	yadav	Bally	agon	
315	-	19403 HD 5516	0968072	2023	31/06	Jhalu J	Sarry	Suka	3/2	
316	16112	MH04	radad 80238	24/08	23/06	Sue of T	Pravin	Brand	apmin	/
317	16/12	ED 2896	MHO 401				0	0.00		
	2023	CVOCFTI	540005928	26/02	25/02	Garest Serport	Granesh	Ganeth	zyma	
318	17/12		MH0030255	09/09	08/09	Premad. T	Tarkeshwar	- Jarlantua	grid	
319	2023	CR 8291	m Hooloo	09/11	08/11	Sanjay T	Noreyan	p121210	Mathan	(C )
	2-24		25000 5466		2024	- July			Jon.	
		-			1 100			4		

4	DATE	NEH	PUC NO	DAG TOSUE	EXPRAID	TRANSPORT	DRIVER NAME	DRIVER	SISUP	REMARK
321	18/12	MH 02 ER 3868	MH 004018 50009484	03/01	2024	Lorbedh Frank proud	Agrif	W.	Jonn	) ,
322_		19404 KY1598	301990006	28/08	27/08	Jay Transport	GULZABR	-67.	ag O	
323	19 112		10000 373	11/07	10/07	800 Transport	Proedup	8.94	3/in	
324	-L/12 2023		MH004026 -00002194	23/03	20103	Vikrono Zgodluno	Pilip	Dát	Agran	
325	20112		MH043011 400083	14/09	13/09	A K. Tompul	Mornin	mounin	30	0
326			MH0010057 000 1940	2023	11/01	Kader Tempo	Kadik	वगट्टि ।	20in	
327	21 /12,	MH04 AT 8075	MH 648 0075 0010 210	2023	2024	Cooper Germono	Durgesh	Otto	ap)	
328	-11_	19H 62 F45630	MH 0020063	19108	18/08	Subhas CleeT	Bhageppa	Fre Italia	elo de	610
9	Toolin	100	- mr .aa. 1	Lahlan	alilmi laoni	Truta Motoria	(nanagrein.	Interior	And	

	DATE	NEH	PUG NO	DATE THENE	EXPERID	TRANSPORT	DRIVER NAME	SIGN	SISUP	REMARK
330	2023	MH 01 CV 2806	MH011011300	16/03/23	15/03)	Lopomi M.Y Transport	Ramnaresh	्रामनरेश	Numer :	
381	23/12/	MH49 AS 0534	MH0470059	2023	2029	Paresh transport Services	Dhanonjay	Dharing-	Limed	
332	2023	MH 01 CV 4331	MH0430112000	2028	2624	Granpath Transport	Zakir	बनाकीर ।	amak	
333	24 12 2023	MH 46 AR 5583	MH6460016000	2023	2024	Ajay Taranspoor	Surrey		numada:	
334	-11	MH03 DV 3 453	MH001000 500 63675	25/06	20106	Paway T	shnipat	graling	C for	
335	2023	MHO1 CV 5220	MH001008 40003317	14/01 2023	13/01	strai Loxani Lime T	sony	सीर	2/10	)
356	-11/12	GT-36 T 2001	6J 00300 590010482	26112	25/12	Relations	Rapiel Kyma	That +	90	1
337	25 12	4222 4222	GJ 13400480010	20/10/	2024	Batuk Townsport	siraj	सिकल (६	must !	
388	26112		MH043011 00008354	14/09	13/09	Pouram Trades	Momin.A	Mines	2/2	
330	112	MHO) CR 9414	M4001000200	01/10	31/09	AS Entempass	Rujy	Rom :	*	
340	-11-	MHOL CV7324	1140032029	2023	10/12	Screent T	Goudan	अंगिमा रे	ah f	)

	DATE	VBH No.	POG.No	DATE DATE	EXPRAIN	PANSPORT	DRIVER NAME	STON STON REMARK
342		[7HO] CV 5227	MA0010084	14[0]	13/01	shoi laxoroi	Sony	も新型型
843	2023	MHO]- DR 3779	MH0010005	11/0)	10/01	Soi Krupa T	Ram bhanut	7 M910 04
344	28   12	MH04 JK2462	MH0470128000	13/03/23	12/03/	Crunesh Taeinsport	Schelerp	25 Bulo
345		MH04 1K2462	MH0470128	2023	12/03	Sol Transport	Lali	m110 30
346	1/12		214H00 017108	11107	10/07	Soci Distributi	Rahcel	Pedin SUN
327	20112	MHOI		21 102	20102	shir stanobly	talthlesh	क्रिक्सिलेटा २५०
348		TOHOL		28112	27/12	Adam T	Rajendae	राज्य क्षेत्र
349	30/12	MH 04		23 03	22/03	villar Radin	Dipy	Cly 2015
350	30 112	MHOL		24111	23117	Bastwala T	charelnika	चित्रका २०
351	31/12	,	MH02600	23/05	22/05	NagnorthT	Nagnash	O Septimine
352		MHOI	GUO		18/01	Show Layoni Lain dep	Sona	30 2 0 D
		10 00				7	10. 11	

23	DATE	NO	PUC NO	DATE	EXPRAID	TRANSPORT	DRIVER NAME	DELAR	SIGN	REMARK
353	2024	19404 KF7523	016144	2023	2024	poota Racol	Sudama	Sundan	De gra	
354			19H018100 22013453	11/03	10103	Pooja Isacept	Imaran	- Talls	3/20	
355		MH04 KF 6214	Control of the Contro	13/04/	12/04/	New Balaji	Ramesh	श्मेख	(wred):	
356	03/01/	16/06 UPIICT 331	D47-RG 09116401	2023	12/02	Jadar Roadlines	Rakesh Yoular.	fallsh	Lumes	
357	03/01	MH02B9	MH0320018000	21/03	20/03	Swara Transfort		विश्वास)	wedy	
358	2024	MH477 6092	- PUL NO	t tssue	2d	plew van	Avdesn	अस्वहार।	mul me	
359	2024		Online Tosued Puc.	26/10/	27/10/	S.V Zurale	Kailas	the.	wine	
360	2024	MH04 KU9750		14/01	13101	Anson Transport	Sanil Yaday	estilly	2 min	/
361	6 101	MH04. JK2462	10H047020128	13/03	12/03	Sai Transparl	Lalq	TIVE	april	
362	2023	בלרו מא	MH0470 10,9000	25/02	24/02	1 comme	Lovkush	deur	appropriate	
363	10150	MHOAT	ayoc40260000	23103	22103	0 .	0.	1 (01)	0	

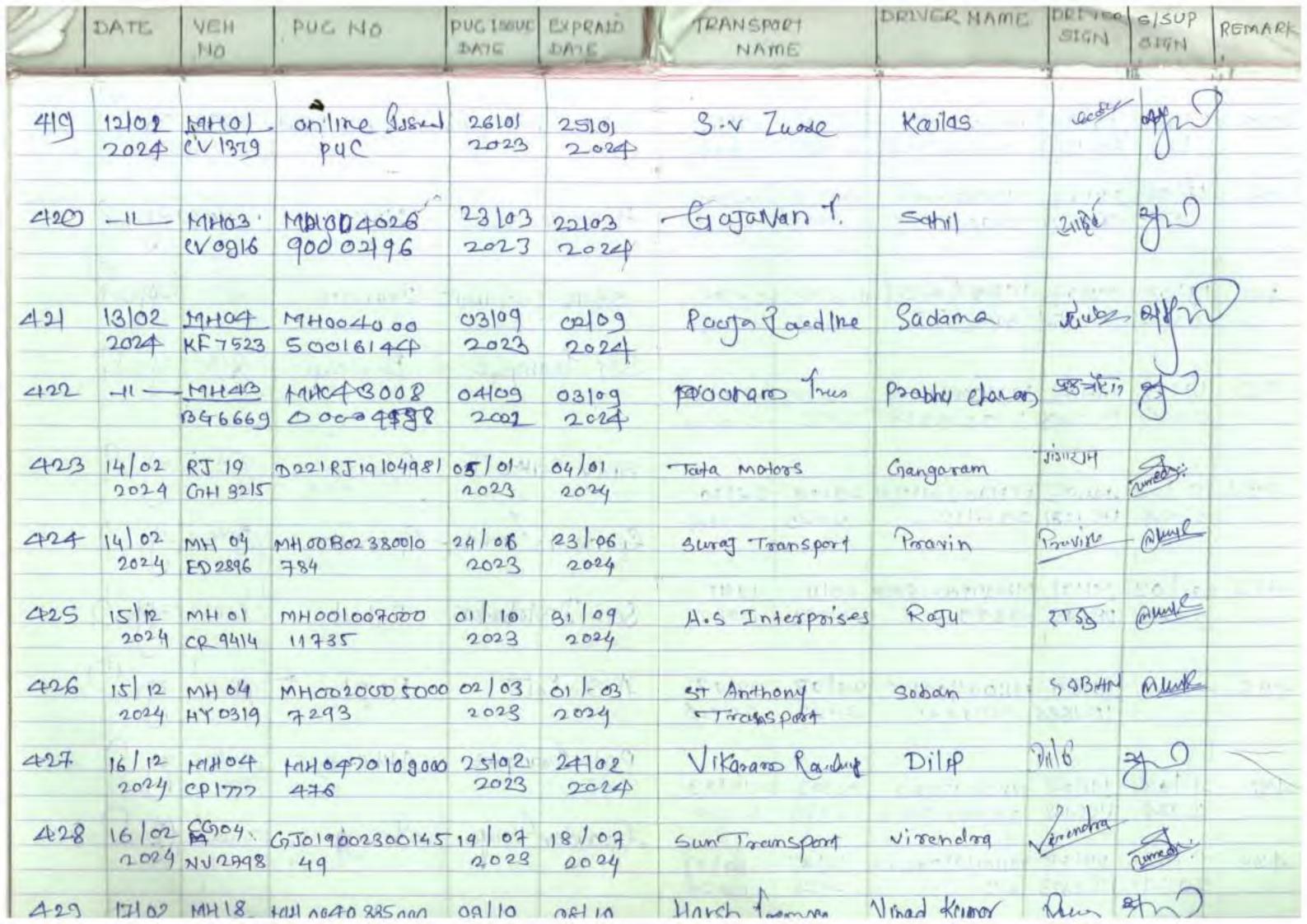
SR. No	DATE	VEH NO	PUG NO	PAGE TOUC	EXPRAMO	TRANSPORT	DRIVER NAME	DRIVER	S/SUP	REMARK
364		MAHOJ (V 6828	MHOUL 0057 00019 40	12/01	11 01	Kadir Tongo	Kadry	onlas	agni	
365	08/01	MH04 HD2003	(FI GOOHM	11/07	10/07	Scoi Transport	Pradeep	Road V	ayon	2
366		MH48 AG 2681	MH048106 0015396	2013	28108	S B Grapta T	VIJOY P	pry	gne	
367	2024	MH02 ER1497	MH00201170 006113	29140	28/10	stor E evamic		chamar > Chamar		
368	2028	MHO1CU 4331	MH0430112000	13/03/	2031	Ganpat Tounger		AL.	Pare)	
369	11/01	/10	1000 3317 4000 3317	14(0)	13101	Show Laxon Lim	Sona	TAPL		
376	12/01/	MH02 ER 1497	MH0020117000	29/10/	28/10/	Satyam Franspos	Lalu	lets	QJ_	
371	-12-	MHOICE 5325	MH0430104000	01/12/	39/11/2024	Pal Transport	Akhilesh	Aroj.	DEJ_	
372	13/01/2024	M4488M 4130	MH0040263000	22/68/	21/08/2029	Shaharay Taansport	Shafik	8_	DW_	
373	-11-	MH43B&	MH043 0114000	14/09)	13/09/	Cruruder Transp	Shavajj	Sterly.	BUL	

NO NO	DATE	VEH	PUC NO	DATE DATE	EXPRAID	TRANSPORT	DRIVER NAME	SIGN	SIGN	REMARK
4374	15/01/024	MH62ER	MH 00 2011 7000	29/10/023	28/10/024	star ceramix	B9 bu	कानु	muse	
315	16101	DDOLK 9177	0739	08/10/023	07/16/024	maharsidhi Traspa	Harayan	01/2/2/01	Olus	
376	+1 101	MH46 AR5583	19H046005900	29/09	28/09	Glass warb T	suresh	.65	gno	
377	17/01/2024		14400100 66000 5364	06107	2024	Ashac Bould Con Lato	Santosh	1991	210	
378	17/01	MH01 CR9414	mH 001-007	01/10	3/09	a. S. Entedtowsh	Ratte	92	+ Harris	
379	18/12	mH04	_ m4001071	11/07.	2024	Sal Transports	Probleg_	Pol !	. agpur	
380	_	MH04 KY9750	MH0050178	14/0/	13/01	dinsan darpal	sumply yadar	थानेल्	allora	
381		MHOL CR4805	14001009000 3877	2023	2029	Ravi plai T	Mithlesh	ms	20	-
382	20 01	MH 0] BR 1839	tahon30'	30108	29/08	Real Taje T.	Saraj	agast .	20	)
383	20/01	Mn 01 ND 2023	MN00 101 7108	11/07	2024	Sai Distributer	RANUL	Rahy	3/en	
384	21 101	mnol	mn 00100050	21/02	20/02	Sniv Shambhu	MI mesn	Printer		112

3	DATE	VEH NO	PUG NO	DATE DATE	EXPRAID	TRANSPORT	DRIVER NAME	DRIVER	BIGN	REMARK
	1		4						1	>
885	21 0	mnoy	mno02 000 500	02/03	01/03	ST Animoney	Soban	accor	pri	1
0.0.~			07293	2023	2024	Transport	107100	Prop 1	0	-
		,			-		1	1 m	DA D	
386	22/0/		Mnoo 40 3350	09/10	08/10	HARISH	Vinad Khnar		10	CHA
9100	2024	007182	00 2848	2023	2023	Transport			-	1
	an I at	60 to 10 to	mn003023800	24/06	23106	CLOST	pravin	Dropun	2h	
387	22 0	Mn04	10784	2023	2024	SURAJ	Transing .		0	
	2014	FD 6862	10401			1 souns poor	An Rest	TRUMP!	-	
388	2311-01	mn 03	MN00 1013 700	04/09	03/09	Singh Transport	maherona argh	part	2/	
000	2 0201	CV 6221	01625	2023	2024				U	
					100	26 3) 26 3	0	The state of the s	21 0	. 00
389	-11-	MNOI	mn 0010084000	inlos	13 101	LAXM; Transport	Sony	Troth	7	
7	No.	CV 5227	3317	2023	2024				U	
	1		two and are	101.1	tatu	Cantach	Salish	2016	9 0	100
390		MHCHT	tato 480 136	18/11	17/11	Jantesh T	SQ4121)	13 1	0	4
	2084	AS 3048	0006082	70 20				. ,		
201	odlat	MHAT	tan 0030129	62/08	01/08	R.K.G Treinspul	Sunil Jupt:	Suno!	2	1- CO.
391	20101	7 2569	0008362	2023	2024		M8 0 1	TOP	DEC	
	1	1 200	10	11/11/11	10/2/4			-	01.10	
392	25/01/	mmer.	m110020117000	29/10/03	zoliolary	Ster Cramit	Babu	वान ।	Mente	a rest
	2024	1492	6113			Spare Steel	81-	-61	1	
	Verlad			- 100 lazz	19/04/074	2 + man and a State Called	9	byastanie (	DIME	27 /
393	24/0/19			101041053	19101.12.7	BigBlock construction	Da las hankas D			
		3677	12 18 1	12. 11	1 1	200		0000		
	1	1				25/27 99/01	PULCIE MIXIE	13-140		100
394	20/01	MH48AG	MH04301126025		29/07/24	Mobilti Todhsport	Maguti 12	Pel- B	Who I	
221	204	6191	969	29/107/24					0	
	0					1311419 11	0.14 01	1	2	0 1701
395	31101	MHOST	MH0040 26000	23/03	22/03	Vikson & gedeng	Villy la	M 2)	V.	

3	DATE	VEH No	PUG NO	DUC TEUE	EXPENSE	TRANSPORT	DRIVER NAME	BETARE	SISUP	REMARK
347		19401 CR 9414	MH00/000 2001/785	01 110	31/09	A.s Enterpmen	Rasy	Ray	3/	
898	2024	JC 1062	MH014020 4000 3 506	28/02	27/02	Nikhil T	Hikhil	Riskell	20	)
399		MH48 AG 2681	MH048106 0015396	20108	28/08	S. B Gupto :T	VIJOU P	MAS	and a	) 1 2 3
400	+ 102	MH04	1280005420	13/03	12/03	Scal Toansyme	Lary	वास्त्	gri	) 11 C
401		MH03 (V 622)	7000 1627	2023	2014	Singh 1	Mahenda Sigh	( Cond	gro	) 11
402	11/02		MH0010056	27/03	26/03/	Regarden shoul T	Rajalam	2511219	on	
403	05   02	MHOI EE1183	MH 0460154 000 2718	03111	02/11	S. S. Emcrepose			agno	310
404	-u-	MH03	1940030071	23108	22108	*Kadaro Transput		a uto	U	
405	-IL	19147 E3168	19H 0480133	10/08	03/08	play plus .T	Akber Ali			
406		MHO) CV 3566	- MH00302 5500044	02110	2024	Vishal. T	gyendal zie	भपाक् ।	50	

3	DATE	VEH	PUG NO	DATE DATE	EXPRAID	TRANSPORT	DRIVER HAME	DRIVER	SISUP	REMARK
498	07/02	19H48 BM 0858	1's sud pue	2023	13-12"	Sokat Transport	Arvind Pattok	312(3 4	30	
409	-		MH0040085 0015619	08106	07106	Hem decord T	Mu Keish	· Mms	13pm	
410			MH002017	29/10	28/10	Star (eramic	Chaman	Set	ath	1 2 %
411			MH001017 10000 373	11/07	2020	Sai tompet	Pocloup	878	of C	
412	9/02	DN 09 N 925	TAHO48051	25/03	24/03	Shiv Sakt T	Ram	ZIH	3/2	ELIDE
413		MHO! CV047	MH0140159	26/02	25/02	Ganest Trends-	Ganesh	Grass	3	) 10
414		MH 01 HD 2023	- MH001017108 5 G037-3	11/07	10/07	Scei Distributions	Rahul	fahl	approx.	
415	-4	MHO) CR941	4 0001173±	2023	30/09	A.S ENT	Raju	200	gn C	)
416		19HOL CR5325		2023	81111	PAL Toursport	Akhilesh	Akel	90	
42.7	2024	19H40 BG 4969	1410430114000	14/09	18/09	Guruder Temps.	Shings	chriso	9	10 1 2 Mg
						57.19	- 710	100	1	0.0



	DATE	VEH No	PUG NO	DATE DATE	EXPRAM	TRANSPORT	DRIVER NAME	DRIVER SISUP	REMARK
430	17/02	19H04 Ky 1598	MH0080199 0006208	28/08	27/08	Jay Transport	CHILZON	Blushe State	1
43	18/02	MH03 CP6520	MH00301 57000 7397	2023	08102	Gambans-T	Manoj	many D. C	
A32	18102	MH04 CV047	0005928		25/02	Grane sto T	Ganesh.	good of D	1 - K
433	18105	MH05 EL2743	MH003024 70013357	23105	22105	racingal racings.	Kasishna	MAINHURY D	
434	19/02	MH02. ER 1487	19.400201170	29110	28/10	Star Stramin	Lovekash	Magyar 20 9	3 to 1
435		19HO1 DR 6937	1940010016000 4849	2011	19111	Honda. T	Sydram &	diyarean Am	
436	-11-		1140040085	24/08	23/08	A spa Soonered	Aghar	and of the	11/- 5
437	21/02		14100 470 20 128 000 5423	13103	12/03	Scei Transport	Lala	area appril	)
4-38	11/02	MD 2623	1940010170000 373	11/07	10107	Scer Distributors	Proadeep	& 2100	584

DELVED SISUP DPINER NAME DATE EVPRAID MEH PUG NO TRANSPORT pus twee REMARK SIGN MUDIE DAGE DIME NAME 140 · Sen Bons 440 22 02 MHOI 04/02 Scoi Krishm T MH0030039 03/02 BABU 2024 EE 3799 0008426 2024 2025 A ......... 80m 340 23 02 27/06 441 MHOI Jamal chunguda HUSSED MHOULFOO 26/06 2023 CR6539 680005987 2024 Toousell 3/2/Mg S.B Gapta.T 24 02 MH48 29/08 Vijay 28/08 442 MH048 106 2024 2023 A 268 00 15396 2024 VIKram Jacob 423 -11-23/03 Dilip 34/2 MHO4 MHO64026 Bilop 20/03 2023 JK6832 90002109 2024 Rakeshyadar Lyadar 2 28/12 27/12 444 25102 MH48 MH020 117 2023 2024 2024 BM 4554 0004087 Grunesh Trangal Garresh 25/02 and sto 445 mH0140154 26102 -11- MH03 2023 2020 CV0471 000 5928 stron products chardy 20 3/10 BON 446 23/04 26 02 MHO2 MHO020117 24/04 2028 FG 2368 0005790 2024 2023 在野沙人 Hers Aguy Shalvel 26 02 447 MHOF MH0480018 14/09 13/09 0007894 2014 2024 LE 3377 2023 Scei Trangont Roading Andur 29 MAH 00/017/ 11107 448 27 102 MHOG 10/07 2024 19 2003 0000 373 2023 2024 ट्रिक् व्यक्तिम् Posts Tranger Sontess - 02 MH 43 449 06(1) HH 00100 25 09/11 2023 2024 AG 5632 0005466 2014 28 02 MHU68F MHOO 3024 22/02/024 2/108/024 Minge 450 Agard Tronsport Rokesh

2	DATE	YEH	PUG NO	DATE DATE	EXPRAID	TRANSPORT	DRIVER NAME	BRIVER	SIGN	REMARK
452			MHO01009 3000	05/12	2024	Ray Transpul	· Ramue Yadav	MIM	244	
453	2024	MH04: JK2462	128000 5423	13103	12/00	Sai Transport	Lala	ETTEL	apro	
454	2024	MHO1 BR1839	19456301800 100681	30/08	29/08	Recol Teak. T	Suraj	sury	200	
455	02/03	M1401 CR4805	Mucalogood 3877	10/09/	2024	Ram pred T	Mukesh Yodav	relative	*	
456			MH6486051	25/03	24/03	shiv sharts T	Law	到开	و المواد	
457	2024	MH04 FU1486	MH00 4021 8000 3320	19105	2024	Green channal GNIL	Janjay	संखां।	17	
458			MH 03200, 180003914	2023	20103	Swasa Trange	Vishwas .	18 2914 S	7	
450	2024	GJ 16_ AW 1418	14H04800 120026165	25101	24101	Precise (on	Ajay	Ay a	the s	
460		MH 02 FR 1497	14H002011 7000613	2023	28/10	Star STRA MIX	Baby -	वाष्ट्र ८	20	
461	- 103	14 HOL HD 2023	194001017108	11107	10107	Scei Distorbutors	Rahul .	gold of		
469	06 03	101146	MHOGROPIE	00109	26109	A row Torner	Cons &	(Iro) Q	u d.	-

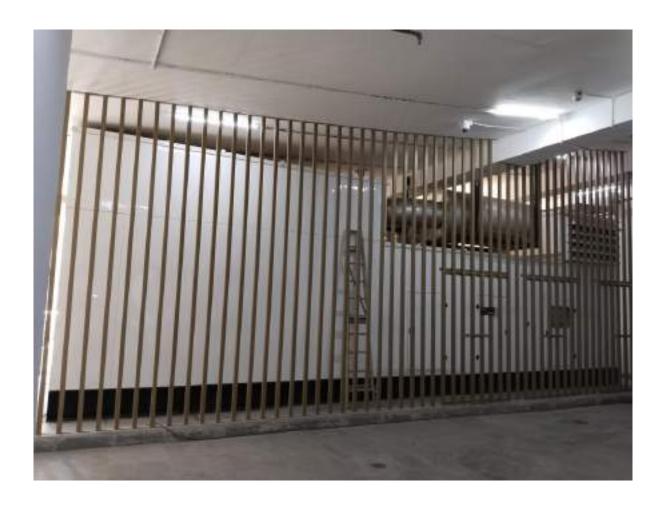
3	DATE	YEH NO	PUG NO	pug tanut awie	EXPRALO	TRANSPORT	DRIVER HAME	DRIVER	SISUP	REMARK
463		MH 43 BG 6947	NO 0000151	24/12	23/12	Orange Transport	Padap Singh	Pocideur	all s	)
464		MHO) CV 4329	MH0260062 0016071	23/05	20105	Magnotto house	Nagnorth	They alto	2pm	
465	2024	MH648 AY 7818	4000938	20102	18/02	Stilzan Penpo Senuci	Somnath	8	20	
466	2024		MH0010025 0005466	09/01/	2024	Sanjay Trasnau	Sargey	- कृशी प	20	
467			MH0030085	2024	01103	Jamal Dada T	Hussen of	الما فنت	20	
468			MH0010137	27 01 2024	2025	thordorba	Khandu	visaroy)	am	)———
469	10 03	11HA2 807183	MH0300018	21/03	20/03	Swarg Transport	Vishuas	Fd20181	2	)
470	-L 103 2024	192023	MH001017108	11107 2023	2024	Sai Distribution	Rahal	Rus	2/2	
471	2024	MH14 HU3758	lattle to comme	2023	2024	Pratik Roadlines	Pac Nilesh	-	Muse	
472	11/03/29	MH 12 Qui7545		2025	11/02	Procefin Pondlines	Chanesh		mul 1	p
473	~~	MH14		09 02	08 102	Profile Roadlines	Naunceth	म्परीयाम्	Must	

DATE	VEH	PUC NO	DAG TREAC	EXPRAID	TRANSPORT	DRIVER NAME	SIGN	SIGN	REMARK
12-403	4414LB 7946	online Pue.	14/09	13 Sep 2025	Pratik Rowellines	Kalidas	Kolidas	20	
-		MH0140027001	2023	2024	Pratik Roadlines	Akshay	Athery	30	
13/03/024	1492 1492	MH0020117000	29/10/023	28/10/024	6797 CAREMIA	chaman	वनिषु	Alm S	
	MH43 18G4969	194000 14000 8375	14109	13/09	Lyusudev. 10mg	Shiraji	Quidy	gh C	
	AND THE RESERVE OF THE PARTY OF	M 4003 0071001	23108	22/08	Kalon Trompo	Masim	जसीम	246	
		mH0010066	27103	26103	, 0	Raya Ram	21511214	at a	
15 103	MH04 F42634	MH0470132 0042334	2024	26/08	J.T Toursport	- Roj paj	Day hed	90	
	MH OLCV	MH 011011 300 06	16 03	15/03	Laxini M.y Road lines	Ramnaresh	रामनेरस	Mark	
16/03/024	MH46AR 5583		29/09/023	2.8/03/024	AJOY Transport	SUNDT	Sp	Munic .	
171.03124		1940010025000 5466	2023	2024	Panis Ceramics	Pradeep	9214	3/20	130
-11-	MH 47 AS 6742	MHO+78091000 4062	23104	22104	Adaheshwani nuns	e Kalpesh	fund	20	nes.
	12-40-3 2024 13/03/024 14/03 2024 15/03 2024 15/03 2024 16/03/024	12403 MH14LB 7946  1263 MH14KA 7946  13/03/024 MH04KA 7946  13/03/024 MH02ER 1492  -11 MH03 MH03 CV 9386  -11 MH01 CV2107  15/03 MH04 F42634   12.102 MH14LB online Pue 7946  12.103 MH04 MH014002900 1492 6113  -11 MH03 MH03 MH003 0071001  2024 CV2107 000 2812  15 103 MH04 MH0470 132  2024 F42634 0042 834  15 103 MH04 MH0470 132  2024 F42634 0042 834  15 103 MH04 MH0470 132  2024 F42634 0042 834  15 103 MH04 MH0470 132  2024 F42634 0042 834  15 103 MH04 MH0470 132  2024 F42634 0042 834  15 103 MH04 MH01011 300 06  2024 7806 381	12-10-3 MH14LB online Pue 14/09 2024 7946  12-10-3 MH14LA MH014002700 19/09/1 7946 10099 19/09/1 18/03/024 MH02ER MH0020117000 29/10/023 1497 6113  -11 MH43 MH0430114000 14/09 1864969 8375 2023  14/03 MH03 MH0030071001 23/08 2024 09386 3230 2023  -11 MH01 MH0010066 27/03 2024 F42634 0042 334 2022  15/03 MH04 MH0470132 02/02/1 15/03 MH04 MH0470101130006 16/03 2024 F42634 0042334 2022/1	NO   DATE   DA	NAME   NAME	NAME   NAME	No   DATE   DATE   NAME   NAME   NAME   NAME   NAME   DATE   DATE   DATE   NAME   NAME   NAME   DATE   DA	12   12   13   14   14   14   14   14   14   14	

No	DATE	YEH	PUG NO	PVG tasvo	EXPRAID	TRANSPORT	DRIVER NAME	DRIVER	SIGN	REMARK
			A Latte of the of	malu	08/11		911	Riese	afolim	
486	18/03	MH 243 AG 5632	000 5466	2023	2014	paross Tochegol	San tosh	Acuse	John .	
				041.0	07/10/	11111 8 0	Dell'action of the	- 21   1,53		
487	2024	MH 04 GC 5836	80014771 80014771	2024	27/02/	Vhubban Tronfam	mulant	ms	20	
488	1	MHOA	MH00401090	23 03	20103	Vikram? adence	Dilip	314	2450	)
	2024	JK 6832	00476	2023	sart		- in School and	as or let	0	36-
489	20 03		M10030225000	28/01	27/01	Boyor T	Ramdas	71	App )	
	1/A	CV. 9046	1	1 = [	7/1/2	Forme Tables	n or product	David		PAR
LIGO	20/03/024	2023	373	11/64/023	101041024	Sai Distributord	Rahut	AU.	and	
491	21103524	mHOZER	MHOD20117000643	29110)23	28/10/24	Shar Coramic	Baby	世史:	Blanking	1355
		1437					72 54 500	191221		
492	22 103	MH43 BP 8541	MH04300130	18/10	17/10/24	Glass wall Toangro	Som noth	Lionas	This is	(E *
493		1/3 a with	M0010137000	31101	30101	Scebbir fradenge	Aanad	Yes	2h 0	
244.0		86 6388		2014	2025			TX	0	
494	23 03	MH02	MH002011 7000613	29/10	2014	Star Serg Mix	Babu	वाब्	9h0	
100		PR 1497	and the party	To make it	24103	Shir Shakti T	10 a = 0	and .	20	
495	-11-	DN09 N9257	MH048051 000		2024	Show Sticker	Kow.	Kh. I	0	~
496	26 03	m4030		20/04/	25/04/024	Gonesh Tourspo	+ Ganesh	400	Chine	

No	DATE	NO	PUG NO	DATE	EXPRAID	TRANSPORT	DRIVER NAME	DRIVER	SISUP	REMARK
497	28/03/024	MH04FD 6862	10784	26/06/03	25/06/024	SUM Janspart	paguin	paqvii	2 Muse	
497	29/03	MH 03 CP 3740	MH 0030091000	03 65 2023	2024	Lucky Transport	M. Israil	माच्यारी	A C	
498	29/03	MH04 HD2083	MH00/07/000 373	11 07	10/07	Sai transport	Prabap	p.s.marale	30	
499			0657	30/08	29/08	Real Tak T	Syrat	25255	3/2	
500		MH03 CV3481	MH0470109	13/04	12/04	DarstonT	Manoj	A.B. metcker	3	
501	31/03	MH 01 CR 9414	MH001007020 11735	01110	31/09	A.S Entempnse	ROY	DS all	*DP	
	116		1144-1	ALM S	4. VIII.9					
		PK	1410/4	7-21/90	2 voj.2	-				
		8.3							-	1

# **Photograph of DG Set**



#### **Details of Organic Waste Converter**

### Nachiket's Semi-Automatic Batch Composting (Model - N30-400)

Organic Waste converter Capacity 400 Kg. /day

Technology - Nachiket's Semi-Automatic Batch Composting (Model - N30-400) with 150 Crates



The organic waste from the houses in general contains food waste from the pre-cooking operation and post cooking remnant or excess food.

The organic waste is inspected for contamination like metal, glass, stone, plastic etc and segregated, then fed into the container of OWC.

If the material has more moisture content which can be seen by visual observation, then saw dust absorbing media is added into the container upto 30% of the weight of the waste depending on the moisture content in the waste.

The odour control powder along with composting enzymes are added at the dosage rate of 10 gm per kg of waste.

It is a mixed, aerated & agitated and crushed for 10 minutes.

Then container of the OWC is opened and observations are noted. Then the lid of the container is closed and again the OWC is operated for 5 minutes.

After the completion of 15 minutes, the system will stop automatically.

The lid is then opened and the processed material is observed. If it is turned to granular free flowing material, then lid is closed and the system is restarted.

The bottom valve is opened for draining of the material. The material is collected in the trolley placed underneath of OWC System.



For maturing and curing the compost, the material from the trolley is shifted in the crates which have perforation for aeration and then the crate is placed in the curing system.

After 8 - 10 days curing period, the material from the tray can be used for application to the plants or any other mode of usage of manure in the agriculture.

In order to make the granular texture of the material, it is advisable that before using the organic manure from the crates, it should be passed through the OWC System for one minute – 5 minutes.

If you have waste from garden containing pruning's and small branches of the trees upto 2 cm diameter and/or bones, will be required to pass through Shredder before it is placed into the OWC.

## Technical Spec's

	Waste Processing Capacity - 400 Kg per day (4 hr working)						
Sr. No	Description	Technical details					
1	Model	N30-400-450					
2	Composting Method	Micro-organism Based Natural Composting.					
3	Time to Convert Waste in to Manure	Approximately 8-10 Days.					
4	Operation	Semi - Automatic					
5	Drum Size	67 Ltrs					
6	Machine Dimensions (LxWxH) mm	1450 x 750 x 1100					
7	Approx Machine Weight	285 Kg					
8	Power Supply	415-440 Volts / 50 Hz, 32 Amp					
9	Phase	III Phase					
10	Power Rating of Machine	3.5 HP / 2.61 kW					
11	Power Consumption	20 Units / Day					
12	Motor Make	ABB / Nord / Siemens / CG					
13	Motor Rating	2 HP / 1.5 kW					
14	Crusher Type	Petal Crusher					
15	Crusher Rating	1.5 HP / 1.1 kW					
16	Crusher Capacity	100 Kg/Hr (4 Hr working)					
17	Batch Cycle	15 min					
18	Material of Construction ( MoC )	Stainless Steel ( SS 304 )					
19	Crushing Speed	2800 RPM					
20	Reduced Particle Size	2-4 mm					

21	Single Crate Dimensions (L x W x H) mm	560 x 360 x 290			
22	Crate Weight Capacity	20-25 Kg			
23	Total no of Crates Provided With External Curing System	200 Nos			
24	External Curing System Dimensions ( mm )	7900 x 4800 x 2200			
25	External Curing System Consists	A rack system to put crates of pre-compost.  Precompost is kept for 8-10 days with intermittent spraying of water mist required to speed up the composting process as well as pH correction of the pre-compost			



#### FORM FOR FILING ANNUAL RETURNS

[To be submitted by producer/manufacturer/refurbisher/dismantler/recycler/bulk consumer by 30th day of June following the financial year to which that return relates]

#### **Submitted For**

April 2022-March 2023

#### Apply As

**Bulk Consumer** 

#### 1. Name of the Bulk Consumer

M/s K Raheja Pvt. Ltd.

#### 2. Name of the authorised person

Mr. Vaibhav Samarth (General Manager -

Engineering)

**Telephone** 

09167779454

Fax

022 26564560

#### 3. BULK CONSUMERS:

Type Quantity(MT)

NA

4. Name of the destination where E-waste is channelized

Not Applicable

**Place** Date

Mumbai

Address of the Bulk Consumer /recycler

CS No 2/1629&1A/1629 Of Lower Parel div, Plot No. 249&249A,248B of Worli

estate Sch. No 52, Mumbai

Full address of authorised person

CS No 2/1629&1A/1629 Of Lower Parel div, Plot No. 249&249A,248B of Worli

estate Sch. No 52, Mumbai

**Email** 

vsamarth@kraheja.com

Address of the destination where E-waste is channelized

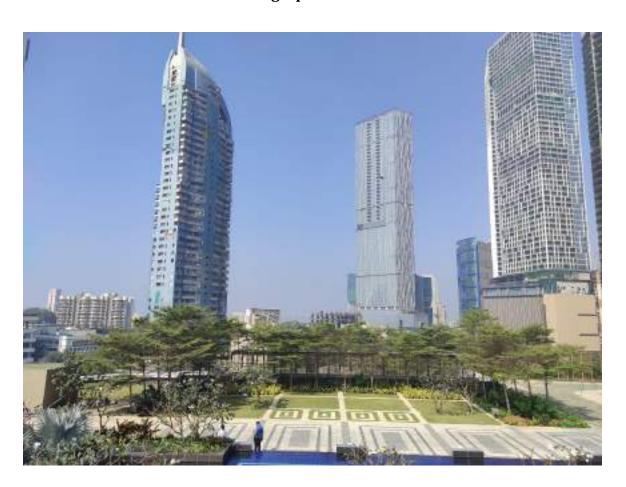
Not Applicable

Jun 15, 2023

# Photograph of STP



# Photographs of Green belt





# Photographs of Green belt





# मुंबई, बुधवार, ११ नोव्हेंबर २०२०



#### जाहीर सूचना

पेसर्स के. रहेजा प्रायखेट लिमिटेड यांच्या न.भु.क. २/१६२९ व १अ/१६२९, लोअर परेल विभाग व प्लॉट क्र. २४९ व २४९अ,२४९ब वस्त्री इस्टेट स्कीम क. ५२, चरळी, मुंबई वेथील रहिवासी टॉबर इमारत, बहुमजली सार्वजनिक बाहनतळ इमारत, कार्यालबीन इमारत ब रहिवासी इमारत बाच्या प्रस्ताबित विस्तारीकरण प्रकल्पास महाराष्ट्राच्या राज्यस्तरीय पर्यावरण आसात मूल्यांकन प्राधिकरणाच्या क्र. एस् अध्य.ए, / एम्.एच. / एम.आय.एस./४२८३०/२०१८दिनांक ३१/०३/२०२०च्या प्रधान्तवे पर्यावरण विषयक परवानगी मिळाली आहे. या परवाननी पत्राच्या प्रती पर्वाकरण विभाग, महाराष्ट्र शासन व महाराष्ट्र प्रदेशक निवंत्रण महळ बांच्या कार्यालयात व parivesh.nic.in as either estation उपसब्ध आहे.

स्थळ - मुंबई

दिनांकः :११/११/२०२०

# **PULSAR INTERNATIONAL LIMITED**

Regd. Office: Adarsh Laxmi Building, Office No. 3, Sai Babanagar, Navghar Road, Bhayandar (East), Thane - 401101. Tel: 2266 0442/2266 0526, Email: pulsaribd@wsnl.net, CIN: 98999MH1990PLC131655

#### EXTRACT OF UNAUDITED FINANCIAL RESULTS FOR THE QUARTER ENDED 30TH SEPTEMBER, 2020

Ra In lace)

100 me determine	C PRINCES	MIN CHES	ME AMERICA	SERVICE OF STREET	-	Carrier and Contraction
	30/Sep(20)	Ort Einded 30/Jun/20 Unaudited	30/Sep/19	6 Months Ended 30/Sep/20 Unaudited	6 Months Ended 30/Sep/19 Unaudited	Year Ended 31/Mer/20 Audited
I. Total Income:	5,16	0.00	2.36	5.16	6.78	16.53
It. Profit before Tax	2.12	-3.54	-7.82	-1.42	-10.57	-9.81
III. Tax Expanses	0.00	0.00	0.00	0.00	0.00	0.00
IV. Not Profit(Loss) for the period V. Total Comprehensive Income for the period	2.12	3.54	-7.82	-1.42	-10.57	-9.81
(Comparing Profit)(Loss) and other Comprehensive income for the period)	2.12	-3.54	-7.82	-1.42	-10.57	-9.81
VI. Equity Share Capital	3 Cr	3 Cr	3 Cr.	3 Cr	3 Cr	3 Cr
VII. Earning per equity share	0.07	-0.12	-0.26	-0.05	-0.35	-0.33

#### Notes

 The above standalone quarierty financial results have been reviewed and recommended by the Audit Committee of the Board, has been approved by the Board of Directors of the Company stifts meeting helidon 10th November, 2020.

 As the Company's business activity talls within a single primary besiness segment, namely dealing in Mutual Fund Link, the disclosure requirements as period. AS 108 operating segments' are not applicable.

By Order of the Board of Directors For Pulsar International Ltd. 846.

> Mahesh, Ratifol, Shah Managing Director DIN: 00217516

Place: Numbai Date: 10,11, 2020



# HINDALCO INDUSTRIES LIMITED

Regd. Office: Ahura Centre, 1º Floor, 8 - Wing, Mahakali Caves Road, Andheri (East), Mumbai 400 093.

Tel No. 6691 7000: Fax No. 6691 7001: | Email: hindaico@acityabirla.com | CIN No.: L27020MH1958PLC011238

Website: www.hindaico.com & www.adityabirla.com

# EXTRACT OF STATEMENT OF CONSOLIDATED UNAUDITED FINANCIAL RESULTS FOR THE QUARTER AND SIX MONTHS ENDED SEPTEMBER 30, 2020

(₹ in Crore, except otherwise stated)

Particulars	100000	Quarter Ended			hs Ended	Year Ended	
	30/09/2020	30/06/2020	30/09/2019	30/09/2020	30/09/2019	31/03/2020	
	(Unaudited)	(Unaudited)	(Unaudited)	(Unaudited)	(Unaudited)	(Audited)	
Revenue from Operations	31,237	25,283	29,657	56,520	59,529	1,18,144	
Profit (Loss) before Exceptional Items and Tax	2,351	(181)	1,748	2,170	3,326	6,208	
Profit/ (Loss) before Tax	2,422	(600)	1,492	1,822	3,048	5,924	
Polit (Loss) for the Period from Continuing Operations	1,785	(569)	974	1,216	2,037	3,767	
POR (Loss) for the Period from Discontinued Operations	(1,396)	(146)	-	(1,538)			
Profit' (Loss) for the Period	387	(709)	974	(322)	2,037	3,767	
Islail Comprehensive Income/ (Loss) for the Period	1,249	182	(1,084)	1,431	(458)	1,844	
Hed-up Equity Share Capital (Net of Treasury Shares)  Face value ₹ 1/- per share)	222	222	222	222	222	222	
Other Equity Emings Per Share		THE .	100	-59,415	56,519	58,096	
■ Basic - Continuing Operations (₹)	8.03	(2.56)	4.38	5.47	9,16	16.94	
■ Diuted - Continuing Operations (₹)	8.03	(2.56)	4.37	5,47	9,15	16.93	
■ Basic - Discentinued Operations (₹)	(6.29)	(0.63)	0.47	(6.92)		1000	
■ Diluted - Discontinued Operations (₹)	(8.29)	(0.63)	3	(6.92)	-		
■ Busic - Continuing and Discontinued Operations (₹)	1.74	(3.19)	4.38	18.45			

्एक ज

विक्रणा

वती पहना हमात करणे था दोन-चार नेगर्नगळ्या न सुरू होते. चे गेल्या तीन थकते होते. श्रिसाठी एका

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Collect the full copy of Newspaper for the submission in passport office.

I HAVE CHANGED MY NAME FROM SHAIKH SOFEYA FARIED TO SOFEYA FARID SHAIKH AS PER GOVT. OF MAHA. GAZETTE NO. (M 2048365) DATED: 4TH NOV. 2120. CL-110480

I HITHERTO KNOWN AS PANDURANG SON OF SATYAWAN TAWADE EMPLOYED AS POSTAL ASSISTANT IN THE INDIA POST, OUT THE DIPECTOR MUMBAI GPO MUMBAI 400001, RESIDING AT AZOS KESHAV APARTMENT, SIODHARTH HAGAR, VAKOLA, SANDACHUZ - EAST, MUMBAI 40005 HAVE CHANGED MY MAME AND SHALL HEREAFTER BE KNOWN AS PANDURANG SATYAWAN TAWDE WILL HARBARTHRA GAZTEN TAWDE WILL HARBARTHRA GAZTEN PUBLICATION NO. M 2047025 DTD. 2910/2020 - 04/11/2020. DL-110485

I HAVE CHANGED MY NAME FROM ARCHANA PANDORANG YADAY TO SUAD MOHAMMED GOUS SHAIKH AS PER DOCUMENT (2-943)

I HAVE CHANGED MY NAME FROM BILAL SAFEE TO MCHAMMED BILAL AXRAM SAFEE AS PER ADHAR CARD NUMBER 9487 \$235 5555. (2, 365

I HAVE CHANGED MY NAME FROM AMIN'ABHUSHAN SATYANARAYN KUSHMAHA TO MY NEW AND COPRECT NAME AMIYEHUSHAN SATYANARAYN KUSHMAHA AS PER ADHAR CARD NO 69477/838295 (2,447)

I HAVE CHANGED MY NAME FROM YISHVA VARMA THANKAPPAN TO YISHVAVARMA THANKAPPAN PANIKAR AS PER THE AFFIDAVIT CL-639

I HAVE CHANGED MY NAME FROM MEENABEN VIJAY PATEL TO MINALDEVI MANGU AD 86 CHHEDA FALIYA PATLARA MOTI DAMAN 396220 CL-660

I HAVE CHANGED MY NAME FROM PATEL DIVAKUMARI VLIAYBHAI AND PATEL DIVA VLIAY TO DIVA VLIAYNUMAR PATEL AD 148 TAD FALIYA KARAMBELI

## **PUBLIC NOTICE**

DREAMII

BEWARE!-This is to notify you that RKSV Securities India Private Limited (Upstox) has come across cases wherein a certain non bonafide group is pretending to offer a job in Upstox & is asking for your PAN & Andhar details in exchange. Kindly DO NOT share your PAN or Aadhar details with anyone pretending to offer you a job at Upstox. This is a scam. The authentic HR team at Upstox does not ask for these documents unless it is your date of joining at Upstox. You can go ahead and apply for a job by visiting careers page www.upsicx.com/careers/ You can also write to scamchecks@rksv.in for any concerns For

RKSV Securities India Private Limited (Upstox)

Date: 11/11/2020

#### PUBLIC NOTICE

NOTICE Anusiya R, Ganatra a Member of the Unnat Nagar Akshay Co-operative Housing Society Ltd. naving, address at Unnat Nagar No. 1, M.G. Road, Goregaen (Weet), Mumbai - 400104 and holding 1st/ tenement No. 649 in the building of the society, died on 31/12/2019 making notified by

Mr. Visyoumar V. Suchdev had made the application for transfer of shere certificate under Bye-Laws No. 34 in his name.

The society hereby invites claims or objections from the heir or heirs or other claimants' objector or objectors to the transfer of the said shares and interest of the deceased member in the capitals property of the society within a period of 15 days from the publication of this notice, with copies of such documents and other proofs in support of bis/henther claims/ objections for transfer of shares and interest of the deceased member in the capital property of the society. If no claims' objections are received within the period prescribed above, the society shall be tree to deal with the shares and interest of the deceased member in the capital/ property of the society in such manner as is provided under the bye-laws of the society. The claims/ objections, if any, received by the society for transfer of shares and interest of the deceased member in the capital/ property of the society shall be dealt with in the manner provided under the bye-laws of the society. A copy of the registered bye-trws of the society is available for inspection by the claimants/objectors, in the office of the societyl with the secretary of the society between 11 am to 4 pm, from the date of publication of the notice till the date of expryofitsperiod.

For and on behalf of Unrat Nagar Alahay Co-operative Housing Scoots Us. 844- Hon Secretary

Date: 11/11/2020

Place: Mumbai

SAI PRASANNA CO-OF HSG, SOC. LTD. situated at plot No.1132/1133, Shahabaj Vilage, Belapur, Sector 19 invites Expression of Interest from PROJECT MANAGEMENT CONSULTANCY SERVICES for repairing work of our Society Buildings consisting of 31 flats on a 1580.30 sq. Mrs. Plot area.

Expression of Interest may be submitted within one week's time from today.

Contact persons: Mr. Laxmana Swamy - Cell no. 9892417948. Mr. Unnikrishnan Nair - Cell No.

Mr. Unnikrishnan Nair - Cell N 9137058474.

#### Public Announcement

The project for Expansion of proposed Residental Tower building, Multi Storied Public Parking Lot Building, Office Building & Residential building on plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249 A, 249B of Worli Estate Scheme No. 52 Worl, Mumber by M's. K. Rahela Private Limited has been accorded Environmental Clearance by State Level Envisonment Impact Assessment Authority, Maharashtra Vide letter No. SIAWHWIS/42830/2018, dated 31⁵⁸ March 2029. Copies of the said Environmental Clearance are available with Environment Department, Government of Maharashtra and Maharashtra Pollution Control Board and on the website parivesh nic.ln

Place : Mumber Date : 11/11/2020

#### **PUBLIC NOTICE**

Notice is hereby given that 1) MR. MCHAN PADMANABHA KURUP & 2) MRS. LEKHA MCHAN KURUP & 2) MRS. LEKHA MCHAN KURUP are acted & possessed of ander sufficiently detitled of appreciates via Gala No.CUI, Ground floor, Building No.2, Dates Industrial Park Building No.2 Premises Go-es, Soc. List. No. Jain. Maedil, Tungereshwar Photo. School, Vissa (E) Cathot Peighar M.S., Pin 401 200, Characterian referred to as "the each Gala") and also holding shares therein. That the unit 1) Mr. Mchan Padmanathia Kurup & 2) Mr. Letta Mchan Kurup have lostinisplaced the original life documents in respect of the said Gala".

All person having any claim, right, the and interest against or to the said Galo or the states in respect thereof or any part thereof either by may of mortgage, sais, git, inhestance, agreement lease, lendering, that, maintenance, secondary, the maintenance secondary possession or by virtue of any testamentary or non-testamentary occurrently or by virtue of succession, adoptice, any said litigation, dispote, decree, order injunction, restliction, coverants, statutory order, notice insent, notification or otheraises incursover, see hereby called aport and required to make the same largers in writing with due endence and detailed particulars thereof at our office at 101. Since Vallabit at our office at 101. Since Vallabit

THE NOTICE is he and her two chick Suresh Mahtani tol Co-operative Hou Skyscraper Building to transmit her and No. 250 comprising 270 (both inclusive building known as described in the Hotchand Mahtan co-ownera/joint r= Shares, On accoun his wife Mrs. Karel children have made on the aforesaid 5

Mr. Kumar Methni (alias Renu Mai Mahtani, since de Mahtani and Mrs. haye inherited the equal proportion.

Thus, as on data children namely Fiand Mr. furnar Daryanani (alias respettive share succession

All or any person, and/or interest what, by way of sa possession, inhibitoriscever is/all writing along will support of the cara period of 15 dual such claims, walved and/or all to process the all others and frahility.

Share Certificate Distinctive Nos. 3 Co-operative History 22nd floor admissent park space Skyscraper Businettis, being G. 5 shuoted at 74, D.

Place : Mumbal Date : 11th Nove

Notice is Kashinath Desi No. 60/6(part) described in

# 2

### वाब रातिः पुंबई, सोमवार, १२ जुन २०१७

#### **CHANGE OF NAME**

#### MOTE

Collect the fail copy of Hersipapers for the publishment is presepted office.

I, MALABIKA SORACHAND SHU, HAVE CHANGED MY MUNE TO MALVIKA GUPAKHAND SHULAS PER GAZETTE NO (X-75488) DATED: 07/02/2013 CL-80517

I, A. 67 MJUY SWH PASH, WASH HAVE CHANGE MY NAME TO ALAY YUMYS NGM PAGIIDAAASHI AS POP, AFROMIT NO PS490669 DATED ODGSGOTT CLIGOSTS

I HAVE CHANGEO MY NAME FROM DEESHA MINKUMAH CHAUHAN 10 DEESHA JUY METHINALA AS PER GOZZI GAZZATTE (P-176739). CL-60630

) HAVE THURSED MY MAME FROM EVELING HELEN NOZARETH AS PER COVIT. O' MAHA. GAZETTE WO M-177387 DATED JUNE DE 14 2017

CL-00521

I HAVE CHUNGED MY NAIVE FROM
JOAHA A LIJAKA MENDES 7 VENDES TO
JOANA MENDES AS PERGOVI OF INANA.
BORTE MY. M. 1772594 DATED LINE
5844, 2017.

CL-00521 A

I HAVE CHUMBED MY MADE FROM LUDWH GYATIUS PERE RE 10 JOURDES TRANT US PEREIRA AS PER GOVT, OF MAPOL GAZETTE HO MA1221429. CL-50522

THAVE CHANGED MY CLD NAME DEVISION FRANCIS CORRENTO NEW MANIE DEVISION FRANCIS CORRENA AS PER AFFICIANTI OUTED OF MOY 2018 D.-125

T HAVE CHARGED MY MAINE FROM GRISH KUMAR STAGE TO GIRSH R SINGH AS PER AFFICIATE (\$6.960717) CAGED 9TH JUANE 2017 C.-163

THAVE CHANGED MY MARE FROM MARS SUMACH BAT MITTO MARS. SUMACH BAT MITTO MARS. SUMACH FAMIOL RAVIS NAVAX AS PER NETIDAVIT DATED BEH JUNE 2017 U. 242

HAVE CHANGED MY NAME FROM

जन्तेला सुख्या बाहार, प्रिजिष्टात आधिक विशे स्थावर निजनतीच्या र्वाद्यकेत्रत कार्यानन अ हिमनदाना सिक रोड अवसिक्ष भागेपद्राध्यान आणि त्याप्टे आय **भरण्यासाठी आणि स**ह सर्व व्यक्ती ज्यांचा विकासका, किरसंबंध परवाना, प्रभार, पर्वा क्रम्मा, धारमधिकार, कारवरिवार, पोट-व अत्यथा फोग्रह्याती संदर्भात किया विशेष दिवसांत निजस्यकारी मुंबद् - ४०० : ५६ में प्रमण्डाल केत आहे 🛝 अजीत्म उज्ज्ञहम पूर्व कळविलेहाः को गाम त्यागिक, परित्यागिका,

वागेच्या विक्रा मा गैडान्यता, गेटळ देवें ११७ पाल्क मोडमा ते पाग आणि विभाव उत्तरेता किया त्या ह दक्षिणेला किया त्या प्रदेश किया त्या हि मुद्देश किया त्या हि

# "जाहीर मूचना"

महाराष्ट्र राज्यस्तरीय पर्यायस्य आधात मुल्यांकन समितीने मे. के. रहेजा प्रा. लि. यांच्या मूखंड क्र. २/१६२९ आणि १७८/१६२९, लोअर परेल विमाग, मूखंड क्र. २४९ आणि १४९अ, २४८च, वरळी इस्टेट स्कीम नं. ५२, वरळी, मुंबई वेधील रहिवाशी इमारत व सार्वजनिक जाहनकड या प्रकल्पालाटींच्या फेरबदलास SEAC-2016/C.R.-424/TC-1 दिगांक १२ मे, २०९७ द्वारे पर्यावस्य संमती दिलेली आहे. सदर पर्यावस्य संमती पत्राची प्रत महाराष्ट्र प्रदूषण वियंत्रण यंद्रळाकडे तसेष महाराष्ट्र प्रदूषण वियंत्रण यंद्रळाकडे तसेष महाराष्ट्र सरकारच्या क्रट.maharashira.gov.m या संकेतस्यकावर उपलब्ध आहे.

#### सप्ट्रीय कंपनी किया न्यायाधिकरणासमोर मुंबई खंडपीठ कंपनी योजना अर्ज का, ३६९/२०१७

Billian mara, gan a (82/4/15) sangsarft

सम्बद्धाः स्थापः, २०१३ म अनुसीर २०० है १३२ व स्थापः २००८ १,१९६ व्यक्ति क्यान स्थितः १७९४ स्य स्थापस्य स्थापे, सामग्र प्रकारी

र्गोति विशेष प्रमान विवेद ।एउपार्ट्स व हानसक स्टारी व देख देश क्रेस सम्बद्ध निवेद (अहरेब्रोविक क हरूनी वे ब्रेसी) व स्थे संसी प्रमान जना विवेद्यालयास प्रकार

परिदेशी विकेश प्रमाणिक (कार्यात कार्या), १०११ वर्ष प्रमुख्याचेत्र प्रमाणिक (कार्यात कार्यात मेहणीकुरा कार्याच्यात पर्यः गोर्थात विकेश कार्यः १, १ वर्षा वर्षात् (प्रमाणक पर्यः गोर्थात विकेश (पूर्वः, गुर्वः - १०० वर्षः

1 ... sofer with (somewhat).

मोडिनी तिशासेंस प्राथकोटलिविटेड, अजंदार कंपनीच्या समभागधारकांच्या मनेषी सृष्टा व सृष्टेची बाहितत

क्षण पहुर क्षण का अने को, जर्म है, ० क्ष्, १०६० को प्रेमी विनोध प्रमाने विनिष्ट (१०००पीक व सार्था करान्य प्राप्त करान्य विवाद के लेको प्रमान विभिन्न (१०००पीक व वार्थकों) कर्मी व सार्थ क्षण प्राप्त साथा विविद्य क्षण विभिन्न विभाव क्षण कराने विवाद कराने व्याप्त कराने विवाद कराने व वार्यक व्याप्त कराने वा सुकारोक करा कराने व वार्यक व्याप्त कराने वा सुकारोक कराने वा साथा विवाद वार्यक कराने विवाद कराने वा साथा कराने कर

कदा अलेक व स्थानको विकेश विदेशाच्या ज्यावनो पुत्रे सूचन इत्या उन्त अर्थ को, अर्थका बासीस्ता सम्बाहस्ताओं कर संस्था, है, रहे कृत, स्वरूप तैनी से, १०,०- नवाम मोलांव सिंग्सन के, यू. न स

#### THE FREE PRESS JOURNAL MUMBALL MONDAY LJUNE 12, 2017

# "K RAHEJA PVT. LTD."

The amendment in environmental clearance for proposed Aesidential Tower Building and Muth Storied Public Parking Lot Building on Piot bearing C.S. No. 2/1629 6 1/V1629 of Lower Parel Olvision. Plot No. 249 & 249A, 248 B of World Scheme No. 52, Mumber, by K. Raheja Pvi. Ltd., been accorded Environmental Clearance by State Environmental Impact Assessment Authority of Government of Maharashtra vide Letter No. SEAC-2016/C.R 424/TC-1 dated 12 05:2017.

The copies of Environmental Clearance Letter are available with Moharashtra Pollution Control Board and may also be seen on Environment Department Govt, of Maharashtra website at http://ec.maharashtra.gov.in.

# MUHS

### महाराष्ट्र आरोग्य विज्ञान विद्यापीठ, नाशिक MANARASHTAN UMMERSITY OF HEALTH SCIENCES, NASHIK

Mhaerut, Dindori Road, Nashik - 422 004. Tel : (9253) 2539236/162

Email: registrar@muha.sc.in., civil@muha.sc.in, Website: www.muha.sc.in

#### E-TENDER NOTICE NO. CIVIL/ 01 / 2017-16

Maharashira Urwersity of Health Sciences, Mashit anvites allendar for proparing temporary cricket ground. (As per Drawing) near TTI Building in MUHS Campus, Nashik Tender form, Asp. EMD, detail terms and conditions are available on website of http://mahatenders.gov.in, University authority (easer/a right to accept or reject any or all tender without gwing any reason.

(Or. K. D. Chavan) Registrar. MUHS, Nasnik

Date : 12/06/2017.



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I HAVE CHANGED MY NAME POST MARRIAGE FROM PRIYANKA SURESH JAAIN TO PRIYANKCA HARDIK JAIN PER GOVT.OF MAHA.GAZETTE NO: (M-23265587).

I HAVE CHANGED MY NAME FROM RUPA ARJU NANDWANI TO RUPA RAJKUMAR NANDWANI AS PER THE DOCUMENTS. CL- 164

I HAVE CHANGED MY NAME FROM MOHAMMAD ALTAF TO MOHAMMED ALTAF MOHAMMED SAHJAD SHAIKH HAAR. CL- 201 I HAVE CHANGED MY NAME FROM

AFRIN BANO TO AFRIN BANO MOHAMMED ALTAF SHAIKH AS PER AADHAAR. CL- 201 A I HAVE CHANGED MY NAME FROM (OLD NAME) DARKSHAN SIDDIQUE TO (NEW NAME) DARAKSHAN ABDUL KADAR SHAIKH AS PER DOCUMENTS. CL-256

HAVE CHANGED MY NAME FROM PAYAL SATISH BARIYA TO MAHI IRFAN KHAN AS PER MAHA. GOVT. GAZETTE NO: M-249413 PUBLISHED

I HAVE CHANGED MY NAME FROM JAIWANT K. GUNJAL TO JAYWANT KESHAV GUNJAL AS PER GAZETTE NO: (M-24250).

DATE 12 APRIL 2024.

I HAVE CHANGED MY NAME FROM HEMLATA MANOJ BHATIA TO HEMLATA BHATIA AS PER AADHAR CARD NO: 2510 3333 8445. CL- 522 . HUMERA BANO R/O KURLA WEST

MUMBAI 400070, HAVE CHANGED MY NAME AFTER MARRIAGE AND SHALI HEREAFTER BE KNOWN AS HUMERA NAGORI AS PER DOCUMENT. CL- 601 I HAVE CHANGED MY NAME FROM PRAMODKUMAR NAIR TO PRAMOD NAIR AS PER DOCUMENTS. CL- 701

# Dublic Natio

**Public Announcement** 

he project for Expansion of proposed Residentia

Building & Office Building on plot bearing CS No 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249 A, 249B of Worli Estate Scheme No. 52

Worli, Mumbai by M/s. K. Raheja Private Limited

has been accorded Environmental Clearance by

State Level Environment Impact Assessment Authority, Maharashtra vide letter No. SIA/MH/

INFRA2/417166/2023 dated 26th May 2023.

Copies of the said Environmental Clearance are

vailable with Environment Denartment

Pollution Control Board and on the website

Place : Mumbai

Date: 15/04/2024

overnment of Maharashtra and Maharashtra

wer buildings, Multi Storied Public Parking Lo

**PUBLIC NOTICE** 

NOTICE is hereby given that M

ent has intension to purchase th

sidential Flat No.**4103** on the 41s

oor in Parkside B Wing (along with

car parks within the project) in the

oject "Lodha Park" at Senapati Bapa

arg, Lower Parel, Mumbai- 40001; m **M/S. BHOLE REALTY PVT. LTD**.

Any person having any right, title

erest, claim or demand of any natur

atsoever in respect of the said flat. i

reby required to make the sam

own in writing along with the cumentary proof thereof, to the

07 Panchratna, Opera H**ouse** nbai 400004 within fourteen day

m the date of publication hereo

mpleted, without any reference to

such claims and the claims if any, shall

be deemed to have been given up of

Email: adv.vaibhavshah@gmail.co

**PUBLIC NOTICE** 

Notice is hereby given to all that my

clients have agreed to purchase from

Jaykali Developers Private Limited (a

Shapoorii Pallonii Group Company

having its registered office at SP Centre

41/44, Minoo Desai Marg, Colaba

Mumbai 400005, commercial units in the

Retail Proiect known as "Shapoor

Pallonji The Impulse Phase 2" having

MahaRERA Registration no

P51700027197, hereinafter referred to

as the "said Premises" and more

particularly described in the Schedule

vritten hereunder free from al

ncumbrances and with clear and

narketable title, for agreed consideration

and on the terms and conditions agree

y my clients and Jaykali Developers

All persons/entities including inter alia

ny bank and/or financial institution

ind/or authority having any claim

objection, right, title, benefit, interest

hare, and/or demand of any nature

whatsoever in respect of the said

remises or any part thereof, by way of

sale, transfer, exchange, lease, sub-

lease, assignment, mortgage, charge

ien, inheritance, bequest, succession

gift maintenance easement trust

tenancy, sub-tenancy, leave and license

possession, family arrangement

of law, contracts/agreements

partnership, any writing and/o

arrangement or otherwise, howsoever

are hereby, required to make the same

known in writing, along with documentar

evidence, to the undersigned at he

iddress at 407, Panchsheel, 'C' Road

P. M. Shukla Marg, Marine Drive Mumbai 400020 within 7 (seven) days

rom the date hereof, failing which such

right, title, benefit, interest, claim and/o

leemed to have been waived, released

relinguished, and/or abandoned and no

such right, title, benefit, interest, clain

THE SCHEDULE

i) Shop no. 14 admeasuring RERA

carpet area 68.35 sq. mtr equivalent t

ii) Shop no. 15 admeasuring RERA

arpet area 84.46 sq.mtr equivalent to

(iii) Shop no. 11 admeasuring RERA

rpet area 128.52 sq. mtr equivalent to

and/or demand will deem to exist

35.72 sq. ft. on ground floor

909.13 sg. ft. on ground floor

138.39 sq. ft. on 1st floor

mand in the said Premises shall be

ettlement decree or order of any cour

ivate Limited.

Place: Mumbai

ADVOCATE VAIBHAV SHAH

Date: 15/04/202

ailing which the negotiations shall be

ersigned at Advocate Vaibhav Shah

from all encumbrances

Tender Notice No: PCMM/CLW/HWH

E-Procurement/24/21 Dated: 12/04/2024 CMM/CLW/HWH on behalf of the Presiden

of India invites electronic bids from establishe

eliable manufacturer for supply of the ollowings. The following E-Tender/s is/ard or supply of materials for manufacture o

Electric Locomotive. The Prospective/like

Electric Locomotive. The Prospective/ likely suppliers are requested to look up the website www.ireps.gov.in for detailed instructions These are E-Tenders only electronic offer loss shall be accepted. Sl. No.; Tender No.: Description of Stores; Quantity; Due On. Tender Cost are as follows: [088]; 14242692: High Voltage Bushing for 3 Phase Loco to CLW Specn. No. CLWES/3/0052/D; As per conder details of the property of the property of the control of the property of the proper

pender/ documents; 03/05/2024; ₹0.00 089]; 25245065; Supply, Installation and commissioning of CNC Press Brake

Hydraulic, 200T, Qty.-01 No. with accessories pares and tools as per specification No. MT/2317 Dated 01/07/2023, HSN Code 8462

As per tender/ documents; 07/05/2024 ₹0.00. [090]; 29245026; Procurement of P.U. paints consisting 03 colours of Paints fo WAG-9H locomotive with modified design

and Multi-units with gangway Arrangement Quantity= 50 sets. Each set consists of (1) Traffic Blue-RAL 50 17, Qty. 100 Litres. (2) Light Blue -RAL 5012, Qty. 40 Litres (3) Black Grey- RAL 7021, Qty. 100 Litres; As per tender/ documents; 10/05/2024; ₹0.00

091]; <u>23235119B</u>; Hand operated self

liustable Insulation remover for cable size

AGNACHINOO TOOLS OF THE ANALYSIS OF THE ANALYS

Make in India Policy]; As per tender

Like us on: www.facebook.com/clwrailways

PUBLIC NOTICE

Notice is hereby given to the public that

the property described in the Schedule

hereunder written (hereinafter referred to

as "**the said Property**") is proposed to be

The said Property has been charged in

favour of State Bank of India i

pursuance of availing a housing loar

rom State Bank of India, branch a

Wodehouse Road, Mumbai vide Home

Loan A/c No. 40074006076. Further, the

said Property has been given on leave

and license basis vide Leave and

icense Agreement dated 14th January

2022, registered with the office of the

concerned Sub-Registrar of Assurances

ALL PERSONS including an individual,

Hindu undivided family, a company

hanks financial institutions/s non

banking financial institution/s, a firm, ar

association of persons or a body o

individuals whether incorporated or not

enders and/or creditors having any

objection, claim, right, title, share and/or

nterest in respect of the said Property o

any part or portion thereof whether by

way of sale, exchange, assignment, gift

equest, lease, sub-lease, tenancy, sub-

tenancy, leave and license, license

covenant, mortgage, encumbrance, lien

charge, trust, inheritance, succession

agreement, contract, memorandum o

inderstanding, easement, right of way

occupation, possession, family

arrangement, settlement, maintenance

decree or order of any Court of law, lis

pendens, attachment, reservation or any

ability or commitment or demand of any

nature whatsoever or otherwise

nowsoever are hereby requested to

nform the same in writing along with

supporting original documents to the

ndersigned having their office a

Shardul Amarchand Mangaldas & Co.,

express Towers, 24th Floor, Nariman

Point, Mumbai 400021 within a period of

14 (fourteen) days from the date of the

publication of this notice, failing which

the claim or claims, if any, of such persor

been waived and/or abandoned

or persons shall be considered to have

THE SCHEDULE ABOVE

REFERRED TO:

(Description of the said Property)

Flat bearing no. 3102 admeasuring

160.90 square meters carpet area i.e

approximately 1,731.93 square feet

along with ancillary area admeasuring

81.08 square meters i.e. approximatel

872.75 square feet on 31st floor in the

Tower T6 of the Project known as

'Crescent Bay' along with 3 (three) car

parking spaces in the buildin

constructed on land bearing CS Nos

1/437, 437(pt), 440(pt), 645(pt), 646(pt)

(651(pt), 654, 854 admeasuring

approximately 28 044 59 square meter

of Parel Sewree Division, F-South Ward

of Municipal Corporation of Greater

Mumbai in the Registration District and

Sub-District of Mumbai City and Mumba

**Shardul Amarchand** 

Mangaldas & Co.

(Bhoumick S. Vaidya)

Partner

Dated this 15th day of April, 2024.

under Serial No. 752 of 2022.

sold by Mrs. Ruchika Verma.

PCMM/CLW/HWH

ocuments; 25/04/2024; **₹0.0** 

PR5/381

I UDIIO HOUGO Notice is hereby given to all tha FERRUM REALTORS PRIVATE **LIMITED**, a company incorporated under the provisions of the Companies Act, 2013, holding CIN U70109MH 2021PTC363067, and having its registered office at 702, Natraj. M. V. Road Junction, Western Express Highway, Andheri (East), Mumbai 400069 is redeveloping the property of Sind Cooperative Housing Society Limited accordance with Re-Development Agreemer dated 24 th June, 2022.

As per the terms and conditions of the said Development Agreement, FERRUM REALTORS PRIVATE LIMITED is entitled to sell residentia flats in the redeveloped building The said FERRUM REALTORS PRIVATE LIMITED has agreed to sell the said Flat, more particularly described in the Schedule hereunde written, free from all encumbrances to our clients.

Any person/s having any claim/s i respect of the said Flat any part thereof by way of sale, inheritance, exchange mortgage, charge, lease, tenancy license, lien, gift, trust, lis-pendens maintenance, possession, easement or otherwise howsoever is requested to make the same known to undersigned at address mentioned below, alongwith necessary documents to substantiate such claim/s, within 14 (Fourteen) days, from the publication of this notice failing which the claim/s if any, of any person/s not lodged within said stipulated period shall be considered as wilfully abandoned, waived and given away by said person/s

#### THE SCHEDULE (The said Flat)

Flat No. 601, admeasuring in 1749.69 square feet carpet area with an exclusive area appurtenant to the unit of 204.95 square feet and Total RERA Area of 1954.64 square feet on the 6 th Habitable Floor of the building known as "Rustomjee Ashiana" to be constructed on land bearing Plot No.6 in the layout of the Maharashtra Housing and Area Developmen Authority at Juhu Vile Parle Development (JVPD) Scheme and bearing Survey No.287 (P) and Survey No. 70 (Pt) (D) and corresponding CTS No. 197(A) (Pt) of Village Juhu and CTS No. 20 (A) (Pt) of Village Vile Parle, both in Taluka Andheri, Mumbai Suburban District, lying, being and situate at 10 th North South Road, JVPD Scheme, Juhu, Mumbai 400 049 together with 3 covered car parking spaces.

Dated this 15th day of April, 2024 K. K. RAMANI & ASSOCIATES

118, Ramani Villa, 1st Road, T.P.S. IV, Bandra (W), Mumbai – 400 050

**PUBLIC NOTICE** 

(iv) Shop no 12 admeasuring RERA carpet area 67.19 sq. mtr equivalent to 23.23 sq. ft. on 1st floor v) Shop no. 14 admeasuring RERA

arpet area 68.35 sg. mtr equivalent to 35.72 sa. ft on 1st floor vi) Shop no. 15 admeasuring RERA

arpet area 84.84 sq. mtr equivalent to 913.22 sq. ft on 1st floor vii) Shop no. 16 admeasuring RERA carpet area 80.21 sq. mtr equivalent to

863.38 sq. ft on 1st floor (viii) Shop no. 17 admeasuring RERA carpet area 95.81 sq. mtr equivalent to

031.30 sa. ft on 1st floor of building known as "SKYRAA Tower-5 the project known as "Shapoorj Pallonji The Impulse Phase-2" being developed on land bearing (i) survey no 509 admeasuring approximately 100 sq mtr and (ii) survey no. 510 Hissa no. A dmeasuring approximately 34,340 sq. mtr all situate, lying and being at Village Panchpankhadi, Subhash Nagar Pokhran Road No. 2, Thane (West)

Dated this 15th day of April, 2024. Chhaya K. Virani

Advocate and Solicitor

#### CHITTARANJAN LOCOMOTIVE WORK E-TENDER NOTICE Z

Stressed Assets Recovery Branch, Mumbai (05168):-6th Floor, "The **OSBI** State Bank of India International", 16, Maharshi Karve Road, Churchgate, Mumbai-400 020 Phone: 022 - 22053163 / 22053164 / 22053165 E-mail: sbi.05168@sbi.co.in

SALE NOTICE FOR SALE OF IMMOVABLE PROPERTIES | Appendix - IV-A [See Provisio to rule 8(6)]

E-AUCTION SALE NOTICE FOR SALE OF IMMOVABLE ASSETS UNDER THE SECURITISATION AND RECONSTRUCTION OF FINANCIAL ASSETS AND ENFORCEMENT OF SECURITY INTEREST ACT, 2002 READ WITH PROVISO TO RULE 8(6) OF THE SECURITY INTEREST (ENFORCEMENT) RULES, 2002 Notice is hereby given to the public in general and in particular to the Borrower(s) and Guarantor(s) that the below described immovable property mortgaged/charged to the Secured Creditor, the physical possession of which has been taken by the Authorised Officer of State Bank Of India, the Secured Creditor, will be sold on "As is Where is", As is What is" and Whatever there is" basis on 31.05.2024, for recovery of Rs.1,67,54,190/- (Rs. One Crore Sixty Seven Lacs Fifty Four thousand One hundred ninety only as on 05.08.2022 and further interest, costs and expenses etc. thereon due to the secured creditor from Mr. Ravindra Satish Deogharkar (Borrower). The reserve price will be Rs. 1.23,60,000/- (Rupees One Crore Twenty Three Lacs Sixty Thousand only ) and the earnest money deposit will be Rs.12,36,000/- (Rupees Twelve Lacs Thirty Six Thousand only ). The Bidders should get themselves registered on https://www.mstcecommerce.com/auctionhome/ibapi/index.jsp by providing requisite KYC documents and registration fee as per the practice followed by M/s MSTC Ltd well before the auction date.

Date & Time of public E-Auction 31.05.2024 from 11.00 AM to 4.00 PM with unlimited extensions clause of 10 minutes each.

5th floor, Platinum Tower 31, MHADA Layout CTS No. 195 (pt) (Rupees One Crore (Rupees Twelve Lacs (Rupees 12.00 noon	l	Property ID No	Detail of Property	Reserve Price (in Rs.)	Earnest Money Deposit(Rs.)	Bid increase Amount (Rs.)	Date & time of inspection
		SBIN085512881315	5th floor, Platinum Tower 31, MHADA Layout CTS No. 195 (pt) Survey No. 106A (part), D.N. Nagar, Andheri (W), Mumbai –	(Rupees One Crore Twenty Three Lacs Sixty	(Rupees Twelve Lacs Thirty Six Thousand	(Rupees Twenty	27.05.2024 12.00 noon to 2.00 pm

For detailed terms and conditions of the sale, please refer to the link provided in State Bank of India the Secured Creditor Website www.sbi.co.in . https://bank.sbi. https://sbi.co.in/web/sbi-in-the-news/auction-notices/sarfaesi-and-others and https://www.mstcecommerce.com/auctionhome/ibapi/index.jsp https://ibapi.in, oi contact to CLO Mob. No. 8879333234 & CCO Mob. No. 9833218724

Date: 12.04.2024 Authorised Officer, State Bank Of India

**PUBLIC NOTICE** 

To know you all by this public notice we hereby inform that the property Old Survey No. 128/1 and 130A/1/2, New Survey No.128/B/1, area admeasuring 8.10.57 R. Square Meters, assessment Rs. 810.57 Paisa, Plot No. 1, along with approved FSI of Industrial Building with an area of 1624.21 Sq. Mt. P-Line area ituated at, along with entire present and future potential and undivided interest and right of common access from survey No 28/B/8 in the layout, situated in Village Rajavali, Taluka: Vasai, District: Palgha s owned by Mr. Ruban Anthony Colace Our client is interested in purchasing the said property. By this public notice we here by invite objections from any persor who is having interest in the said property by way of gift, agreement, conveyanc Will, easmentary rights, possession tenancy, heirship or any other type of right We hereby declare that any person having nterest in the said property should orward his objections along with relevan documents to the undersign within 14 days of publication of this notice. If the undersign has not received any objections from any person claiming nterest in the said property it will be resumed that no person is having any claim or interest in the said property and our client will complete the sale ransaction. Address of the undersigned I.R.A. Law Associates LLP. B-202 cond Floor, Kini Arcade, Behind Stell Petrol Pump, Barampur, Vasai West Taluka: Vasai, District: Palghar.

FOR J.R.A LAW ASSOCIATES LLP

#### **APPENDIX-16** (Under Bye Law No.35)

The Form of Notice inviting claims o objections to the transfer of the shares and the interest of the Deceased Member in the Capital/ Property of the

Society MRS.TILOTTAMA SATCHIDANAND DADARKAR, joint member of Kamla Terrace C.H.S. Ltd., having address a Subhash Road, Vile Parle (East) Mumbai-400 057 and jointly holding Shop No.8 on the Ground Floor of the building of the Society, expired on 06th May 2023. She was holding the said Shor and the shares issued in respect thereo jointly with Mr. Bhagwantrao Narayar Dadarkar.

The Society hereby invites claims o

biections from the heir or heirs or othe claimants/objector or objectors to the transfer of the undivided right, title and nterest of the deceased member in the said shares and the undivided interest of the deceased member in the capital/property of the Society within a period of 15 (Fifteen) days from the publication of this notice, with copies of such documents and other proofs in support of his/her/thei claims/objections for transfer of shares and interest of the deceased member is the capital/property of the Society in such manner as is provided under the bve-laws of the Society. The claims/objections, if any, received by the Society for transfer of shares and interest of the deceased member in the capital/property of the Society shall be dealt with in the manner provided unde the bye-laws of the Society. A copy of the registered bye-laws of the Society i available for inspection by the claimants/objectors, in the office of the Society / with the Secretary of the Society between 10.00 A.M. to 6.00 P.M. from the date of publication of the notice till the date of expiry of its period.

For Kamla Terrace C.H.S . Ltd.,

( Hon. Secretary ) Place: Mumbai Date: 15.04.24

# FEDBANK FINANCIAL SERVICES LTD. AUCTION NOTICE

This is to inform the public at large, that FEDBANK FINANCIAL SERVICES LTD., has decided to conduct Aucti Gold ornaments belonging to accounts (mentioned below) which have become overdue or which have defaults or margin breach customers. The Auction would be held at respective Branches specified below o Friday 26-04-2024 between 10.00 a.m. to 12.00 p.m. This would continue till the auction process is over. ADAT PETH 0230-2434303 FEDGL00650016361, 0016363, 0013129, 0013130, 0013131, 0013144, 0013153

0013165, 0013178, 0013179, 0013183, 0013198, 0013199, 0013226, 0013227, 0013237, 0013240, 0013250

0013330, 0013336, 0013337, 0013342, 0013355, 0013356, 0013359, 0013371, 0014459, 0016409, 0016360

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0003223, 0003187, 0002495, 0002514, 0002534, 0003040, 0003041, 0003044, 0003124, 0003126, 000320

0003335, 0003219, 0003264, 0003226, 0003242, FEDBD00720000041, 0000046, 0000053, 0000056 Akluj

8605846083 **FEDGL0486**0003285, 0003737, 0002123, 0002135, 0002139, 0002140, 0002148, 0002152, 0002160, 0002162, 0002168, 0002169, 0002178, 0002178, 0002187, 0002187, 0002190, 0002205, 0002206, 0002208

0003322, 0003327, 0003742, 0003819, 0003958, 0003936, 0004016 Akola 9421893678 FEDGL04710006309 0006382, 0003319, 0003337, 0003352, 0003355, 0003371, 0003384, 0003390, 0003390, 000380, 000380, 0003391, 0003408, 0003401, 0003408, 0003401, 0003408, 0003401, 0003408, 0003401, 0003408, 0003401, 0003408, 0003401, 0003408, 0003401, 0003408, 0003401, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 0003408, 00034 0003486, 0003496, 0003500, 0006274, 0004238, 0006315 Alibag 8888646123 FEDGL0490003003, 0003035 0001584, 0001585, 0001587, 0001592, 0001597, 0001603, 0001606, 0001609, 0001611, 0001614, 0001629, 0001629, 0001629, 0001609, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 0001607, 000 7448880534 FEDGL01500004654, 0004619, 0003623, 0003625, 0003626, 0003646, 0003653, 0003666, 000401; 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24373777 **FEDGL0055**0007217, 0007236, 0007284, 0007273, 0005949, 0005952, 0005966, 0005967, 000599 0006017, 0006018, 0006829, 0007024, 0007148, 0007218, 0007272, 0007164, 0007262, 0007391, 0007173 0007269, 0007241, 0007325, 0007258 Kharghar 7448880518 FEDGL01250002682, 00026991, 0002695, 0002698 0003164, FEDBD01250000055, 0000059 Khopoli 2192263728 FEDGL03380005673, 0005675, 0005676, 0005685 0005686, 0005687, 0005696, 0005706, 0005714, 0005739, 0005741, 0005742, 0005745, 0005774 Kolhapur 0231 2624077 FEDGL01190006822, 0006823, 0006824, 0006821, 0005521, 0005528, 0005537, 0005552, 000558 0006048, 0006057, 0006584, 0006710, 0006711, 0006712, 0006932, 0006933, 0006934, 0007337, 000733 0007334, 0007335, 0007381, 0007382, 0007383, FEDDS01190000051, 0000053, 0000111 Kothrud 9087012341 FEDGL01120004956, 0004959, 0004960, 0004967, 0004970, 0004978, 0004978, 0004988, 0004988, 0004998, 0004999, 0004999, 0005000, 0005001, 0005006, 0005020, 0005024, 0005042, 0005055, 0005067 0005075, 0005076, 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All bidders participating v

pe intimated subsequently with respect to acceptance or rejection of bids submitted by them. Customer who was to release their ornaments shall visit at the base branch wherein the ornaments were pledged by the customer contact at the number mentioned above on/or before 25-04-2024 subject to the terms and condition applicable Auction will be conducted at respective branches, in case the auction does not get completed on the given da due to any reasons, the auction in respect thereto shall be conducted on subsequent working days at district leve

branch after displaying the details on our Website. No further communication shall be issued in this regard. Dated: 15-04-2024 For, sdl- Authorised Signato Fedbank Financial Services Ltd.

Notice is hereby given that we PAYAL CO-OPERATIVE HOUSING SOCIETY LTD., a Society duly registered under the provisions of the Maharashtra Co-operative Societies Act, 1960 bearing Registration No. REG. NO. BOM/W-KW/HSG/TC/7045 OF 1992-93 DATED 08-04-1993 and having its office at

PAYAL CO-OP. PREMISES, CTS NO. 1184, YARI ROAD EXTENSION, VERSOVA, ANDHERI WEST, MUMBAI 400061, being the owners of all that piece and parcel of land bearing Final Plot No. C.T.S. No. 1184 admeasuring about 2185 sq. mtrs. along with the buildings standing thereon consisting of ground plus Six upper floors, situated at the aforesaid address, having passed the General Body Resolution dated 20th April, 2008 and Letter of Intent (LOI)/Minutes dated 12t. Seatomber 2008 and the Memorandum of Understanding Minutes dated 1st September, 2008 and the Memorandum of Understanding executed on or about 1st September, 2008, Development Agreement and related documents executed on 20th March, 2012 individual consents and any and all writings, etc. in favour of one M/s. Ayyappa Construction Companay have cancelled, terminated and revoked the same and all other rights, if any, with liate effect from and vide Special General Body Resolution dated **1st June** 2008 and all the rights and benefits thereto, if any, of the said M/s. Ayyappa Construction Company have accordingly come to an end. The same is duly notified to the said M/s. Ayyappa Construction Company.

The general public is hereby forewarned not to deal with the said **M/s.** Ayyappa Construction Company pertaining to the said property and/or the development rights then issued to the said Company, in any manner whatsoever and incase if any person/s and/or body has/have done so, we shall not be answerable or responsible for the same in any manner whatsoever and M/s. Ayyappa Construction Company shall alone be liable for all its Dated this 15th day of April, 2024.

For Payal Co-operative Housing Society Ltd CTS No. 1184, Yari Road Extension, Versova Andheri (West), Mumbai 400061.

# JM FINANCIAL JM FINANCIAL ASSET RECONSTRUCTION COMPANY LIMITED

Corporate Identification No.: U67190MH2007PLC174287 Regd. Office: 7th Floor, Cnergy, Appasaheb Marathe Marg, Prabhadevi, Mumbai - 400 025 Authorised Officer: Vaibhav Shetty and Kumar Gaurav Mobile: 9820387460, 9930144745

Email: vaibhav.shetty@jmfl.com,gaurav.kumar@jmfl.com Website: www.jmfinancialarc.com

Sale Notice for Sale of Movable and Immovable Property Notice for Sale of Movable and Immovable Assets under the Securitisation Reconstruction of Financial Assets and Enforcement of Security Interest Act, 2002 Read

with provision to Rule 6 (2) and 8(6) of the Security Interest (Enforcement) Rules, 2002. Notice is hereby given to the public in general and in particular to the Borrower (s) and Guarantor(s) that the below described immovable property mortgaged/charged to JM Financial Asset Reconstruction Company Limited acting in its capacity as trustee of various trusts including JMFARC – IRIS March 2016 – Trust, JMFARC – Exim Iris March 2016 – Trust, JMFARC – Axis Iris March 2016 – Trust, JMFARC – IRIS December 2016 – JMFARC - IRIS Cash 2016 - Trust, JMFARC - IRIS UBOI December 2016 - Trust and JMFARC - IRIS PNB January 2017 - Trust (the "Secured Creditor"), the possession of which has been taken by the Authorised Officer of the Secured Creditor will be sold on "As is where is". "As is what is", and "Whatever there is" for recovery of Rs. 3.552.30 Crore (Rupees Three Thousand Five Hundred Fifty Two Crore and Thirty Lakhs Only)) as on March 31, 2017 together with interest and costs thereon till the date of repayment due to the Secured Creditor from Arch Pharmalabs Ltd. (hereinafter referred to as the 'Borrower' and its guarantors i) Mr. Ajit Kamath, ii) Mr. Manoj Jain, iii) Mr. Rajendra Kaimal by way of public auction on May 22, 2024 between 11.00 am to 12.00 pm through public e-auction for sale consideration which shall not be less than reserve price as mentioned in the table

given below on expiration of 15 days from the date of this notice

Short Description of the immovable and movable Property	Reserve Price (in Rs.)	Earnest Money Deposit (in Rs.)
I.All that piece and parcel of land known as Plot No. G-6, admeasuring 4387 sq. Mtr., along with a factory building constructed thereon having built up area admeasuring 1722.45 sq. mtrs. lying being and situated at Taloja Industrial Area, MIDC, Taloja, Village Nawade, Taluka Panvel, District Raigad, within the limits of Registration District Raigad and Sub-District Panvel and bounded as follows: On or towards the North by: Plot No. 17/30, 17/31, 17/32, On or towards the South by:Estate Road, On or towards the East by: Tower Line, On or towards the West by: Estate Road	Rs. 9,56,00,000	Rs. 1,00,00,000
II.fixed plant and machinery, installed or erected or to be installed/erected thereon and anything attached to earth or anything permanently fastened to anything attached to earth. On the above property	Rs. 44,00,000	

Encumbrances known, if any: Not Known

For detailed terms and conditions of the sale, please refer to the link provided on the Securec Creditor's website i.e. https://www.jmfinancialarc.com/assets-for-sale and or https://www.bankauctions.in Date: April 15, 2024

Place: Mumbai

Authorised Office JM Financial Asset Reconstruction Company Limited acting in its capacity as trustee of JMFARC - IRIS March 2016 - Trust, JMFARC - Exim Iris March 2016 - Trust, JMFARC - Axis Iris March 2016 - Trust, JMFARC - IRIS December 2016 - Trust, JMFARC - IRIS Cash 2016 - Trust, JMFARC - IRIS Cash 2016 - Trust, JMFARC - IRIS Cush 2016 - Trust, JMFARC - IRIS Cush 2016 - Trust JMFARC - IRIS Cush 2016 - Trust and JMFARC - IRIS PNB January 2017 - Trust

**PUBLIC NOTICE** Notice is hereby given that 1) Mr. Manohar Hariram Manchandva 2) Mr. Navin Omprakash Manchandya 3) Mr. Hitesh Sunilkumar Motwani owns and possesses and/or otherwise well and sufficiently entitled to the commercial premises being Shop bearing No. 1 & 2, on Ground Floor, admeasuring 1807.90 Sq. ft. (Carpet), in Wing "A", in the building Known

Suburban.

as "SHREE KESHAV CONDOMINIUM OF APARTMENT", on lease to State Bank of India under the Lease Deed dated 24/07/2020 registered at the office of Sub-Registrar of Assurances at Kalyan–2 under Serial No. 5770/2020 for a period of ten years, with effect from 26/02/2019 to 25/02/2029 and on the terms and conditions as mentioned therein and along with the benefits of the above said lease executed in favour of the State Bank of India and along with the undivided right, title and interest in the common areas and facilities to said building, lying, being and situated at Village Kasabe Kalyan, Taluka Kalyan, District Thane, constructed on all those pieces and parcels of land bearing City Survey No. 2021-B and City Survey No. 2022-A and within the limits of Kalyan Dombivali Municipal Corporation and within the Jurisdiction of Registration District Thane and Sub-Registration District Kalyan.

The above said owners are desirous of selling and transferring the said Shop along with the membership, right, title and interest in the said society along with the benefits of the above said lease executed in favour of the State Bank of India to my client free from encumbrances and doubts any my client is intending to acquire the same free from encumbrances and doubts by executing requisite agreements, deeds and documents with the said owners and my client has instructed me to issue the public notice for ascertaining and verifying the clear and marketable title

Any person having or claiming any right, title, estate or interest by way of sales, mortgage transfer, lease, tenancy, exchange, gift, demise, bequest, trust, share, inheritance, possession, charge, lien or otherwise howsoever under any agreements or arrangements into or upon the said Shop or any part thereof are hereby required to give notice thereof and file their objections if any in writing with documentary proof (copies duly certified) to the undersigned at the address mentioned herein below within 15 (Fifteen) days from the date of publication hereof, after which period any such claims shall be disregarded and such claims f any shall be considered as waived.

Date: 15/04/2024.

Add: I-7, Siddhivinayak Sankul, Oak Baug, New Station Road, Shivaji Path, Kalyan (West) District Thane. Mob-98206 14866

Nilesh S. Patil (Advocate)

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R. R. Mishra Astrologer, Palmist, Numerologist, Vastu & Gems Whatsapp & Mobile 9820113194

### अस्वीकृती

ह्या वर्तमानपत्रांत प्रकाशित झालेल्या कोणत्यार्ह जाहिरातीमध्ये करण्यांत आलेल्या दाव्यांच्या खरेपण किंवा सत्यतेसाठी नवशक्ति कोणतीही हमी देत नाही अशा जाहिरातींवर कोणतीही कती करण्यापवीं त्यांनी स्वतः चौकशी करण्याचे किंवा तज्ञांचा सल्ल घेण्याबाबत वाचकांना सूचवण्यांत येते.

ह्या वर्तमानपत्रांत प्रकाशित झालेल्या किंवा अधिकत वेबसाईटवर ई पेपर मध्ये अपलोड केलेल्य कोणत्याही जाहिरातीमधील कोणत्याही तथाकथित दिशाभूल करणाऱ्या किंवा बदनामीकारव मजुकरासाठी किंवा त्यामधील दाव्यांसाठी भारतात किंवा परदेशातील कोणत्याही दिवाणी किंवा फौजदारी विधी न्यायालयात किंवा न्यायाधिकरणात नवशक्तिच्या मुद्रक, प्रकाशक, संपादक आणि प्रोप्रायटर यांना जबाबदार धरता येणार नाही. दायित्व सर्वस्वी जाहिरातदारांचे असेल ज्यामध्ये नवशक्तिची कोणतीही भूमिका असणार नाही.

HAVE CHANGED MY NAME POST MARRIAGE FROM PRIYANKA SURESH JAAIN TO PRIYANKCA HARDIK JAIN AS PER GOVT.OF MAHA.GAZETTE NO: (M-23265587). CL- 057 I HAVE CHANGED MY NAME FROM

RUPA ARJU NANDWANI TO RUPA RAJKUMAR NANDWANI AS PER THE DOCUMENTS. I HAVE CHANGED MY NAME FROM MOHAMMAD ALTAF TO MOHAMMED

ALTAF MOHAMMED SAHJAD SHAIKH AS PER AAD HAAR. CL- 201 I HAVE CHANGED MY NAME FROM AFRIN BANO TO AFRIN BANO MOHAMMED ALTAF SHAIKH AS PER AADHAAR. HAVE CHANGED MY NAME FROM

(OLD NAME) DARKSHAN SIDDIQUE TO (NEW NAME) DARAKSHAN ABDUL KADAR SHÁIKH AS PER DOCUMENTS. I HAVE CHANGED MY NAME FROM PAYAL SATISH BARIYA TO MAHI IRFAN KHAN AS PER MAHA. GOVT. GAZETTE NO: M-249413 PUBLISHED DATE 12 APRIL 2024 (L. 201

DATE 12 APRIL 2024. I HAVE CHANGED MY NAME FROM JAIWANT K. GUNJAL TO JAYWANT KESHAV GUNJAL AS PER GAZETTE NO: (M-24250).

I HAVE CHANGED MY NAME FROM BHATIA AS PER AADHAR CARD NO: 2510 3333 8445.

I, HUMERA BANO R/O KURLA WEST NAME AFTER MARRIAGE AND SHALL NAGORI AS PER DOCUMENT. CL- 601 HAVE CHANGED MY NAME FROM PRAMODKUMAR NAIR TO PRAMOD





# www.freepressjournal.in

जाहीर सूचना मेसर्स के. रहेजा प्रायव्हेट लिमिटेड यांच्या न.भु.क्र. २/१६२९ व १अ/१६२९ लोअर परेल विभाग व प्लॉट क्र. २४९ व २४९अ, २४९ब वरळी इस्टेट स्कीम क्र. ५२, वरळी, मुंबई येथील रहिवासी टॉवर इमारती, बहमजली सार्वजनिक वाहनतळ इमारत व कार्यालयीन इमारत यांच्या प्रस्तावित विस्तारीकरण प्रकल्पास महाराष्ट्राच्या राज्यस्तरीय पर्यावरण आघात मृल्यांकन प्राधिकरणाच्या क्र.एस्.आय.ए./एम् एच./इन्फ्रा२/ ४१७१६६/२०२३ दिनांक २६/ ०५/२०२३ च्या पत्रान्वये पर्यावरण विषयक परवानगी मिळाली आहे. या परवानगी पत्राच्या प्रती पर्यावरण विभाग महाराष्ट्र शासन व महाराष्ट्र प्रद्षण नियंत्रण मंडळ यांच्या कार्यालयात व parivesh.nic.in या संकेत स्थळावर

स्थळ : मुंबई दिनांक : १५/०४/२०२४

उपलब्ध आहे.

# PIIRI IC NOTICE

One MR. AMARCHAND JEEVRAJ PAREKH, who was the original tenant of the Residential Tenanted Premises bearing Nos. 5&6, in Chetan Kuni, N. P. Thakkar Road, Vile Parle (East), Mumba - 400 057, died on 11.11.2021. ('Said Tenanted Premises')

My client intends to purchase the tenancy rights in the 'Said Tenanted Premises' from 1) MRS. TARADEVI AMARCHAND PARÉKH, 2) MR. ANAND AMARCHAND PAREKH, and 3) MR. SHRIPAL AMARCHAND PAREKH, the heirs and successors of late Amarchand Jeevraj Parekh.

All/any person/s having any right, title, interest, benefit, claim/objection, or demand, in respect of 'Said Tenanted Premises' or any part thereof described in the Schedule hereunder by way of sale, exchange, gift, transfer, lease, tenancy, license, mortgage, charge, lien trust, inheritance, bequest, easement, possession, hypothecation maintenance, Decree or Order of any Court of Law, agreement, or otherwise howsoever, are hereby requested to make the same known in writing supported by notarised certified true copies of all documentary proof in support thereof, to the undersigned at Office No. 323, Gokul Arcade, Subhash Road, Vile Parle (East), Mumbai - 400 (email: prassociates mumbai@ gmail.com)" within fourteen days (14) days from the date of publication hereof. if no such or any claim, received it shall be deemed to have been waived and/or

(Adv. Pradeep A. Rane)

Dt: 15/04/2024

फेडबँक फायनान्शियल सर्व्हिसेस लि. लिलाव सूचना

सदर तमाम जनतेला कळविण्यात येत की, फेडबँक फायनाश्यियल सर्व्हिसेस लि. ने खात्याच्या (खालील नमुर) मालकीच्या सोने दागिण्यांचा लिलाव करण्याचे ठरविले आहे, जे थकीत बनले आहे किंवा ग्राहकांनी कसूर केली आहे किंवा मार्जिनचे उद्घंघन केले आहे. लिलाव **शुक्रवार २६–०४–२०२४ रोजी स**.

१०.०० ते द. १२.०० वा. दरम्यान संबंधित विनिर्दिष्ट शाखेत करण्यात येईल. सदर लिलाव प्रक्रिया संपेपर्यंत सह राहील <mark>अडत पेठ</mark> ०२३०–२४३४३०३ **एफर्डडीजीएल००६५**००१६३६१, ००१६३६३, ००१३१२९, ००१३१३०, ००१३१३१ , ००१३१४४, ००१३१५३ अकत्त्व ८६०५८४६०८३, **एफर्डडीजीएल०४८६**०००३२८५, ०००३७३७, ०००१४३५, ०००२१३५, ०००२१४२, ०००२१४२, ०००२१४२, ०००२१५२, ०००२१६०, ०००२१६२, ०००२१६८, ०००२१६९, ०००२१७५, ०००२१७५, ०००२१८५, ०००२१८७, ०००२१९०, ०००२१९०, ०००२२०६, ०००२२०८, ०००३३२२, ०००३३२७, ०००३७४२, ०००३८१९, ०००३९५८, ०००३९३६, ०००४०१६ अकोला ९४२१८९३६७८ पण्यक्षंत्रीतीत्वित्वश्चकृष्ठ विकास ( १००४ वर्ष १८, ०००३ १९, ०००३ १५, ०००३ १५, ०००३ १५, ०००३ १६, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००३ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ १८, ०००४ ०००३६५३, ०००३६६६, ०००४०९३, ०००४०७२, ०००४४८७, ०००४६८२, ०००४६८७, ०००४८९०, ०००४९०९, <mark>एफईडीबीडी०१५०</mark>००००११४, ००००२१५ अमरावती ९०८७०१२३३१ ए<mark>फईडीजीएल००८५</mark>०००५४३९, ०००५४५, ०००५४५६, ०००५४८०, ०००५४९०, ०००५४९१, ०००५५०२, ०००५५५७, ०००६८७८, **एफईडीडीएस००८५**००००५०, ०००००५२ औरंगाबाद सिडको ०२४०-२४८२१२२ **एफईडीजीएल००**८७००५८३३, ०००५८६१, ०००५८६७, ०००५८७८, ०००५८८८, ०००५८९२, ०००५९२७, ०००५९३५, ०००५९३६, ०००६५११, ०००६६१८ <mark>औरंगाबाद-क्रांत्रं</mark> चौक ९११२०५१००९ **एफईडीजीएल०३५१**०००७६०४, ०००५३२२, ०००५३४१, ०००५३५३, ०००५३८३, ०००५४२०, ०००५४१०, ०००५४१६ ০০০५४२१, ০০০५४३३, ০০০५४३४, ০০০५४४०, ০০০५४६२, ০০০५४६५, ০০০५४६८, ০০০५४६९, ০০০५४७०, ০০০५४७७, ০০০৩৬০ भोसरी ७४४८८८०५३२/८३७९९९९६६ एफईडीजीएल०१२६०००७९४४, ०००७८८१, ०००५८३५, ०००५८५०, ०००५८६२, ०००५८६२ ०००५८९९, ०००५९०२, ०००५९११, ०००५९१६, ०००५९१२, ०००५९२२, ०००५९२६, ०००५९३०, ०००५९३७, ०००५९३४, ०००६९३३, ०००६६६३ २००६६६४, ०००७२३२, <mark>एफर्इडीबीडी०१२६</mark>०००००५३ बिबेवाडी ०२०-२४४११७७ **एफर्इडीजीएल०७५**०००६२०८, ०००६२२९, ०००६२३६ ०००६२५५, ०००६२८७, ०००६२८८, ०००६३३२, ०००६३३६, ०००६१३६, ०००६९४५, ०००६९६०, ०००६४८८, ०००५०२३ ०००७४१४, ०००७४८८, **एफईडीबीड०७७५**००००७८ **चाकण** ०२१३५–२४९४११ **एफईडीजीएल००६६**००७७६५४, ०००७६९३, ०००७६९५ ০০০५७६२, ০০০५७६३, ০০০५७६५, ০০০५७७५, ০০০५७८१, ০০০५७८३, ০০০५७८५, ০০০५७९१, ০০০५८१९१, ০০০५८३५, ০০০५८३६ ०००५१९९, ०००५१८५, ०००५२२०, ०००३९२२, ०००३९२३, ०००३९२५, ०००३९३३, ०००३९४०, ०००३९४३, ०००३९७७, ०००३९८८, ०००३९९३, ०००४४१८, ०००५०३३, ०००५१८६, ०००५२२१, ०००५३४५, ०००५३६४, ०००५७७२, **एफईडीडीएस००५६**०००६७४, ०००७७८६, ००००७८२ चंद्रपूर ९४२१८७८९३९ **एफईडीजीएल०४७०**०००१९२८, ०००१९५२, ०००१०६७, ०००१०७०, ०००१०७८, ०००१०७९, ०००१०७ ०००१०९१, ०००१०९२, ०००१०९९, ०००११००, ०००१११८, ०००११२६, ०००११३१, ०००११३३, ०००११३४, ०००१३६१, ०००१३८३, ०००१३१५, ०००१४१०, ०००१६७५, ०००१७९६, ०००१९३१ चिंचवड ०१०-२७४५७६६७ **एफईडीजीएल०७१**०००६०९६, ०००६०८५, ०००६१११, ०००४५४९, ०००४५५३, ०००४५६०, ०००४५६१, ०००४५६६, ०००४५७६, ०००४५७२, ०००४५७२, ०००४५७२, ०००४५८४, ०००४५९९, ०००४६२१, ०००४६२२, ०००४६२७, ०००४६३९, ०००४६४३, ०००५१८८, ०००५६४, ०००५७७०, ०००५५८८, ०००५८१३ ०००४१९२, ०००४६२२, ०००४६२२, ०००४६२२, ०००४६३२, ०००४६३२, ०००४६०२, ०००५६३४, ०००५५७०, ०००५७०२, ०००५७३४, ०००५४४, ०००५४४, ०००५४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४, ०००४४४ २००४५६६, २००४५६६, २००४५६८, २००४५७२, २००४५७५, २००४५७४, २००४५८१, २००४५८२, २००४५८३, २००४५८४, २००४५८५, २००४५८६, २००४५८७, २००४५८९, २००४५९८, २००४५९९, २००४६२६, २००४६२६, २००४६३६, २००४६३७, २००४६३४, २००४६४३, २००४६५९ **हुपरी** २२३०-२४५२९७७ **एफईडीजीएल०१२७**००९७१८, २००९७२४, २००९७२४, २००९७२५, २००९७२८, २००९७३५, २००९७४२, ०००९४५०, ०००९४५४, ०००९४६६, ०००९४६१, ०००९४४, ०००९४८६, ०००९४८१, ०००९४८६, ०००९४८६, ०००९४८, ०००९४९४, ०००९८०५, ०००९८६, ०००९८१, ०००९८१५, ०००९८३५, ०००९४६, ०००९८६१, ००१९६८८ **इसलकांजी** ०२३०-२४३३४५६ ए**फईडीजीएल०५३**००१०९३५, ००१०९३७, ००१०९४१, ००१०९४८, ००१०९५२, ००१०९५३, ००१०९५६, ००१०९५९, ००१०९७९, ००१०९८४, ব্যক্তর আর্থাকের বার্কিন বিষয়ের কর্মান ক অন্তব্যব্ধ কর্মান ক ০০ইই০ছিন, ০০ইই০ছি, ০০ইই০৫৯, ০০ইই০৫৬, ০০ইই০৫৬, ০০ইই০৫২, ০০ইই০৭৯, ০০ইই০৭২, ০০ইইই০২, ০০ইইই০২, ০০ইইই০৫, ০০ইইই০২

००११११४, ००११११५, ००११९१९, ००१२६४२, एफईडीबीडी००५३००००१० इंदापुर ०२१११-२९९०२९ एफईडीजीएल०४३३०००१८८१, ०००१८८९, ०००१८९१, ०००१९००, ०००१९०९, ०००१९२८, ०००२३१०, ०००२३५ **इस्लामप्र** ०२३४२-२९५१११ एफईडीजीएल०३३०००६९८३, ०००६९४६, ०००५७२, ०००५१५३, ०००५१५५, ०००५१६०, ०००५१६३, ०००५१६४, ०००५१६८, ०००५१७२, २००५१७५, ०००५१८४, ०००५१९०, ०००५१९५, ०००५१९९, ०००५२०८, ०००५२४५, ०००५२४७, ०००५२४८, ०००५२५९, ०००५८०[;] ০০০২(মুখ, ০০০২(১৫, ০০০২(২৫, ০০০২(২৫, ০০০২(২৫, ০০০২(২৫, ০০০২(২৫, ০০০২(২৫, ০০০২(২৫, ০০০২(২৫, ০০০২(২৫, ০০০২(২৫, ০০০২(২৫, ০০০২(২৫, ০০০২(২৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২(১৫, ০০০২)))))) १९७६३वास(२०४८) १९८४, ०००३५४, ४००४२४, ४००४२४४, ४००४४४४, ४००४४४४, ४००४४४४, ४००४४४४, ४००४४४४, ४००४४४४, १००३३४६, ०००३४६३, ०००३५४४, एफईडीबीड०१०६००००५७ कर्जन ८१४९४७४६६२ एफईडीजीएल०३२४०,०००३२४८, १००३२४९, ०००३२२, ०००३२२३, ०००३२४८, ०००३२४८, ०००३२४, ०००३२९, ०००३२९८, ०००३३०, ०००३३२८, ०००३३८८, ०००३४८८, ०००४१२४, ०००४१०२, ०००४११० कोतास्त ०४०-४४४३७४७ एष५इडानाएल००४५०००५४०००५१४, ०००५४२४, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४८, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४, ०००५४४४, ०००५४४, ०००५४४, ०००५४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००५४४४, ०००४४४४

०००६८२३, ०००६८२४, ०००६८२१, ०००५५२१, ०००५५२८, ०००५५२७, ०००५५५२, ०००५५८३, ०००६०४८, ०००६०५७, ०००६५८४, ०००६७१०, ०००६७११, ०००६७१२, ०००६९३२, ०००६९३३, ०००६९३४, ०००७३३७, ०००७३३३, ०००७३३४, ०००७३४५, ०००७३८१, ०००७३८२, ०००७३८३, **एफईडीडीएस०११९**०००००५१, ०००००५३, ००००१११ **कोथरुड** ९०८७०१२३४१ **एफईडीजीएल०११२**०००४५६, ०००४९५९, ०००४९६०, ०००४९६७, ०००४९७०, ०००४९७५, ०००४९७८, ०००४९८१, ०००४९८८, ०००४९९६, ०००४९९७, ०००४९९८, ०००४९९९, ०००५०००, ०००५००१, ०००५००६, ०००५०२०, ०००५०२४, ०००५०४२, ०००५०५५, ०००५०६७, ०००५०७५, ०००५०७६, ०००५०८३, ०००५८३४, **एफईडीबीडी०११२**००००१०४ **लात्**स् ९०७५६४७८८८ **एफईडीजीएल०५१९**००००४१९, ००००४२९, ००००४३९, ००००४५२, ००००७४४, ००००७४८, ००००७६९, ००००७७४ लोनावळा शाखा १८२४५८०११२ **एफईडीजीएल०४६४**०००३४३७, ०००१७८६, ०००१७९२, ०००१७९३, ०००१८१३, ०००१८१४, ०००१८१७, ०००१८२८, ०००१८३२, ०००१८४८, ०००१८५१, ०००१८६२, ०००१८६८, ०००३४३२ महाड ९९२१२६३०३० **एफईडीजीएल०४५५**०००६५०८, ०००३५१८, ०००३५२३, ०००३५२८, ०००३५४०, ०००३५४३, ०००३५४४ ०००३५४%, ०००३५५२, ०००३५६५, ०००३५६७, ०००३५६९, ०००३५७५, ०००३५८०, ०००३५८८, ०००३५९४, ०००३५९६, ०००३५९६, ०००३५९८, ०००३६१८, ०००३६२०, ०००३६२४, ०००३६२५, ०००३६३४, ०००३६३९, ०००३६४६, ०००३६६२, ०००३६६४, ०००३६६४, ०००३६६४, ०००३६७२, ०००३६७४, ०००३६७९, ०००३६८८, ०००३६९३, ०००४५७८, ०००४६३२, ०००४६५१, ०००४६७१, ०००६४७४, ०००६४३४ मेडिकल स्केअर ०७१२-२७५८४८४ एफईडीजीएल०३३३०००५९८२, ०००५५१६, ०००४४१६, ०००४४२२, ०००४४६, ०००४४६४, ०००४४८८, ०००४५१४, ०००५९००, ०००५५८५, ०००५७८३, ०००६०८७, एफईडीडीएस०३३३०००००६१, ०००००९७ मीरा रोड ७४४८८८०५३७ एफईडीजीएल०१४३०००४७३८, ०००४७४१, ०००३४९६, ०००३५५२, ०००३५५४, ०००३५५९, ०००३५६१, ०००४४५३, ०००४६०२, ०००४६७४, एफर्डडीडीएस०१४३०००००६, एफर्डडीबीडी०१४३००००७८ मिराज ०२३३-२२२९८६२ एफर्डडीजीएल००८६००१८१६२, ००१७९६१, ००१५५२० ००१२५४४, ००१२५७०, ००१२५७८, ००१२५९५, ००१२६०३, ००१२६०८, ००१२६१७, ००१२६११, ००१२६६४, ००१२६७४, ००१२६८ ००१२७००, ००१२७०२, ००१२७१४, ००१२७४०, ००१२७४६, ००१२७६७, ००१२८०६, ००१२८०८, ००१२८२२, ००१४२९४, ००१४३५७, ००१४३८६, ००१४४१३, ००१४५५३, ००१७९१०, ००१८०२०, ००१८३३६ <mark>मोहपाडा</mark> ९७६५४६४२५४ **एफईडीजीएल०५१६**०००६४१, ००००७०५, ००००७१५, ०००११८७ **मुखाड** ९७६८८८१२२७ **एफईडीजीएल०४६६**०००२४७९, ०००२४८१, ०००२४९८, ०००२५०२, ०००२५४०, ०००२५११, ०००२५३६, ०००२५४९, ०००२५६९, ०००२५७३, ०००२५८०, ०००२५८४, ०००२५९३, ०००३०४८, ०००३१३५, ०००३६२८ नागपुर सीए रोड ०७१२–२७६६३१३ **एफर्डडीजीएल०३६४**००५४३९, ०००५६८०, ०००३६०५, ०००३६१६, ०००३६३७, ०००३६३९, ०००३६४२, ०००३६५४, ०००३६५९, ०००३६७२, ०००३६७८, ०००३६८४, ०००३६८६, ०००३६९६, ०००३७१०, ०००३७१५, ०००३७१५, ०००३७१६, ০০০ইড१७, ০০০ইড१८, ০০০ইড२२, ০০০४२४३, ০০০४२७४, ০০০४३२०, ০০০४३६०, ০০০४३७८, ০০০५০१५, ০০০५४३६, ০০০५२६३ ०००२४ए६, ०००२४७८८, ०००२४०८, ०००२४०४, ०००२४८४, ०००२४८४८, ०००४२४८, ०००४२४८, ०००४५०८, ०००५४६८, ०००४५०८, ०००४५०८, ०००४६६६३, ०००१६७२, ०००१६७९, ०००१६८८, ०००१६८८, ०००१६८८, ०००१६८९, ०००४६९९, ०००१७४९, ०००१७४८, ०००१९९९, ०००१६६३, ०००१६७२, ०००१६७९, ०००१६८८, ०००१६८८, ०००१६८८, ०००१६८९, ०००१६९९, ०००१७१९, ०००१७४९, ०००१७४९, ०००१६९, ००० ०००२४२३, ०००६३७६, ०००६३४८, ०००६६४१, ०००५६४६, ०००६५०६, ०००६७९, ०००५५९९, ०००५५६९, ०००५७३९, ०००७४४९, ०००६३४३, ०००६३४३, ०००६३४३, ०००६३४३, ०००६३४२, ०००६४४१, ०००६४४ ०००७७१६ नाशिक पंचवटी ०२५२–२५१००७७ एफईडीजीएल०३२२००११०५५, ००११२५२, ०००८००, ०००८००३, ०००८०१५, ०००८०२१, ०००८०२५, ०००८०२६, ०००८०२८, ०००८०३३, ०००८०३८, ०००८०४६, ०००८०५०, ०००८०५१, ०००८०५५, ०००८०५७, ०००८०५८, ०००८०७०, ०००८०७१, ०००८७३, ०००८११८, ०००८१२०, ०००८१२६, ०००८१२९, ०००८१३३, ०००८१३७, ०००८१४५, ०००८४४६, ०००८१५६, ०००८१६५६, ०००८१६६, ०००८५६६, ०००८१६६, ०००८१७५, ००८१७५, ००८८१८६, ०००८१८६, ०००८१६६, ०००१८६६, ०००१८६६, ०००१८६६, ०००९२३०, ०००९२३१, ००१११०२, ००११११५, ००११२०१, ००१०६८, ००११६६६, ००११७६०५ **नाशिक रोड** ०२३५२–२२७००१ ए**फईडीजीएल०३३५**०००५९१८, ०००५८४३, ०००५९०९, ०००४३२४, ०००४३२८, ०००४३२९, ०००४३४०, ०००४३५६, ०००४३६६३, ०००४३६६

০০४३७१, ০০০४३७६, ০০০४३८४, ০০০४४০७, ০০০४४१३, ০০০४४२४, ০০০५४४५, ০০০५६५४, ০০০५७८३, ০০০५८০८ ०००४४९, ०००४३७६, ०००४३८४, ०००४४८५, ०००४४८१, ०००४४१३, ०००४४२४, ०००५४४५, ०००५६५४, ०००५६०३, ०००५८०३, ०००५८७५, एफईडीबीडो०३३५५००००६७ निगडी शाखा ९१५६३९७६७८ एफईडीजीएल०३९०००३८९२, ०००२५६६, ०००२६६७, ०००२५६७, ०००२५०४, ०००२५८६, ०००२५८७, ०००२५९४, ०००२५९६, ०००१५८, ०००३६०४, ०००२६२६, ०००३२०, ०००३२४२, ०००३४३४, ०००३५००, ०००४३४२ पनवेल ७४४८८८०८४३ एफईडीजीएल०७३०००३२१८, ०००३२२३, ०००३२३०, ०००३२५९, ०००४९३७ पेन ०२५३–२४६६९६१ एफईडीजीएल०११४०००६९७८, ०००६९६७, ०००६८८७, ०००६८६४, ०००४९२६, ०००४९२७, ०००४९२९, ०००४९३२, ०००४९३३, ०००४९३४,

৽৽৽४९४२. ৽৽৽४९५९. ৽৽৽४९६९. ৽৽৽४९७३. ৽৽৽४९७९. ৽৽৽५६०८. ৽৽৽५६५९. ৽৽৽६२२৽. ৽৽৽५५५२. ৽৽৽६५१६. ৽৽৽६५५७

००६८५६, ०००७१३३, ०००७६५४, ०००७८३६ राजारामपुरी ०२३१-२५५६५९५ ए<mark>फईडीजीएल०१३७</mark>०००८१६८, ०००८१०६, ०००६३१४ ००६३३४, ०००६३३९, ०००६३४७, ०००६३४९, ०००६३५०, ०००६३५१, ०००६३५७, ०००६३६६, ०००६३७०, ०००६३७३, ०००६४०२ ०००६४१०, ०००६४११, ०००६४१६, ०००८२४२, ०००८०३१, ०००८१५९, ०००८६५२, ०००८६५४, **एफईडीबीडी०१३७**०००००४८ <mark>राजगुरु नगर</mark> ०२१३५-२२२२४७ **एफईडीजीएल००८**०००९३६२, ०००९३८८, ०००९४२६, ०००७२८८, ०००७२८९, ०००७३०९, ०००७३०७, ०००७३२८, ०००७३१८, ०००७३२८, ०००७३३३, ०००७३४०, ०००७३४, ०००७४१४, ०००७४११, ०००७४२९, ०००७४२९, ०००७४३०, ०००८०५२, ०००८०५५, ०००८०८६, ०००८१४०, ०००८१६९, ०००८७६६, ०००८८२६, ०००९४१६, ०००९१४३, ०००९२४५, ०००९४४८, ०००९४४८, ०००९१७३, ०००९२८१, ०००९२८५, ०००९२४५, ०००६५०६ स्तागिरी १८२३१२२४२२ **एक्डॉडीनीएन०१५१**०००८५०५, ०००६९७, ०००६९७, ०००६९७ ०००६२७६, ०००६२८५, ०००६९७५, ०००६९५, ०००६९९५, ०००७७१५, ०००७०१५, ०००७०२०, ०००७०२२, ०००७०२८, ०००७७३२ ০০০৬০ইই, ০০০৬০४१, ০০০৬০५৬, ০০০৬০६০, ০০০৬০६१, ০০০৬০६८, ০০০৬০৬६, ০০০৬০९৬, ০০০৬০९८, ০০০৬६५৬, ০০০৬६৬३ , ০০০৬ছেও, ০০০৬ছেও, ০০০৬ছেওছ, ০০০৬ছেও, ০০০৬ছেও, ১০০৬ছেও, ০০০৬ছেও, ০০০৬৪৯, ০০০৬৪৯, ০০০৬৪৯, ০০০৬ছেও, ০০০৬ছেও, ০০০৬ছেও, ০০০৬ছেওছ, ০০০৬ছেও, ০০০৫ছেও, মানালী ০২३३–२३२০০११ **एक्डंडीनीएल०१४**०००९४४५, ০০০৬४२४, ০০০৬४२४, ০০০৬ ০০০৬४५३, ০০০৬४७९, ০০০৬४८८, ০০০৬४८८, ০০০৬४१३, ০০০৬५१३, ০০০৬৭১১, ০০০৬४४३, ০০৩५४४, ০০০८२९४, ০০০८३९४ २००८४२१, ००१००३४, ०००९९१७, ००१०२२५, ००११०३३ <mark>संघवी</mark> ०२०–२७२८३०१२ <mark>एफर्डडीजीएल००७०</mark>०००५५८५, ०००५६४३, ०००५६४४ ०००८६२, ००,००४२, ०००५५५, ०००५४२, ०००४६२, ०००४६५, ०००५६५, ०००४६६, ०००४६६, ०००४६५, ०००५४५, ०००५५, ०००५०५०, ०००५२६३, ०००५२१०, ०००५२६७, ०००४६२६, ०००४६५, ०००४६५, ०००४६६७, ००४६६७, ००४६५, ०००४८५, ०००५०२०, ०००५०२५, ०००५०२६, ०००५२६, ०००५४६८, ०००५४९१, ०००५७२७, ०००५८४७, एफईडीबीडी००७०००००५१ शहापुर ९२८४६०१८४ एफईडीजीएल०५०२०००१६४८, ००००६९६, ००००७१४, ०००१०१७, ०००१७०३, ०००१५७२ तळेगाव ०२११४ – २२४८२२ **एफईडोजीएल०११८**०००९६४२, ०००९६०२, ०००६७१७, ०००६७२७, ०००६७३२, ०००६७३३, ०००६७३४, ०००६७६२, ०००६७७०, ०००६७७६ ००६८०७, ०००६८१३, ०००६८४५, ०००६८४८, ०००६८५२, ०००६८६७, ०००८८३७, ०००९३०९, ०००९४७८, ०००९५०८, ०००९६८९ उल्हास नगर १३८४०००९११ एफईडीजीएल०३३१०००२१७१, ०००३१७५, ०००३२१० उदावाडी ०२५३ -२२१११७७ एफईडीजीएल०८३०००४१४, ०००३६०४, ०००३६१३, ०००३६२७, ०००३६४५, ०००३६५४, ०००३६५६, ०००३६५१, ०००३६६०, ०००३६६१, ०००३६६४, ०००३६७४, ०००४७५५, ०००५१४७ उरण १३८४८०८०१७ एफईडीजीएल०४२९०००४३७४, ०००२५२६, ०००२५३३, ०००२५३७, ०००२५३८, ०००२५७४, . १००२५८१, ०००२६१०, ०००२६११, ०००२६३३, ०००२६३८, ०००२६३९, ०००३८४८, ०००४३६७, ०००४४०० **उरुली कांचन** ९८२३९६१९० ०००४६६२, ०००४६८२, ०००४६८३, ०००४६८५, ०००४७०७, ०००४७०८, ०००४७०९, ०००६१३४, ०००६१४४, ए<mark>फर्इडीबीडी०१५२०००००२७</mark> विक्रोळी २२२५७७०००१ **एफर्इडीजीएल००७**७०००३५५५, ०००२७७६, ०००२८०२, ०००३२७२ <mark>विरार</mark> २५०२५२२०३० ए<del>फर्इडीजीएल०११३</del>००७७९३६, ०००६२५१, ०००६२५४, ०००६२६०, ०००६२६१, ०००६२६२, ०००६२६४, ०००६२६५, ०००६२६५, ०००६२६६, ०००६२८४, ०००६२८७, ०००६२९०, ०००६२९५, ०००६२९६, ०००६२९७, ०००६२९८, ०००६३००, ०००६३०५, ०००६३४४, ०००६३४४, ०००६३४४, ०००६३४२, ०००७०१७, ०००७७५९, ०००८०८५, ०००८१२८, ०००८२१४, ०००८२३३, ०००८५३०, ०००८५९२, एफर्इडीबीडी०११३००००४९, ०००००५३, ००००१७२ विद्वल मंदिर सोलापुर ०२१७–२९५०१५८ एफर्इडीजीएल०११५००१०२०९, ००१०२५३, २०२८७९९५, २०८७१२५, २०८७१२६, २०८७१२७, २०८७११५, २०८७११७, २०८७१२०, २०८७१५७, २०८७१६६, २०८७१६६, २०८७१८३, २०८७१९६, २०८७२०९, २०८७२३०, २०८८१४०, २०२८१६४, २०२८१९५, २०८८१२२, २०८८२८६, २०१०१८४, २०१०२५४, २०१०२६७, २०१०३७१ **सम्रो**८७१५२-२४५१९१ **एफईडीजीएल२३६३**२०२३६८७, २०२३६९४, २०२३६९६, २०२३७९९, २०२३७१२, २०२३७१४, २०२३७२४, ०००२४५२, ०००२४४४, ०००३४५१, ०००२४६१, ०००३५६२, ०००३५६३, ०००३७५४, ०००४९१० बार्ने ०२०-२५२१४००० एफर्इडीजीएल०४४३०००२७६४, ०००२७५८, ०००२५१, ०००१४२०, ०००१४४३, ०००१९३०, ०००२६०९, ०००२६३९, ०००२७५०, ०००२५०१, ०००३११२, ०००३२६१, ०००३३६४, एफर्इडीडीएस०४४३००००१९३ येवला ०२५५९ - २५९०१० एफ्र्इडीजीएल०१३१०००५३८१, ०००३८८१, ०००३८८२, २००३८८३, २००४८४४, ४००३८४८, २००३८४२, ४००३८४३, ४००३८४४, २००३८४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००३४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४, २००४४४४४, २००४४४४, २००४४४४

०००३९६८, ०००३९७३, ०००३९८४, ०००४४३३, ०००४५१४, ०००४९८४, ०००४७४७ काही असल्यास ठिकाण किंवा तारखेतील बदल आमची वेबसाईट www.fedfina.com वर दर्शविण्यात येईल. सर्व सहभागी होणाऱ्या बोलिटारांना त्यांच्याटा सादर केलेल्या बोली स्विकारणे किंवा नाकारण्याच्या संदर्भासह त्यानंतर कळविण्यात येईल. ज्या ग्राहकांना त्यांचे दागिणे सोडवायचे आहेत ते प्रयोज्य अटी आणि शर्तीच्या अधीन २५-०४-२०२४ रोजी/किंवा पर्वी ग्राहकांनी दागिणे तारण ठेवलेल्या शाखेत भेट देव शकतात किंवा वरील नमद क्रमांकावर संपर्क करावा. लिलाव संबंधित शाखेत करण्यात येईल. कोणत्याही करणाने दिलेल्या नियत तारखेस लिलाव पूर्ण होऊ शकला नाही तर तो आमच्या वेबसाईटवर तपशिल दर्शविल्यानंतर त्यानंतरच्या कामकाजाच्या दिवशी करण्यात येईल. सदर संदर्भात पुढे पत्रव्यवहार करण्यात येणार नाही.

सही / - प्राधिकत स्वाक्षरीकत

**PUBLIC NOTICE** 

Notice is hereby given that Mr. Anthony B. Fernandes alias Mr. Antonio B rnandes, the owner of tenement N R-011, situated on the ground floor of the Building known as "THE GOAN CO-OPERATIVE HOUSING SOCIETY LTD" same name at 23, R.S. Navalkar Mar (Tad Wadi) Chira Bazar, Jagannat Shanker Sheth Road, Mumbai 40000 was issued by "THE GOAN CO-OPERATIV HOUSING SOCIETY LTD" a shar certificate bearing No. 33 for a total or 25 shares (No 1221 to 1245) as evidence of his occupancy and ownership of the

said tenement. That Mr. Anthony B. Fernandes alias Mr Antonio B. Fernandes, the owner enement No. R-011 has lost the Origina Share Certificate, issued to him by the said society and is not able to trace it. An application is made to the aforesa Society to issue a duplicate shar certificate.

If any person has found the original share certificate and is in possession hereof, then the same may be returned to the undersigned at the address give thereunder, within 15 days from the date of publication of this Notice, failing which my client will take Charge of the Duplicate Copy from the Concerne Society for all purposes of law and fact Sd/- Adv. Nicholas D'Mello

C/o Mrs. Maria Gracias, Shiv Smruti Apartments, 2nd Floor, Feira Alta, Mapusa, Bardez, Goa 403507

# जाहीर सूचना

सूचना तमाम जनतेस याद्वारे देण्यात येते की, खालील लिखित परिशिष्टात अधिक सविस्तरपणे वर्णिलेल्या रामभाऊ भोगले मार्ग, घोडपदेव, भायखळा (पूर्व), मुंबई - ४०० ०३३ स्थित ''श्री मोहनखेडा हाईटस्' म्हणून ओळखल्या जाणाऱ्या आणि नावाच्या इमारतीच्या १४ व्या मजल्यावरील मोजमापित ६१.६८ चौ.मी. फ्लॅट क्र. ए-१४०२ समवेत श्री मोहनखेडा हाईटस् को-ऑपरेटिव्ह हाऊसिंग सोसायटी लिमिटेडने जारी केलेल्या शेअर क्रमांक ०२५ अंतर्गत विभिन्न क्र. २४१ ते २५० (दोन्ही समाविष्ट) धारक प्रत्येकी रू. ५०/-रूपये पन्नास मात्र) च्या एकूण रू. ५००/-(रूपये पाचशे मात्र)) मुल्याच्या १० (दहा)) पूर्ण भरणा केलेल्या शेअर्स या मिळकतीच्या **('मिळकती')** संदर्भात श्री. श्याम हनुमान चौधरी ('प्रस्तावित हस्तांतरणकर्ता') यांच्या गमाधिकाराची आमचे अशील तपासणी करीत

सर्व व्यक्ती, परंतु वैयक्तिक पुरत्या मर्यादित नसलेल्यांसह, हिंदू अविभाजित कुटुंब, कंपनी, बँका, वित्तीय संस्था, नॉन-बँकिंग वित्तीय संस्था, फर्म, व्यक्तींची संस्था किंवा व्यक्तींचे मंडळ, स्थापित किंवा अस्थापित, शासकीय किंवा निम-शासकीय, सावकार आणि/किंवा धनको ज्यांचा सदर मिळकतीच्या संदर्भात किंवा तेथील कोणत्याही भागावर वारसा, भाग, विक्री, अभिहस्तांकन, गहाण, लेखी करार, हस्तांतर, भाडेपट्टा, पोटभाडेपट्टा, परवाना, कुळवहिवाट, उपकुळवहिवाट, धारणाधिकार, प्रलंबित वाद, भार, विश्वस्त, निर्वाह, सुविधाधिकार, भेट, मृत्यूपत्रित दान, अंत्यदान, संयुक्त उपक्रम, अदलाबदल, ताबा किंवा प्रभार, उत्तराधिकार, भोगवटा, समझोत्याची ज्ञापन, लेखी, काळजीवाहु तत्व, कौटुंबिक ञ्यवस्था/तडजोड, लाभाचे हितसंबंध, कोणत्याही न्यायालयाचा आदेश किंवा निर्देश, कंत्राट/करार, जप्ती किंवा कोणताही दायित्व किंवा जबाबदारी किंवा कोणत्याही प्रकार मागणी याद्वारे किंवा अन्यथा कोणत्याही प्रकारे युनियन बँक ऑफ इंडिया, बझार गेट स्ट्रीट फोर्ट (मुंबई) शाखा यांच्या बाजूने सध्या असलेली गहाण वाचून आणि वगळून कोणताही हक्क, नामाधिकार, हितसंबंध दावा, आक्षेप किंवा मागणी असल्यास त्यांनी . त्यासंबंधी निम्नस्वाक्षरीकारांना खालील नमूद ात्त्यावर सदरह प्रसिध्दीच्या तारखेपासून २१ (एकवीस) दिवसांत दस्तावेजी पराव्यांसह लेखी सूचना देणे आवश्यक आहे, कसूर केल्यास असा कोणताही दावा किंवा कोणतीही मागर्ण यांच्या संदर्भाशिवाय प्रस्तावित हस्तांतरणकर्ता आणि आमचे अशील यांच्यातील प्रस्तावित व्यवहार पूर्ण केला जाईल आणि असा दावा किंवा मागणी सर्व हेत् आणि उद्देशाकरिता सोडून दिल्याचे आणि/केंवा त्यागित केल्याचे मानण्यात येईल आणि आमच्या अशिलावर बंधनकारक असणार नाही.

परिशिष्ट ।बई शहरच्या नोंदणी जिल्ह्यातील रामभाउ भोगले मार्ग, घोडपदेव, भायखळा (पूर्व), मुंबई · ४०० ०३३ स्थित ई वॉर्ड. माझगाव विभागाचा कॅडेस्टल सर्व्हे क्र. ७३ धारक आणि जुना सर्व्हे क्र. १५५, १५५ आणि १५६, नवा . ह. सी/११७९६, डी/११७९६,११७९८, सी/११७९६, ए-२/११७९८ आणि डी २/११७९६ जुना सर्व्हे क्र. ३८१, ६८१ आणि नवा सर्व्हे क्र. २-ए/३७२० अंतर्गत जमीन महसूल कलेक्टर यांच्याकडे नोंदणीकृत जिमनीचा सर्व तो तुकडा आणि पार्सलवर स्थित आणि वसलेल्या 'श्री मोहनखेडा हाईटस' म्हणून ओळखल्या जाणाऱ्या आणि नावाच्या इमारतीच्या १४ व्या मजल्यावरील मोजमापित ६१.६८ चौ.मी. फ्लॅट क्र. ए-१४०२ समवेत श्री मोहनखेडा हाईटस् को-ऑपरेटिव्ह हाऊसिंग सोसायटी लिमिटेडने जारी केलेल्या ५ डिसेंबर २०१९ दिनांकित शेअर क्रमांक ०२५ अंतर्गत विभिन्न क्र. २४१ ते २५० (दोन्ही समाविष्ट) धारक प्रत्येकी रू. ५०/- (रूपये पन्नास मात्र) च्या एकण रू. ५००/- (रूपये पाचशे मात्र) मूल्याच्या १० (दहा) पूर्ण भरणा केलेले

शेअर्स. दिनांकित १५ एप्रिल २०२४. सही/-आकृती खेतान भागीदार एमझेडडी लिगल कंन्सल्टन्सी.

वकील ७१६, तुलसियानी चेंबर्स, फ्री प्रेस जर्नल मार्ग, नरिमन पॉईंट, मुंबई-४०० ०२१ द्रः +९१-२२ २२०२ ३१३१ फॅक्स : +९१-२२ २२०२ ४९४९

# **SBI** State Bank of India

स्ट्रेस्ड ॲसेटस रिकव्हरी ब्रांच, मुंबई (०५१६८):- ६वा मजला, ''दी इंटरनॅशनल'', १६, महर्षी कर्वे रोड, चर्चगेट, मुंबई-४०० ०२० दरध्वनी: ०२२-२२०५३१६३/२२०५३१६४/२२०५३१६५ ईमेल: sbi.05168@sbi.co.in

# स्थावर मिळकतींच्या विक्रीसाठी विक्री सूचना जोडपत्र - IV-ए (नियम ८(६) चे परंतुक पहा)

सिक्युरिटी इंटरेस्ट (एन्फोर्समेंट) रुल्स, २००२ च्या नियम ८(६) च्या परंतुकासह वाचत सिक्युरिटायझेशन अँड रिकन्स्ट्रक्शन ऑफ फायनान्शीअल ॲसेटस अँड एन्फोर्समेंट ऑफ सिक्युरिटी इंटरेस्ट ॲक्ट,

सर्वसामान्य जनता आणि विशेषकरून कर्जदार आणि जामीनदार यांना याद्वारे सूचना देण्यात येते की, स्टेट बँक ऑफ इंडिया, तारणी धनको यांच्या प्राधिकृत अधिकाऱ्यांनी **प्रत्यक्ष करुजांत** घेतलेल्या तारणी धनकोंकडे गहाण/भारग्रस्त असलेली खाली वर्णन केलेली स्थावर मिळकत <mark>श्री. कुलदिप परमानंद दादवानी (कर्जदार)</mark> यांच्याकडून तारणी धनकोंना येणे थकबाकी असलेल्या २३.०५.२०२<mark>१ रोजीस रु. ७९,१३,८२९/– (रुपये</mark> एकोऐंगी लाख तेरा हजार आठशे एकोणतीस मात्र) च्या वसुलीसाठी ३१.०५.२०२४ रोजीस ''जसे आहे जेथे आहे'', ''जसे आहे जे आहे'' आणि ''जे काही आहे तेथे आहे'' तत्वावर विकली जाईल. इसारा अनामत रक्कम असेल रु. ५४,४२,०००/– (रुपये चोपच लाख बेचाळीस हजार मात्र) आणि इसारा अनामत रक्कम रु.५,४४,२००/– (रुपये पाच लाख चव्वेचाळीस हजार मात्र). बोलीदारांनी लिलाव गारखेपूर्वी मे. एमएसटीसी लि.ने अवलंब केलेल्या पध्दतीनुसार आवश्यक केवायसी दस्तावेज आणि नोंदणी शुल्क प्रदान करून https://www.mstcecommerce.com/auctionhome/ibapi/index.jsp वर स्वतःची नोंदणी

ाहीर ई-लिलावाची तारीख आणिवेळ आहे ३१.०५.२०२४ रोजी स. ११.०० ते सं. ४.०० प्रत्येकी १० मिनिटांच्या अमर्याद विस्तारासहीत.								
मिळकत आयडी नं.	मिळकतीचे तपशील	राखीव किंमत	इसारा अनामत	बोली वाढीची	निरीक्षणाची			
		(रु. मध्ये)	रक्कम (रु.)	रक्कम (रु.)	तारीख आणि वेळ			
एसबीआयएन२०००३९६२६६१४	फ्लॅट क्र. ए/४०२, ४था मजला, महेश रेसिडेंसी (आता टॅनडाईस म्हणून ज्ञात),	₹.	₹.	₹.	२७.०५.२०२४			
	सीटीएस क्र. ९६०, ९६०/ए ते १८, गाव कांदिवली, डहाणूकरवाडी, एम. जी.	५४,४२,०००/-	५,४४,२००/- (रुपये	२०,०००/-	दु. १२.०० ते			
	रोड, कांदिवली (पश्चिम), मुंबई-४०० ०६७ समाविष्टीत मिळकतीचे सर्व ते	(रुपये चोपन्न लाख	पाच लाख चव्वेचाळीस	(रुपये वीस हजार)	दु. २.००			
	भाग आणि विभाग, मोजमापित २८३ चौ. फ. रेरा चटर्ड	बेचाळीस हजार मात्र)	हजार दोनशे मात्र)		-			

विक्रीच्या तपशीलवार अटी आणि शर्तीसाठी कपया स्टेट बँक ऑफ इंडिया. तारणी धनकोंची वेबसाईट मध्ये दिलेली लिंक बघावी www.sbi.co.in. https://bank.sbi. https://sbi.co.in/web/sbi-in-the-news/auctior notices/sarfaesi-and-others आणि https://www.mstcecommerce.com/auctionhome/ibapi/index.jsp, https://ibapi.in किंवा येथे संपर्क साधा सीएलओ मोबा क्र. ८८७९३३३२३४ आणि सीसीओ मोबा

दिनांक: १२.०४.२०२४ ठिकाण: मुंबई

कब्जा सूचना

ज्याअर्थी, **जना स्मॉल फायनान्स बँक लिमिटेड** (पूर्वी जनलक्ष्मी फायनान्स सर्व्हिसेस लिमिटेड अशी ज्ञात) चे प्राधिकृत अधिकारी सिक्युरिटायझेशन ॲण्ड रिकन्स्ट्रक्शन ऑफ फायनान्शिअलल असेटम् ॲण्ड एन्फोर्समेंट ऑफ सिक्युरिटी इंटरेस्ट ॲक्ट २०२० अन्वये आणि सिक्युरिटी इंटरेस्ट (एन्फोर्समेंट) रूल्स २०२० चे नियम ३ सहवाचता कलम १३ (१२) अन्वये त्याना मिळालेल्या शक्तीच्या आधारे कर्जदार/सह-कर्जदारांना त्यांच्या . नावासमोरील रक्कमेसह सदर सूचनेमध्ये नमूद अशा लागू दराने त्यावरील व्याज च्यासह भरणाच्या आणि/किंवा वसुलीच्या दिनांकापर्यंत पुढील व्याज

લાગૂ ડ	गिर् असलल अनुषागक खर्च, पारव्यय, प्रमार इ. सदर सूचनच्या प्राप्ता पासून <b>६० ।दवसात</b> चुकता करण्यासाठा <b>मागणा सूचना</b> जारा कला आह.							
अ.	कर्ज क्र.	कर्जदार/	रोजी प्रमाणे १३(२)	दिनांक/वेळ आणि				
क्र.		सह-कर्जदार/	सूचना दिनांक/ थकीत देय (रु.)	कब्जा प्रकार				
		हमीदार/गहाणदार						
?	कर्ज खाते क्र.	१) अंकिता भरत पाटील	मागणी सूचना तारीख: ०९.०१.२०२४	दिनांक:				
	४७५२८२४००००१२२	(कर्जदार)	रु. ४,५२,६१५.३०	65-08-5058				
		२) भरत माणिक पाटील	(रुपय चार लाख बावन्न हजार सहाशे पंधरा	वेळ: स. ११.५०				
		(हमीदार)	आणि तीस पैसे मात्र)	सांकेतिक कब्जा				
			०७.०१.२०२४ रोजीस	क्रा				
	तारण मत्तेचे वर्णन : डी-२९१३/१, तळ मजला, टेंभोडे बेंदर पाडा, अल्याली सातपाटी रोड, हनुमान मंदिराजवळ, पालघर-४०१४०४ येथे स्थित त्या							
	सर्व भाग आणि विभागांवर स्थित स्थावर मिळकतीचे ते सर्व भाग आणि विभाग. मोजमापित ४३५ चौ. फू.							

ज्याअर्थी वरील नमूद कर्जदार/सह-कर्जदार/हमीदार/गहाणदारांनी थकीत रकमेची परतफेड करण्यास कसूर केली असल्याने वरील नमूद कर्जदारांना आणि जनतेला याद्वारे सूचना देण्यात येते की, जना स्मॉल फायनान्स बँक लिमिटेड चे प्राधिकृत अधिकाऱ्यानी वरील नमृद दिनांकारोजी सदर नियमांच्या नियम ८ सहवाचता सदर ॲक्टच्या कलम १३ (४) अन्वये त्यांना मिळालेल्या शक्तींचा वापर करून वरील नमूद मिळकत/तारण मत्तेचा सांकेतिक कब्जा घेतला. वरील नमुद कर्जदार/सह-कर्जदार/हमीदार/गहाणदांरानी आणि सर्वसामान्य जनतेला याद्वारे इशारा देण्यात येते की, उपरोक्त मिळकत/तारण मत्ते सह कोणताही व्यवहार करू नये. सदर मिळकत/तारणमत्तेसह कोणताही व्यवहार केल्यास हा **जना स्मॉल फायनान्स बँक लिमिटेड** च्या अधीन राहिल.

ठिकाण: महाराष्ट सही/- प्राधिकृत अधिकारी जना स्मॉल फायनान्स बँक लिमिटेड करिता दिनांक : १५.०४.२०२४

# जना स्मॉल फायनान्स बॅक

(शेड्युल्ड कमर्शियल बँक)

<u>नोंदणीकृत कार्यालय</u>ः दि फेअरवे, तळ आणि पहिला मजला, सर्व्हे क्र. १०/१, ११/२ आणि १२/२बी, डोमलूर लगत, कोरामंगला इनर रिंग रोड, ईजीएल बिझनेस पार्कच्या पुढे, चल्लाघट्टा, बंगलुरू – ५६००७१. <u>शाखा कार्यालय</u>: दुकान क्र. ४ आणि ५, तळ मजला इंडियाबुल्स मिंट, ग्लॅडी अल्वारेस रोड, हिरानंदानी मेडोज, पोखरण रोड, ठाणे पश्चिम-४००६१०.

¶SB|भारतीय स्टेट बैंक State Bank of India

रिटेल ॲसेट सेन्ट्रलाईइड प्रोसेसिंग सेंटर ठाणे दोस्ती पिनॅकल, गाळा क्र. ३, प्लॉट ई७, रोड क्र. २२, वागळे इंडस्ट्रियल इस्टेट, सर्कल

क्र. २२, ठाणे (प) ४०० ६०४. ईमेल : rasecc.thane@sbi.co.in

मागणी सूचना सुचना याद्वारे देण्यात येते की, खालील कर्जदार यांनी बँकेकडून त्यांनी घेतलेल्या कर्ज सुविधेची मुदल आणि व्याजाचा परतावा करण्यास कसूर आणि कर्ज नॉन परफार्मिंग ॲसेट्स (एनपीए) म्हणून वर्गीकृत करण्यात आले आहे. त्यांच्या शेवटच्या ज्ञात परचावर सिक्युरिटाबझेशन ॲण्ड रिकन्स्ट्रकशन ऑफ फायनात्शियल ॲसेट्स ॲण्ड एन्फोसेमेंट ऑफ सिक्युरिटी इंटरेस्ट ॲक्ट. ००२ च्या कलम १३(२) अंतर्गत सूचना त्यांना जारी करण्यात आल्या होत्या, परंतु त्या न बजावता परंत आल्या आणि म्हणून सदर जाहीर सूचनेच्या मार्गाने त्यांना कळविण्यात येत

अ.	कर्जदाराचे नाव आणि पत्ता खाते क्र.	तारण मत्तेचा तपशिल	१३(२)	एकूण थकीत
क्र.			सूचनेची तारिख	
۶,	श्रीम. महेश नाना पाटील, (१) एसएस-।, रूप क्र४९७, सेक्ट. १७, कोपरखेराणे, तीन टाकी जवळ, नवी मुंबई-४००७०९ (१) व्यवसाय पत्ता : पाटील क्रूसर्व किराणा स्टोअर. दुकान क्र८१६/बी, ज्योतीरिलंग नगर, दत्त मंदिराजवळ, साथन-पनवेल हायवे समीर, मानखुर्द, मुंबई-४०००४३, (३) द्वारे- नाना पाटील, रूप क्र १०१, संजोग सीएवएस, बिलडि. क्र. ३८, संत रोहिरास मार्ग, मानखुर्द पश्चिम, मुंबई-४०००४३ (४) द्वारे- नाना पाटील, विराले, कोल्हापूर, असुर्वं पश्चिम, जोल्हापूर, असुर्वं प्रचिम, जोल्हापूर, असुर्वं प्रचिम, प्रवार्थ, कोल्हापूर, असुर्वं प्रचिम, प्रवार्थ, कोल्हापूर, असुर्वं प्रचिम, प्रवार्थ, कर्जं खाते - ४२०९५००/४२००/४२०९१९२८७५ आणि सुरक्षा खाते - ४२०९२६१७५३६)	मिळकतीचा तपशील : (१) पर्लेट क्र. ००८, तळ मजला (३८० ची. फू. चटई), मुहाना सीएचएस, कल्पना सिनेमा जवळ, एलबीएस मार्ग, कुलां पश्चिम, मुंबई-४०००७०. (२) पर्लेट क्र. ००७, तळ मजला, (३८० ची. फू. चटई), मुहाना सीएचएस, करना सिनेमा जवळ, एलबीएस मार्ग, कुलां पश्चिम, मुंबई-४०००७०.	१५/०२/२०२४ एनपीए ची तारीख: १२/०२/२०२४	रु. १,५७,४५,१२८/ – १५/०२/२०२४ रोजीस
٦	श्रीम. निशा सुभाष घाडगे, निवासी पत्ता: ७०२/पवित्र धारा, पवित्र धारा हार्किसंग कॉम्प्लेक्स, तिवरी रोड, नायगाव पूर्व, पालघर-४०२,०२ किळकत पत्ता: एतंट क्र. –०१० आणि ११, तळ मजला, सुहाना सीएचएस, कल्पना सिनेमा जवळ, एलबीएस मार्ग, कुर्ला पश्चिम, मुंबई-४०००७७. व्यवसाय पत्ता: निशा इंटिरिअर डिझाईन, दुकान क्र. –२७, पवित्र भक्ती बिल्डि., पवित्र धाम सोसायटी, नायगाव (पू), पालघर-४०१२०८, (गृह कर्ज खाते ४१९४९२०४३४ आणि ४९९४९१५३१८१)	फ्लॅट क्र. – ०१० आणि ११, तळ मजला, सुहाना सीएचएस, कल्पना सिनेमा जवळ, एलबीएस मार्ग, कुलां पश्चिम, मुंबई – ४०००७०.	२८/०२/२०२४ एनपीए ची तारीख: २५/०२/२०२४	रु. १,५४,३२,८९५/ – २८/०२/२०२४ रोजीस
æ	श्रीम. सुभाष विठोबा घाडगे, निवासी पत्ता: ७०२/पवित्र धारा, पवित्र धाम हाऊसिंग कॉम्प्लेक्स, तिवरी रोड, नायगाव पूर्व, पालघर-४०१२०८, मिळकत पत्ता: सुहाना सीएवएस, कल्पना सिनेमा जवळ, एलबीएस मार्ग, कुर्ला पश्चिम, मुंबई-४०००७०. व्यवसाय पत्ता: घाडगे इन्फ्रास्ट्रक्स, दुकान क्र. २७, पवित्र मफी बिल्डि., पवित्र धाम सोसायटी, नायगाव. (गृह कर्ज खातो ४९७९५९२६२३५)	फ्लॅट क्र. – ३०४, ३रा मजला, सुहाना सीएचएस, कल्पना सिनेमा जवळ, एलबीएस मार्ग, कुला पश्चिम, मुंबई– ४०००७०.	२०/०३/२०२४ एनपीए ची तारीख: १४/०३/२०२४	रु. १,१७,२१,१२२/- २०/०३/२०२४ रोजीस

सूचनेच्या पर्यायी बजावणीकरिता पावले उचलण्यात येत आहेत. वरील कर्जदार आणि/किंवा त्यांचे हमीदार (प्रयोज्य तेथे) यांना सदर सूचना प्रसिद्धी तारखेपासून ६० दिवसात थकबाकी रक्कम अदा करण्यासाठी याद्वारे बोलाविण्यात येत आहे, कस्र केल्यास सिक्यरिटायझेशन ऑण्ड रिकन्स्टक्शन ऑफ फायनान्शियल ऑसेटस ऑण्ड एन्फोर्समेंट ऑफ सिक्यरिटी इंटरेस्ट ऑक्ट २००२ च्या कलम १३ च्या पोट-कलम (४) अन्वये सदर सूचनेच्या ६० दिवसाच्या समाप्तीनंतर पुढील पावले उचलण्यात येतील. तारण मत्तेच्या भरण्याकरिता उपलब्ध वेळेच्या संदर्भातील ॲक्टच्या कलम १३ च्या उप-कलम (८) च्या तरतुर्दीकडे कर्जदारांचे लक्ष वेधून घेतले जात आहे.

# सांकेतिक कब्जा सूचना

**ICICI Home Finance

अ. कर्जदार/सह-कर्जदाराचे नाव/कर्ज

खाते क्रमांक

नोंदणीकृत कार्यालय: आयसीआयसीआय बँक टॉवर्स, बांद्रा-कुर्ला कॉम्प्लेक्स, बांद्रा (पूर्व), मुंबई-४०००५१. **कॉर्पोरेट कार्यालयः** आयसीआयसीआय एचएफसी टॉवर, जेबी नगर, अंधेरी कुर्ला रोड, अंधेरी पूर्व, मुंबई-४०००५९.

मागणी सूचनेची

तारीख / मागणी

११-0१-२0२४

रु. ७७,८१३/-

१७-११-२०२१

**रु. १५,६१,९५७/-**

१०,७८,९१६.२४/-

सोलापुर

बोरिवली

**शाखा कार्यालय** : ११८७/२२ वेंकटेश मेहेर, घोले रोड, शिवाजी नगर, पणे - ४११००५ **शाखा कार्यालय** : १ला मजला, कार्यालय क्र. १०२, ७६५ फ्लायएज, दत्त पाडा ब्रिजच्या जवळ, एसव्ही रोड, बोरीवली (प) – ४०००९२

**शाखा कार्यालय :** २रा मजला, २०३, प्लॉट क्र. २, केटी एम्पायर, स्टेट बँक ऑफ इंडियाच्या वर, नवघर, वसई (प) – ४०१२०२ **शाखा कार्यालय :** २रा मजला, कनाले प्लाझा, ८२ रेल्वे लाईन्स, सोलापूर - ४१३००१

**शाखा कार्यालय :** २रा मजला, कार्यालय क्र. २०२, कोहिनूर पॅराडाईज, सर्व्हे क्र. २८४, शिवाजी नगर, रत्नागिरी ४१५६१२ **शाखा कार्यालय :** कार्यालय क्र. १०५ ते १०७, १ला मजला, प्लॉट क्र. २९, आयरे, एएआय सीएचएस लि., केळकर रोड, रामनगर, डोंबिवली (पू) – ४२१२०१

निम्नस्वाक्षरीकारांनी आयसीआयसीआय होम फायनान्स कंपनी लिमिटेडचे प्राधिकृत अधिकारी म्हणून सिक्युरिटायझेशन ॲण्ड रिकन्स्टुक्शन ऑफ फायनान्शियल ॲसेटस् ॲण्ड एन्फोर्समेंट ऑफ सिक्युरिटी इंटरेस्ट ॲक्ट, २००२ अन्वये आणि कलम १३(१२) सहवाचता सिक्युरिटी इंटरेस्ट (एन्फोर्समेंट) रूल्स, २००२ च्या नियम ३ अन्वये प्रदान केलेल्या अधिकाराचा वापर करुन सदर सूचना प्राप्त झाल्याच्या तारखेपासून ६० दिवसांत सूचनेत नमूद केलेली रक्कम चुकती करण्यासाठी . खालील नमूद कर्जदारांना मागणी सूचना जारी केल्या आहोत.

कर्जदारांनी सदरहू रक्कम चुकती करण्यास कसूर केलेली आहे म्हणून कर्जदार आणि सर्वसामान्य जनतेला सूचना याद्वारे देण्यात येते की, निम्नस्वाक्षरीकारांनी खालील नमद तारखेगेजीस सदाह अधिनियमाच्या कलम १३(X) सहवाचता सदाह नियमावलीच्या नियम ८ अन्वये त्याला /तिला प्रदान केलेल्या अधिकाराचा वापर करून खालील वर्णिलेल्या मिळकतीचा कब्जा घेतलेला आहे. विशेषत: कर्जदार अणि सर्वसामान्य जनतेला याद्वारे सावधान करण्यात येते की, त्यांनी सदरह् मिळकतीच्या देवधेवीचा व्यवहार करु नये आणि सदरह मिळकतीच्या देवधेवीचा कोणताही व्यवहार हा आयसीआयसीआय होम फायनान्स कंपनी लिमिटेडच्या प्रभाराच्या

मिळकतीचे वर्णन

कब्जाची तारीख

ж.	SIN MAINE	47-31/41/41/40	सूचनेतील रक्कम (रु.)	-11-4
१	अनमोल रतन आर शर्मा (कर्जदार), रीता शर्मा (सह-कर्जदार), एनएचबीएचयु००००८०८२९०.	फ्लॅट क्र. २२, ६वा मजला, इमारत क्र. सी११, द्वारका एमआयडीसी व्हिलेज, चाकण म्हाखुंगे, पुणे - ४११०१० (संदर्भ. लॅन क्र. एनएचबीएचयु००००८०८२९०)./ कब्जाची तारीख - १२-एप्रिल-२४	१५-०३-२०२३ इ. ६,२५,३१५/-	पुणे-बी
?	देबाशीस पातर (कर्जदार), प्रकाश दिवाण शिनगारे (हमीदार), एलएचयुएलएच००००१४१९३००.	फ्लॅट २०३ श्री हिर अपार्टमेंट, गावदेवी मंदिर रोड, आसनगाव पश्चिम, महाराष्ट्र ४२१६०१. (संदर्भ लॅन क्र. एलएचयुएलएच०००१४१९२००) सीमाबद्धता - उत्तरः मोकळी जिमन, दक्षिण : रस्ता, पूर्व : हिर प्रसाद अपार्टमेंट, पश्चिम: मोकळी जिमन./ कब्जाची तारीख - १०-एप्रिल-२४	२०-०९-२०२३ इ. ९,१४,६८५/-	डोंबिवर्ल -बी
æ	राजेश कुमार सरोज (कर्जदार), मनीष मोहनलाल कोठारी (सह- कर्जदार), एलएचव्हीएसआय००००१४११२४८.	२०३, फ्लॉट क्र. २०३, २रा मजला, विंग डी, मथुरा धाम इमारत, पडघे रोड, उमरोली पूर्व, पालघर प्रना ठाणे, महाराष्ट्र – ४०१४०४ (संदर्भ लॅन क्र. एलएचव्हीएसआय००००१४११२४८). सीमाबद्धता – उत्तर: पडघे रोड, दक्षिण: घरे, पूर्व: विंग ए, बी आणि सी, पश्चिम: मोकळा प्लॉट./ कब्जाची तारीख – १२-एप्रिल-२४	२२-१२-२०२३ इ. २६,९५,७९५/-	वसई- बी
8	राजेश कुमार सरोज (कर्जदार), मनीष मोहनलाल कोठारी (सह- कर्जदार), एलएचव्हीएसआय००००१४११२५५.	३०३, फ्लॉट क्र. ३०३, ३रा मजला, विंग डी, मथुरा धाम इमारत, पडघे रोड, उमरोली पूर्व, पालघर प्रना ठाणे, महाराष्ट्र – ४०१४०४ (संदर्भ लॅन क्र. एलएचव्हीएसआय००००१४११२५५). सीमाबद्धता – उत्तर: पडघे रोड, दक्षिण: घरे, पूर्व: विंग ए, बी आणि सी, पश्चिम: मोकळा प्लॉट./ कब्जाची तारीख – १२-एप्रिल-२४	२२-१२-२०२३ रु. ७६,५२०.७६/-	वसई- बी
ч	शेषमणी एस यादव (कर्जदार), राजकुमारी शेषमणी यादव (सह- कर्जदार), एलएचव्हीएसआय००००१४७५९८२.	४ फ्लॅट क्र. ०४, तळ मजला, डी विंग, पारस नगर फेज २ सीएचएसएल, खैरापाडा बोईसर पश्चिम, पालघर ४०१५०१ पालघर प्रना बोईसर, महाराष्ट्र ४०१५०१ (संदर्भ लॅन क्र. एलएचव्हीएसआय००००१४७५९८२) सीमाबद्धता - उत्तर: ई-विंग इमारत, दक्षिण: सी-विंग इमारत, पूर्व: रस्ता, पश्चिम: हिंदुस्तान गरेज./ कब्जाची तारीख - १२-एप्रिल-२४	२२-१२-२०२३ इ. १८,९२,२२४/-	वसई- बी
Ę	शेषमणी एस यादव (कर्जदार), राजकुमारी शेषमणी यादव (सह- कर्जदार), एलएचव्हीएसआय००००१४७५९८३.	४ फ्लंट क्र. ०४, तळ मजला, डी विंग, पारस नगर फेज २ सीएचएसएल, खैरापाडा बोईसर पश्चिम, पालघर ४०१५०१ पालघर प्रना बोईसर, महाराष्ट्र ४०१५०१ (संदर्भ लॅन क्र. एलएचव्हीएसआय००००१४७५९८३) सीमाबद्धता - उत्तर: ई-विंग इमारत, दक्षिण: सी-विंग इमारत, पूर्व: रस्ता, पश्चिम: हिंदुस्तान गरेज./ कब्जाची तारीख - १२-एप्रिल-२४	२२-१२-२०२३ इ. ९१,२३३/-	वसई- बी
G	शेषमणी एस यादव (कर्जदार), राजकुमारी शेषमणी यादव (सह- कर्जदार), एलएचव्हीएसआय००००१४७५९८४.	४ फ्लंट क्र. ०४, तळ मजला, डी विंग, पारस नगर फेज २ सीएचएसएल, खैरापाडा बोईसर पश्चिम, पालघर ४०१५०१ पालघर प्रना बोईसर, महाराष्ट्र ४०१५०१ (संदर्भ लॅन क्र. एलएचव्हीएसआय००००१४७५९८४) सीमाबद्धता – उत्तर: ई-विंग इमारत, दक्षिण: सी-विंग इमारत, पूर्व: रस्ता, पश्चिम: हिंदुस्तान गरेज./ कब्जाची तारीख – १२-एप्रिल-२४	२२-१२-२०२३ इ. ७,१८,९५४/-	वसई- बी
۷	राहिल अब्दुल रहमान सय्यद (कर्जदार), नसीम अब्दुल रहमान सय्यद (सह–कर्जदार), एलएचआरटीजी००००१४७७७२०.	रो हाऊस ए५ येथे मौजे गोवळकोट ता. चिपळूण, जि. रत्नागिरी, स. क्र. ४५, एच. क्र. ५, रत्नागिरी, महाराष्ट्र – ४१५६०५ (संदर्भ लॅन क्र. एलएचआरटीजी००००१४७७०२०). सीमाबद्धता – उत्तर: जागा आणि कंपाऊंडची भिंत, दक्षिण: मोकळी जागा आणि गेटचा	११-०१-२०२४ इ. १५,०९,३९३/-	रत्नागिरी -बी

१२-एप्रिल-२४ वरील नमूद कर्जदार/हमीदार यांना रक्कम चुकती करण्यासाठी याद्वारे ३० दिवसांची सूचना देण्यात येत आहे, अन्यथा सिक्युरिटी इंटरेस्ट (एन्फोर्समेंट) रुल्स, २००२ च्या नियम ८ आणि ९ अंतर्गत तरतुर्दीनुसार सदर सूचना प्रसिध्दी तारखेपासून ३० दिवसांच्या समाप्तीनंतर गहाण मिळकतीची विक्री करण्यात येईल.

रस्ता, पूर्व: श्री. अल्वी यांचे घर, पश्चिम: श्री. पालेकर यांचा

रो हाऊस ए५ येथे मौजे गोवळकोट ता. चिपळूण, जि. रत्नागिरी, स.

क्र. एलएचआरटीजी००००१४७८८२१). सीमाबद्धता - उत्तरः

जागा आणि कंपाऊंडची भिंत, दक्षिण: मोकळी जागा आणि गेटचा

रस्ता, पूर्व: श्री. अल्वी यांचे घर, पश्चिम: श्री. पालेकर यांचा

स. क्र. ८४ ए ३ १ स क्र. ८४ १ ए २ ३ बी २ ए १ सोलापूर -

४१३००१ च्या पैकी प्लॉट क्र. २३, ४ सेव्हन शाईन, बाले जि.

सोलापूर. सीमाबद्धता - उत्तर: रस्ता, दक्षिण: लगतची मिळकत,

पर्व: रस्ता. पश्चिम: लगतची मिळकत./ कब्जाची तारीख - १२-

फ्लॅट क्र. १०१, १ला मजला, विंग ई, इस्पित स्वीट होम १, जवाहर

नवोदय विद्यालय रोड, जुन्या सातपाटी रोडलगत, गाव शिरगाव,

पालघर पश्चिम, स. क्र. ३३२, पालघर, महाराष्ट्र ४०१४०४ (संदर्भ

लॅन क्र. एलएचएमयुएम०००००८१४५२०)./ कब्जाची तारीख -

फ्लॅट./कब्जाची तारीख - १०-एप्रिल-२४

फ्लॅट./कब्जाची तारीख - १०-एप्रिल-२४

(कर्जदार), नसीम अब्दुल रहमान सय्यद क्र. ४५, एच. क्र. ५, रत्नागिरी, महाराष्ट्र – ४१५६०५ (संदर्भ लॅन

दिनांक : एप्रिल १५, २०२४ प्राधिकृत अधिकारी आयसीआयसीआय होम फायनान्स कंपनी लिमिटेड

ठिकाण: आसनगाव, पालघर, पुणे, रत्नागिरी, सोलापूर, ठाणे

एप्रिल-२४

प्राधिकृत अधिकारी, स्टेट बँक ऑफ इंडिया

राहिल अब्दल रहमान सय्यद

एलएचआरटीजी००००१४७८८२१.

खाजप्पा बसप्पा बनसोडे (कर्जदार).

पल्लवी अरुण डोंगरदिवे (सह-कर्जदार),

एनएचएसएचआर०००००८५८३४२.

११ सचिन ए फुटाणे (कर्जदार), शीतल

सचिन फुटाणे (सह-कर्जदार),

एलएचएमयुएम०००००८१४५२०.

(सह-कर्जदार),

Date: 2.9 / 442006.

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#### ORANGEA SI

Consent No. BO/RO (P&P)/ 648

Consent to Establish is granted to

M/s. K. Raheja Pvt. Ltd.,

"Metal Box", CTS No. 2/1629 of Lower Parel Division, Plot No. 249, 249A of Worli Scheme No.52G/South Ward, Mumbal

located in the area declared under the provisions of Water Act (P&CP), 1974. Air Act (P&CP), 1981 and Authorization under the provisions of H W (M & H) Rules and amendments thereto subject to the provisions of the Acts and the Rules and the Orders that may be made further and subject to the following terms and conditions ...

The Consent to Establish is issued to M/s. K. Rahaja Pvt. Ltd.,

"Metal Box", CTS No. 2/1629 of Lower Parel Division. Plot No. 249, 249A of Worli Scheme No.52G/South Ward. Mumbai.

For development of land/plot as new construction activities named as M/s K. Raneja Pvt. Ltd., Metal Box" CTS No. 2/1629 of Lower Parel Division, Plot No. 2492249A of Worth Scheme, No 52G/South Ward, Mumbai, on 14638,91 ag mtrs including utilities and services such as residential 128 no. of flats etc. as per construction commencement certificate issued by local body.

#### 2. CONDITION UNDER WATER ACT :-

- (i) The daily quantity of (a) sewage effluent from apply construction project including (b) waste water from swimming lank/water sports shall not exceed 102.7 cubic meters per-day
- <del>(ii) -Cewage-Effluent-Treatment-:---The Applicant s</del>hall proyete a comprehensive sewage treatment plant as is warranted with reference to influent quality and corresponding mode of deposal and operate and maintain the same continuously so as to achieve the quality of treated efficient to the following standards -

PARAMETERS	Lmit	Stancar	ds for sub-	streams .
	<u></u>	(A)	(B)	Unit
pH .	In between	55 to 9	7108.5	: :
Suspended Solids	Not to exceed	100	10	mg/l
B O D. 3 days 27 C	Not to exceed	30	10	mg/l
Oil & Greasc	Not to exceed	10	NEL	mg/l
Dissolved Phosphales (as P)	. Not to exceed	.5	5	गापुरी
_ Dissolved Oxygen	Not less than	5	js .	mg/l
R_Chlorine	Not to exceed	[ D. 1	0.1	Mg/II

#### (iii) Sewage effluent Disposat:-

Domestic treated offluent shall be disposed of on land for gardening/ irrigation/ tawns/ tree-plantations within own promises. Excess treated sewage efficient shall be disposed into to under ground drainage scheme provided by local body. In no case, effluent shall find its way to any water body directly/indirectly at any time

(iv) Non-Hazardous Solid Waste:-

The total quantity shall not exceed 320. Kg per day and shall be segregated and treated as follows:-

No-	Type of Segregated solid waste	Ouantity Kg/day	Treatment	Disposal
1	, Organic	192	Invessel Composting at site only	Self-use
2	Izert	Ì	Segregation	At approved landfill
3	Paper Packing	1	Segregation	Sale
4	Rubber	116	Segrogation	AL approved landfill
5	Glass	1	Segregation	
6	Miscellaneous(STP Sludge)	10	Segregation 7	Sa sa approved landfill
			(\$( we	men'

#### 3. Other Conditions:

- All scivilies shall be in resonance with the provisions of Indian Forest Act, 1927 (18 of 1927), Porest (Conservation) Act. 1980 (69 of 1980) and Wildlife (Protection) Act. 1972 (53 of 1972), CRZ notification, and special notifications published for Dahanu, Murud Jangwa. Matheran and Mahableshwar area wherever applicable and all the Environmental Statutes and Instruments.
- This Consent to Establish is issued only for Developing Construction Project purposes.
- No quarrying activities shall be commerced in the area unless appropriate permissions are obtained for a limited. quarrying material required for construction of local residential housing and traditional road, maintenance work provided that such quarrying is not done on Forest Lands and the material is not exported to the outside larea.
- There shall be no felling of trees whether on Forest, Government, Revenue or Private lands except as per prevaring Rules.
- Extraction of Groundwater for the residential complex shall require prior permission of the State Ground Water Authority or other relevant authorities , as applicable;
- Near the activities that are related to water (like activity of water parks, water sports) and/or in the vicinity of take. Dissolved Oxygen shall not be less than 5 mg/liter.
- 7. In order to ensure that the water from this residential complex, do not enter into outside environment, the halfas crossing the township/complex premises, shall be lined, covered and made water tight by the applicant within the premises with intermittent inspection of chambers following good engineering practices as per the regulations of local body. This management shall be such as also to help in excluding the external pollutants degrading the internal environment of residential complexe.
- 8. The Applicant shall prepare management plan for water harvesting, roof-water reclamation, water/slorm water conservation and implement the same before transfilling over of complex for occupation.
- 9. The Applicant shall draw plans for the segregation of solid wastes into biodegradable and മാന-biodegradable components. The biodegradable material shall be recycled through scientific in-house composting with the approval of local body and the morganic material shall be disposed off at approved Municipal Solid Waste landfill site of local body environmentally asseptable location and method, it is clarified that the term solid waste includes: domestic, commercial, and garden wastes, but does not include hazardous and bio-medical wastes. The activities of bio-composing and engineered land fill shall be as per the ரில்வும்றவு Solid Weste ™&H) Rules, 2000
- Applicant shall be responsible to take adequate precautionary measures as detailed in this consent.
- 11 The applicant/generator shall be responsible for safe and acientific collection, transportation, treatment disposal of Bio-Medical Waste as per the provisions made under the Bio-Medical Waste (Management & Handling) Rules, 1998. Any activity as defined under BMW (M & H) Rules has to obtain a separate Authorization from Maheraehtra Pollution Control Board,
- 12. The applicant, during the construction stage shall provide.
- Septic tank and soak pit of adequate capacity for the domestic effluent generated due to workers residing at site
- Proper loading and unloading of construction material, excavated material and its proper disposal as per MSW (M&H) Rules 2000.
- KI Cutting of trees is not permitted, however in unavoidable conditions necessary permission from the local body shall. be obtained.
- Green belt of 33% of the open space shall be developed excluding lawns.
- 4. The Applicant shall comply with all the provisions of, the Water (Prevention and Control of Pollution) Cess Act, 1977 (to be referred as Cess Act) and Rules as Amended ,2003 and Rules there under :-

The daily water consumption for the following categories shall not exceed, as under

(d Domestic From ULB From other sources (In CMO) (In CMD) ÐΊ Outing construction stage 70 b) After completion 156 c) For Fire Fighting (make up water).

The Applicant shall regularly submit to the Board, the returns of water consumption in the prescribed form and pay the

Cess as specified under Section 3 of the said Act.

### 5. CONDITIONS UNDER AIR ACT :-

The Applicant may install ---- numbers of dieset generating sets (DG Sets), of capacity -----, and shall be equipped with comprehensive continuously so as to achieve the level of pollutants to the following standards:-

#### (i) Standards for emissions of air Pollutants

ij		Not to Exceed	150	mg/Nm3
<u>[ii]</u> :		Not to Exceed	50	PPM
iii)	<u>N</u> Ox	Not to Exceed	6D	PPM
(VI	802	Not to Exceed	48	Kg/8 Hrs.
	(D.G.Set)			

## (ii) The Applicant shall observe the following fuel patterns

No.	Type of Füel	Quantity	 	٠-٦
1			 	- i

# (4i) The Applicant shall erect the Chimney (a) of the following specifications

No	Chimney attached to	Height above roof level	
1.			

- a) The Applicant shall provide ports in the chimney and facilities such as ladder, platform etc for monitoring the air emissions and the same shall be open for inspection to/and for use of the Board's staff. The chimneys shall be humbered as \$-1, \$-2 etc and these shall be painted/ displayed to facilitate identification.
- b) Water spraying shall be done on ground to avoid fugline emissions.
- c) Construction material shall be carried to enclosed vehicles during construction activities
- (iv) Conditions for DG Sets :-
- 1. Noise from DG Sets shall be controlled by providing accustic renclosure or by treating the room accustically
- 2. Applicant should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room shall be designed for minimum 25 dB(A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB(A) shall also be provided. The measurement of insertion loss shall be done at different points at 0.5 meters from acoustic enclosurer room and then average.
- The Applicant should make efforts to bring down noise level due to DG Set, outside the promises, with ambient noise level requirements by proper setting and control measures.
- Installation of DG Set must be strictly in compliance with recommendations of DG set manufacturer;
- A proper routine and preventive maintenance procedure for DG Set shall be set and followed in consultation with the DG manufacturers, which would help to prevent noise sevets of DG Sets from deteriorating with use
- 6 The DG set shall be operated only in case of power failure. The applicant shall make arrangement to regular electrical power.
- 7 The Applicant shall not cause any nuisance in the surrounding area due to operation of DG sets.
- 8. In case of problems, the D.G. set shall not be operated until it is set back to satisfactory position

### (v) Conditions For Utilities like Kitchen, Eating Places etc., :-

- 1 The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting
- The lorlet shall be provided with exhaust system connected to chimney through ducting.
- The air conditioner shall be vibration proof and the noise shall not exceed 68 dB (A).
- 4. The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air is such way that no nursance is caused to neighbors.
- (i) The Applicant shall take adequate measures for control of noise levels from its own sources within the complex (residential cum Commercial) in respect of noise to less than 55 dB(A) during day time and 45 dB(A) during the night time. Day time is reckoned as between 6 a.m. to 10 p.m. and night time is reckoned between 40 p.m. to 6 a.m.
- (ii) Construction equipments generating noise of less than 65/90 db(A) are permitted.
- (iii) No construction work is permitted during night time.



#### CONDITIONS UNDER HW (M & H) & AMENDMENT RULES 2003

The Applicant shall not generate or handle any hazardous waste

- 7. The proposed activity comes under Entry 31 (New Construction Project) listed in schedule 1 of the HIA Notification dated January 27, 1994 (as amended till date) issued by Ministry of Environment & Forest, Govt, of India, New Delhi and therefore, Environmental Clearance from Govt, of India (MoEF) shall be required as per conditions in the amended EIA Notification dated July 07, 2004.
- 6. The applicant shall certify that the bricks used in construction are manufactured using the ash from Thermal Power stations if it is within a radius of 100 km, from Thermal Power Plant and submit the names of bricks manufacturer.
- This "Consent to Establish" is issued subject to the planning permission and permission for non-agricultural (N.A.) use from the Competent Authority.
- The applicant shall obtain Environmental Clearance from McEF, GOI before taking any steps to develop/ start construction the site.
- The applicant shall not-handover the residential complex unless obtain Consent to Operate/NOC from Maharashtra Pollution Control Board and compliance of Environment Clearance granted by MoEF Government of India.
- 12. The applicant shall take the proper remediation measures to ensure that the ground water and soil contamination is prevented and follow due difigence at the construction stage.
- 13. This Board reserves the right to amend or add any conditions in this consent and the same shall be binding on the Applicant;
- This consent is issued with the post facto approve of the consent appraisal committee.

For and on behalf of the Maharashtra Pollution Control Board

(Dr. D.B. Boralkar) Member Secretary

To M/s. K. Raheja Pvt, Ltd., "Metal Box", CTS No. 2/1629 of Lower Parel Division, Plot No. 249, 249A of Worli Scheme No.62G/South Ward, Mumbel.



Copy forwarded with complements to

1. The Collector, Mumbai (City).

Copy to

- Regional Officer, MPCB, Mumbal.
- Sub Regional Officer MPCB, Mumbai-L.
- Chief Accounts Officer, MPCB, Mumbai.

Received consent fee of

Amount	DD No.	Date	Drawn on
Rs. 1,01,690/-	096039	14.07.2006	UTI Bank

- 4. Cess Branch, MPCB, Mumbai.
- Master fite.
- 6 EIC, M.P.C.Board, Mumbai



# MAHARASHATRA POLLUTION CONTROL BOARD

Phone :

022 -22640345

Fax

022-22640345

Shri Chatrapati Shivaji Maharaj Municipal Market Building 4th floor, Mata Ramabai Ambedkar Road

Mumbai - 400 001

Email

sromumbai 1@mpcb.gov.in

Visit At :

http://mpcb.gov.in



EIC No. MU-3025/11 Infrastructure/Orange/L.S.I.

Consent No. BO/RO(HO)/CO/CAC- 323

Date: 28 Feb/2012_

Consent to Establish under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 5 of the Hazardous Wastes (Management, Handling & Transboundry Movement) Rules 2008

CONSENT is hereby granted to

M/s. K. Raheja Pvt. Ltd. C.S. No. 2/1629, Plot No. 249 & 249A of Worli Scheme No. 52, Lower Parel Division, G/S Ward, Worli, Mumbai

located in the area declared under the provisions of the Water Act. Air act and Authorization under the provisions of HW(M&H) Rules and amendments thereto subject to the provisions of the Act and the Rules and the Orders that may be made further and subject to the following terms and conditions:

1. The Consent to Establish is valid up to Commissioning of the Project or 5 years whichever is earlier.

For development of land/plot as new construction activities for construction of project on total plot area of 14,638.91 Sq mtrs and total Built up area as per FSI 29,435.93 Sq mtrs, total construction area of 1,20,129.17 Sq mtrs including utilities and services such as per construction commencement certificate issued by local body.

### The Consent is valid –

Sr. No.	Product Name	Built Up area	Total Construction area	UOM
1	Residential Building	29,435.93	86839.67	Sq. mtrs.
2	MCGM Car Parking	419	33,289.50	Sq. mtrs.
	Total		1,20,129.17	Sq. mtrs.

## 3. CONDITIONS UNDER WATER ACT:

(i) The daily quantity of trade effluent from the factory shall be Nil.

(ii) The daily quantity of sewage effluent from the factory shall not exceed 88.20 M3.

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(iii) Sewage Effluent Treatment: The applicant shall provide comprehensive treatment system as is warranted with reference to influent quality and operate and maintain the same continuously so as to achieve the quality of treated effluent to the following standards.

1	pH	Not to exceed	105 4- 00
3 4	Suspended Solids	Not to exceed	6.5 to 9.0
4	BOD 3 Days 27 degree C	Not to exceed	100 mg/l.
5 6 7	Fecal Coliform	Not to exceed	100 mg/l. 500/100/1 mg/l.
6	Residual Chlorine	Not to exceed	01 mg/L
7	Detergent	Not to exceed	01 mg/l.
8	Floating matters	Not to exceed	10 mg/l

(vi) Sewage Effluent Disposal: The treated domestic effluent shall be 80% recycled and reused for flushing, fire fighting and cooling of Air conditioners etc. In no case, effluent shall find its way to any water body directly/indirectly at any time.

Project proponent shall operate STP for five years from the date of obtaining Occupation Certificate.

(vii) Non-Hazardous Solid Wastes:

Sr. No.		Quantity	UOM	Treatment	Disposal
2	Municipal Solid Wasti Non Biodegradable	229.5	Kg/Day		Local Body
-3	STP sludge		10 100		
	STF Siddige	- T	Kg/M	44	used as manure

(viii)Other Conditions (during Construction Phase):

 All activities shall be in resonance with the provisions of Indian Forest Act. 1927 (16 of 1927), Forest (Conservation) Act, 1980 (69 of 1980) and Wildlife (Protection) Act, 1972 (53 of 1972), and special notification published for area wherever applicable and all the Environmental Statutes and Instruments.

2. This Consent to Establish is issued only for New Construction/Developing

Construction Project purposes.

3. No quarrying activities shall be commenced in the area unless appropriate permissions are obtained for a limited quarrying material required for construction of local residential housing and traditional road maintenance work, provided that such quarrying is not done on Forest Lands and the material is not exported to the outside area.

4. There shall be no felling of trees whether on Forest, Government, Revenue

or Private lands except as per prevailing Rules.

5. Extraction of Groundwater for the project shall require prior permission of the State Ground Water Authority or other relevant authorities, as applicable.

6. Near the activities that are related to water (like activity of water parks, water sports) and/or in the vicinity of lake, Dissolved Oxygen shall not be

less than 5 mg/liter.

7. In order to ensure that the water from this project do not enter into outside environment, the nallas crossing the township/complex premises, shall be lined, covered and made water tight by the applicant within the premises with intermittent inspection of chambers following good engineering practices as per the regulations of local body.

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 The Applicant shall prepare management plan for water harvesting, roofwater reclamation, water/storm water conservation and implement the same before handling over of complex for occupation.

Applicant shall provide fixtures for showers, toilet, flushing and drinking should be of low flow either by use of aerators or pressure reducing devices

or sensor based control.

10. The Applicant shall draw plans for the segregation of solid wastes into biodegradable and non-biodegradable components. The biodegradable material shall be recycled through scientific in-house composting (i.e vermi-composting facility within premises) with the approval of local body. The proper demarked area shall be identified for collection & storage of MSW properly which, shall be finally disposed off at approved Municipal Solid Waste landfill site of local body environmentally acceptable location and method. It is clarified that the term solid waste includes domestic, commercial, and garden wastes, but does not include hazardous and biomedical wastes. The activities of bio-composting and engineered landfill shall be as per the Municipal Solid Waste (M&H) Rules, 2000

 Applicant shall be responsible to take adequate precautionary measures as detailed in this consent.

- 12. The applicant/generator shall be responsible for safe and scientific collection, transportation, treatment and disposal of Bio-Medical Waste as per the provisions made under the Bio-Medical Waste (Management & Handling) Rules, 1998. Any activity as defined under BMW (M & H) Rules has to obtain a separate Authorization from Maharashtra Pollution Control Board.
- For disinfections of waste water ultra violet radiation shall be used in place of chlorination.
- Vehicles hired for construction activities should be operated only during non peak hours.
- Ready mixed concrete used in building construction should apply separately for consent from the Board.

16. applicant, during the construction stage shall provide

- Septic tank and soak pit of adequate capacity for the domestic effluent generated due to workers residing at site.
- Proper loading and unloading of construction material, excavated material and its proper disposal as per MSW (M&H) Rules 2000.
- c. Cutting of trees is not permitted, however in unavoidable conditions necessary permission from the local body shall be obtained.

d. Green belt of 33% of the open space shall be developed.

17. E-Waste shall be disposed to authorized re processor.

### The applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Cess Act, 1977 (to be referred as Cess Act) and amendment Rules, 2003 there under

The daily water consumption for the following categories is as under:

(i) Domestic ... 120.50 CMD

(ii) Water gets Polluted & Pollutants are Biodegradable ... 0.00 CMD

(iii) Water gets Polluted, Pollutants are not Biodegradable & Toxic ... 0.00 CMD (iv) Industrial Cooling, spraying ... 0.00 CMD

The applicant shall regularly submit to the Board the returns of water consumption in the prescribed form and pay the Cess as specified under Section 3 of the said Act.

SRO Mumbai Flnd/Red/L-S.I/01059061

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# 5. CONDITIONS UNDER AIR (Prevention & Control of Pollution) ACT, 1981:

(i) The Applicant may install 3 nos. of diesel generating sets (DG Sets), of capacity 1010 x 2 KVA, 200 KVA, and shall be equipped with comprehensive control system as is warranted with reference to generations of emissions and operate and maintain the same continuously so as to achieve the level of pollutants to the following standards:

# a. for Emissions of Air Pollutants:

- (i) SPM/TPM Not to exceed 150 mg/Nm3 (ii) SO2 (DG Set) Not to exceed 2.0 Kg/day
- (ii) The following measures shall be taken:
  - Adequate mitigation measures shall be taken to control emissions of SO2, NOx, SPM, and RSPM.
  - b. Applicant shall achieve following Ambient Air Quality standards.
  - SPM Not to Exceed (Annual Average) 1. 140 ng/ m3 Not to Exceed (24 hours) 200 µg/m3 SO2 Not to Exceed (Annual Average) 2 60 µg/ m3 Not to Exceed (24 hours) 80 ug/m3 NOx Not to Exceed (Annual Average) 3 60 ag/m3 Not to Exceed (24 hours) 80 µg/m3 RSPM Not to Exceed (Annual Average) 4. 60 µg/ m3 Not to Exceed (24 hours) LOO 11g/ m3

# (iii) The applicant shall observe the following fuel pattern:-

Sr. No. Type Of Fuel	Quantity	UOM
1 HSD	205	Ltrs./day

(iv) The applicant shall erect the chimney(s) of the following specifications:-

Sr. No.	Chimney Attached To	Height in Mtrs
1	D.G. Set	2.2
		1 1111

- (v) Conditions for D.G. Set
  - Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
  - 2. Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average:
  - The industry shall take adequate measures for control of noise levels from its own sources within the premises in respect of noise to less than 75 dB(A) during day time and 70 dB(A) during the night



time. Day time is reckoned between 6 a.m. to 10 p.m and night time

is reckoned between 10 p.m to 6 a.m.

4. Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper sitting and control measures.

5. Installation of DG Set must be strictly in compliance with

recommendations of DG Set manufacturer.

6. A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.

D.G. Set shall be operated only in case of power failure.

8. The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.

#### (vi) Other Condition

a) The applicant shall provide ports in the chimney/(s) and facilities such as ladder, platform etc. for monitoring the air emissions and the same shall be open for inspection to/and for use of the Board's Staff. The chimney(s) vents attached to various sources of emission shall be designated by numbers such as S-1, S-2, etc. and these shall be painted/ displayed to facilitate identification.

b) Water spraying shall be done on ground to avoid fugitive emissions.

c) Construction material shall be carried in enclosed vehicles during constriction activities.

# (vii) Conditions for Utilities like Kitchen, Eating Places etc.

1. The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.

The toilet shall be provided with exhaust system connected to chimney through ducting.

3. The air conditioner shall be vibration proof and the noise shall not exceed 68 dB (A).

4. The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs, higher than the nearest tallest building through ducting and shall discharge into open air in such way that no nuisance is caused to neighbors.

(viii) The Applicant shall take adequate measures for control of noise levels from its own sources within the complex (residential cum Commercial) in respect of noise to less than 55 dB(A) during day time and 45 dB(A) during the night time. Daytime is reckoned as between 6 a.m. to 10 p.m. and Nighttime is reckoned between 10 p.m. to 6 a.m.

(ix)Construction equipments generating noise of less than 65/90 db(A) are permitted

(x) No construction work is permitted during night time.

# 6. CONDITIONS UNDER HAZARDOUS WASTE (MANAGEMENT, HANDLING & TRANSBOUNDRY MOVEMENT) RULES, 2008:

The Industry shall not generate any hazardous waste.

7. The applicant shall certify that the bricks used in construction are manufactured using the ash from Thermal Power stations if it is within a radius of 100 km. from Thermal Power Plant and submit the names of bricks manufacturer. The applicant shall use fly ash based material/products as

SRO Mumbai I/Ind/Red/L.S.1/01059061

- per the provisions of fly ash Notification of 14.09.1999 and as amended on 27.08.2003.
- The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.
- The applicant shall adopt environment friendly technology in development of the project.
- 10.The applicant shall comply with the conditions stipulated in the Environmental Clearance granted by Env. Dept. Govt. Of Maharashtra, vide No.SEAC-2010/CR.323/TC.2 dt. 22/07/2011.
- 11. The applicant shall take the proper remediation measures to ensure that the ground water and soil contamination is prevented and follow due diligence at the construction stage.
- 12.Energy conservation measures like installation of solar panels for lighting the area outside the building should be integrated part of the project design.
- 13. This Board reserves the right to amend or add any conditions in this consent and the same shall be binding on the Applicant.
- 14. This consent shall not be construed as exemption from obtaining necessary NOC from any other Government agencies as may deemed fit necessary.
- 15.The applicant shall submit a Bank Guarantee of Rs.10,00,000/- (Rupees ten lacs only) within 15 days for compliance of the consent conditions.
- 16. This is issued with the approval of Consent Appraisal Committee of the Board in its meeting held on  $14^{th}$  February 2012

17. The Capital investment of the industry is Rs. 56500 Lacs.

(Milind Mhaiskar_{stss}) Member Secretary

To.

M/s. K. Raheja Pvt. Ltd.

C.S. No. 2/1629, Plot No. 249 & 249A of Worli Scheme No. 52,

Lower Parel Division, G/S Ward,

Worli, Mumbai

Copy to:

a. RO-Mumbai/SRO-Mumbai-I

b. CAO/Cess Branch/Master File

Received Consent fee of -

	Consent fee of		THE REAL PROPERTY AND INCIDENCE AND INCIDENCE.	D. C.
Sr. No.	Amount(Rs.)	DD. No.	Date	Drawn On
1	1130100	090381	21 Oct 2011	Axis Bank
1	1100100	Benner		

### MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/ 24010437

Fax: 24023516

Website <a href="http://mpcb.gov.in">http://mpcb.gov.in</a> E-mail: <a href="cac-cell@mpcb.gov.in">cac-cell@mpcb.gov.in</a>



Kalpataru Point, 2nd - 4th Floor Opp. Cine Planet Cinema, Near Sion Circle, Sion (E) Mumbai-400 022

Consent order No: - BO/CAC-cell/CE(Reval)/CAC 1702000695
Date- 14102/2017

To.

M/s. K. Raheja Private Ltd.,

CS No. 2/1629 Lower Parel Division, Plot No 249 & 249A Worll, Mumbal

Subject: Amendment and Revalidation in consent to establish for Construction of Residential building and Multi Storied Public Parking Lot building project under ORANGE category.

Ref

- Environmental Clearance granted by Environment Department, GoM vide no. No. SEAC-2010/CR-323/TC.2 dated 22.07.2011, and EC amendment granted vide SEAC-2010/CR-323/TC.2 dated 11 06.2014.
- 2) Consent to Establish granted by Board vide no BO/RO(HQ)/CO/CAC 323 dated 28.02.2012
- 3) Your Application approved in 5th CAC meeting of 2016-17 (2nd sitting) held on 08.12.2016

Your application MPCB-CONSENT-0000011646

Oated: 11.08.2016

For: Amendment and Revalidation in consent to establish for Construction of Residential building and Multi-Sturied Public Parking Lot building project

under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization under Rule 6 of the Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I, II, III & IV annexed to this order

- The Amendment and Revalidation in Consent to Establish is granted for a period up to: commissioning of the project or upto 28.02.2022 whichever is earlier.
- The proposed capital investment of the project is Rs. 750.17 crs (As per documents submitted by applicant).
- The Amendment and Revalidation in consent to establish is valid for Construction of Residential building and MultiStoried Public Parking Lot building project of M/s. K. Raheja Private Ltd., CS No. 2/1629 Lower Parel Division, Plot No 249 & 249A Worli, Mumbai on Total Plot area of 14,638.91 sq.m. and total Construction BUAof 1,29,818.90 sq.m. as per amended EC dtd. 11.06.2014, including utilities and services as per construction commencement certificate issued by local body.

Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr. no.	Description	Permitted quantity of discharge (CMD)	Standards to be achieved	Disposal
1.	Trade effluent	Nil	NA	N.A.
2.	Domestic effluent	85.5	As per Schedule –I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and

M/s K. Paheja Private ud.

and Marie

Page Lof #

remaining	shall	be 1	used (	on land	for
gardening	and	cor	nnecte	d to	the
sewerage s	ystem	přovi	ided b	y local b	ody

5. Conditions under Air (P& CP) Act, 1981 for air emissions:

Sr. No.	Description of stack/ source	Number Of Stack	Standards to be achieved
1	DG Set (2x1010 kVA), (1 x 200 kVA)	3	As Per Schedule -II

Conditions under Municipal Solid Waste (Management and Handling) Rule, 2000 :

Sr. No.	Type Of Waste	Quantity	Treatment	Disposal
1	Wet Garbage	13S Kg/day	Organic Waste Convertor (OWC)	use as manure
2	Dry Garbage	84 kg/day		Hand over to local body or sale for recycle
3	STP sludge	As actual kg/day	-	use as manue

7. Conditions under E-Waste (Management and Handling) Rule,2011:

Sr. No.	Type Of Waste	Quantity	Treatment	Disposal
1	E-waste	AS actual in T/A	Nil	Through authorized recyclers

Conditions under Hazardous and Other Wastes (Management and Transboundary Movement)
 Rules, 2016 for treatment and disposal of hazardous waste

Sr. No.	Type Of Waste	Quantity	UOM	Treatment	Disposal
1	NII		_	-	-

- The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- This consent should not be construed as exemption from obtaining necessary NOC/permission from any
  other Government authorities.
- 11. Applicant shall submit an affidavit in prescribed format regarding compliance of conditions of EC and Consent to Establish.
- 12. Consent to establish is being issued without prejudice to the orders passed/ being passed by the Hon'ble High Court.
- MCGM shall comply with the order passed and being passed in PIL No. 217 of 2009 by the Hon'ble High Court, Mumbal.
- 14. The applicant shall comply with the conditions stipulated in Environmental Clearance granted by Environment Department, GoM vide no. No. SEAC-2010/CR-323/TC.2 dated 22-07-2011, and EC amendment granted vide SEAC-2010/CR-323/TC.2 dated11-06-2014.
- This is issued as per the Office Order issued by Environment Department, GoM vide no. 2017/P.K.26/Establishment dated 23.01.2017.

For and on behalf of the Maharashtra Pollution Control Board

(P.K. Mirashe)

Assistant Secretary (Technical)

#### Received Consent fee of -

MECHERA	En Fraigettrace	UI -				
Sr. No.	Dr.No.	Bank Name	Transaction Type	Amount	Received date	
1	0171773	Axis bank	HTGS	15,00,400/-	30.08.2016	

Copy to.

- 1. Regional Officer, MPCR, Mumbai and Sub-Regional Officer, MPCR, Milmbai-I
  - They are directed to ensure the compliance of the consent conditions.
- 2. Chief Accounts Officer, MPCB, Mumbai
- CC/CAC desk- for record & website updation purposes.

#### Schadule-I

### Terms & conditions for compliance of Water Pollution Control:

- A) As per your application, you have proposed to install Sewage Treatment Plants (STPs) of total capacity 100 CMD based on MBBR Technology.
  - B) The Applicant shall operate the effluent treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr No.	Parameters	Standards prescribed by Board
		Limiting Concentration in mg/l, except for pH
01	BOD (3 days 27°C)	10
02	Suspended Solids	10
EQ	COD	50
04	Residual Chlonne	1ppm O

- C) The treated effluent shall be 60% recycled for secondary purposes such as tollet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be used on land for gardening and connected to the sawerage system provided by local body. In no case, effluent shall find its way to any water body directly/indirectly at any time. Project proponent shall provide flow meter to ensure 60% recycling of treated sewage and shall maintain the record with data logging system.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) In case, the water consumption of the project is not covered under the water consumption of local body, in that situation, the project proponent shall submit the CESS Returns in the prescribed format given under the provision of Water (Prevention & Control of Pollution) Cess. Act, 1977 and Rules made there under for various category of water consumption.

In case the water consumption is duly assessed under the quantity of water consumption of local body, the project proponent shall submit certificate to that effect from the concern local body with the request not to assess CESS on their water consumption, being already assessed on the water consumption of local body.

Sr. no.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	**
2,	Domestic purpose	100
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	Nil
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	Nil

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Page 3 of 6

#### Schodule-II

# Terms & conditions for compliance of Air Pollution Control:

 As per your application, you have proposed to install the Air pollution control (APC)system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Sr. No.	Stack Attached To	APC System	Height in Mtrs.	Type Of Fuel	Quantity and	5%
1	DG Set (2×1010 KVA),	Acoustic enclosure	6.3° each	HSD	@ 0.21 liters/hr/kVA at	1
2	D.G. Set (1 x 200 KVA)	Acoustic enclosure	2.8*		full load.	

^{*} Above roof of the building in which it is installed.

The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

	Particulate	Not to exceed	150 mg/Nm ³ .	10	1
3	matter			01	

- The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement alteration well before its life come to an end or crection of new pollution control equipment.
- 4 The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation [including the change of any control equipment, other in whole or in part is necessary).

#### Schedule-III **Details of Bank Guarantees**

#### PP shall extend the BG as below:

Sr. No.	Consent (C to E/O/R)	Amt of BG Imposed	Submission Period**	Purpose of BG #	Compliance Period	Validity++
1	Consent to Establish	Rs. 25 lakh	15 days from date of issue of consent	Towards compliance of EC and Consent to Establish condition	COU or 5 years whichever is earlier	Validity of this consent + 4 months

- The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.
- The Bank Guarantee(s) shall be valid for a period upto: Validity of consent + 4 months
- Existing BG obtained for above purpose if any may be extended for period of validity as above. þ Nata Stra Pollytion

#### Schedule-IV

Conditions during construction phase:

a	a	Ouring construction phase, applicant shall provide temporary sewage disposal and MSW facility for staff and worker quarters.
10	b	During construction phase, the ambient air and noise quality should be closely monitored to achieve Ambient Air Quality Standards and Moise by the project proportion through MoEF approved laboratory.
	۲	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

#### General Conditions:

 The applicant shall provide totality for collection of samples of sewage effluents, air emissions and hazardous waste to the Goard staff or the Terminal or designated points and shall pay to the Board for the services rendered in this behalf.

2) The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and Environmental Protection Act, 1986 and Municipal Solid Waste [Management & Handling] Rule 2000, Noise (Pollution

and Control) Rules, 2000 and E. Worte (Management & Handling Rule 2011.

3) Orainage system shall be provided for collection of sewage officents. Terminal manholds shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstroom of the terminal manholds. No sewage shall find its way other than in designed and provided collection system.

4) Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak

hours.

5) Conditions for D.G. Set

a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating

the room acoustically.

b) Applicant should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.

Applicant should make efforts to bring down noise level due to DG set, outside their premises,

within ambient noise requirements by proper sitting and control measures.

d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.

e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deterior ling with use.

D.G. Set shall be operated only in case of power failure.

ξ) The applicant should not cause any mulsome in the surrounding area due to operation of D.G. Set

h) The applicant shall comply with the notification of MoEF dated 17.05 2002 regarding noise limit for generator sets run with diese!

6) Solid Waste – The applicant shall provide onshe municipal solid waste processing system & shall comply with Municipal Solid Waste (Management & Handling) Rule 2000 & E-Waste (M & H) Rule 2011.

 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.

Applicant shall submit official e-mail address and any change will be duly informed to the MPC3.

The treated sewage shall be disinfected using suitable disinfection method

10) The firm shall submit to this office, the 30th day of September overy year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.

11) The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before

commissioning of the project.

Page 6 of 6

### MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/ 24010437

Fax: 24023516

Website: http://mpcb.gov.in E-mail: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd - 4th Floor Opp. Cine Planet Cinema, Near Sion Circle, Sion (E) Mumbai-400 022.

Consent order No: - Format1.0/BO/CAC-cell/UAN No. 0000028220/CE (Exp) & Amalgamation/CAC- 180800065-7
Date- 16108 2018

To,

M/s. K. Raheja Pvt. Ltd. CS no. 2/1629 & 1A/1629 of Lower Parel division, Plot no. 249 & 249A, 248 B of Worli estate scheme no. 52 Lower Parel, Worli Mumbai.

Subject: Consent to establish for expansion and amalgamation with existing Consent to establish in RED Category.

Ref :: 1. Environmental Clearance accorded by Env. Dept, GoM vide No.SEAC-2010/C.R.323/TC.2 dated 22.7.2011 and amendment in Environment Clearance accorded by Env. Dept, GoM vide No.SEAC-2010/C.R.323/TC.2 dated 11.6.2014.

- 2. Consent to Establish vide no.BO/RO(HQ) /CO/CAC-323 dated 28.2.2012.
- Amendment and Revalidation in Consent to Establish vide no.BO/CAC-Cell/CE(Revalid)/CAC-1702000695 dated 14.2.2017.
- 4.Amendment in Environmental Clearance accorded by Env.Dept, GoM vide No.SEAC-2016/C.R.424/TC.I dated 12.5.2017.
- 5. Minutes of Consent Appraisal Committee (CAC) meeting held on 27.3.2018

Your application No . 0000028220 Dated 9.6:2017

For: Consent to establish for expansion and amalgamation with existing Consent to Establish, under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization under Rule 6 of the Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I, II, III & IV annexed to this order:

- The Consent to establish for expansion and amalgamation with existing Consent to establish is granted for a period upto commissioning of the project or upto 28.2.2022 whichever is earlier.
- The capital investment of the project for expansion is Rs. 455.95 Crs and existing C to E of earlier issued Consent to Establish by Board dated 14.2.2017 is 750.17 Cr(As per undertaking submitted by project proponent).
- 3. The Consent to Establish for expansion (for residential and car parking) Sq. mtrs. and amalgamation with existing consent to establish for project named as M/s. K. Raheja Pvt. Ltd. CS no. 2/1629 & 1A/1629 of Lower Parel div. plot no. 249 & 249A, 248 B of Worli estate scheme no. 52 Lower Parel, Worli, Mumbai for Total plot area 20,117.27 sq. mtrs and total construction BUA area 1,59,739.22 sq.mtrs (ie. additional BUA- 29,920.52 ; C to E for expansion + 1,29,81.90 Sq.Mtrs : as per existing C to E dated 14.2.2017) as per Environmental Clearance dated 12.5.2017 including utilities and services.

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4. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Cor ir.	Description	Permitted Standards quantity of to be discharge achieved		Disposal	
		(CMD)		NA	
1.	Trade effluent	NIL	NA	(87)	
000				The treated domestic effluent shall be 60%	
2.	Domestic effluent	97	As per Schedule –I	recycled for secondary purposes and remaining shall be utilized on land for gardening.	

Conditions under Air (P& CP) Act, 1981 fo Description of stack/ source	Number Of Stack	Standards to be achieved	
r. Description of stacky John L.		As Per Schedule -II	
DG set (2000 KVA)	1	As Per Schedule -II	
2 DG set (500 KVA)	West of the second	00,	

Conditions under Municipal Solid Waste (Management and Handling) Rule, 2000;

	Type Of Waste	Quantity	Treatment	Disposal
0.		a so Va/Day	OWC	Used as Manure
	Biodegradable	240 Kg/Day		10,
	200000		-	Segregate and Hand over to Local
2	Non-Biodegradable	160 Kg/day	(	Body for recycling

7. Conditions under Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 for treatment and disposal of hazardous waste

Rules, 2016 for treatmen	nt and disposar or in	UOM	Treatment	Disposal
r. Type Of Waste	Quantity	Quantity UOM	- Herrican Control	<b>的一种一种一种</b>
Vo.		NIL		

- 8. The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- 9. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
- 10. PP shall submit an undertaking in prescribed format regarding compliance of conditions of EC and Consent to Establish condition.
- 11. PP shall submit an undertaking regarding the area for which expansion of Consent to Etablish application is made is included in Environment Clearance.
- 12. PP shall install online monitoring system for parameters BOD, TSS, flow at the outlet of STP and shall be connected to MPCB Server.
- 13. PP shall install organic waste digester along with composting facility/biodigester (biogas) with composting facility to treat the biodegradable MSW.
- 14. PP has submitted Approval letter from the MCGM vide No. EX.ENG/SWM/000360/2018/G/S/CTY -dated 23.5.2018 for construction and demolition waste management plan for the said site in respect of order passed or being passed by the Hon'ble Supreme Court of India in special leave petition (Civil No. D23708/2017) dated 15.3.2018.

M/s. K. Raheja Pvt. Ltd/UAN 0000028220

Page 2 of 8

- 15. PP shall not dispose off any construction debris to the Deonar and Mulund Dumping sites.
- 16. This consent is issued without prejudice to the order passed or being passed by the Hon'ble Supreme Court of India in special leave petition (Civil No. D23708/2017).
- 17. PP shall comply conditions stipulated in Environmental clearance issued by GoM Environment Clearance accorded by Env. Dept, GoM vide No.SEAC-2010/C.R.323/TC.2 dated 22.7.2011 and amendment in Environment Clearance accorded by Env. Dept, GoM vide No.SEAC-2010/C.R.323/TC.2 dated 11.6.2014 and Amendment in Environment Clearance accorded by Env. Dept, GoM vide No.SEAC-2016/C.R.424/TC.I dated 12.5.2017 .
- 18. This consent is issued with overriding effect to existing amendment and revalidation Consent to Establish issued by Board vide No. 3. in Consent to Establish vide no.BO/CAC-Cell/CE(Revalid)/CAC-1702000695 dated 14.2.2017

For and on behalf of the Maharashtra Pollution Control Board

Member Secretary

#### Copy to:

- Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai-I.
  - They are directed to ensure the compliance of the consent conditions.
- Chief Accounts Officer, MPCB, Mumbai.
- CC/CAC desk- for record & website updation purposes.

#### Schedule-I

### Terms & conditions for compliance of Water Pollution Control:

- A] As per your application, you have proposed to provide provided 2 Nos of Sewage Treatment Plants (STP) of capacity 125 CMD for residential building and 10 CMD for car parking.
- 2) B] The Applicant shall operate the effluent treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

B] The Applicant shall operate the Sewage Treatment Plant (STP) to treat the sewage so as to achieve the following standards/ prescribed under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr.	Parameters	Standards prescribed by Board Limiting Concentration in mg/l, except for pH		
No.				
01	рН	6.5 to 9		
02	BOD (3 days 27°C)	20 00		
03	Total Suspended Solids(TSS)	50		
04	COD	100		
05	Residual Chlorine	1 pom		
06	Detergent	(3)		
07	Fecal Coliform(FC)	<b>\$1000</b>		

- 3) C] The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to the sewerage system provided by local body. In no case, effluent shall find its way to any water body directly/indirectly at any time. Project proponent shall provide flow meter to ensure 60% recycling of treated sewage and shall maintain the record with data logging system. PP shall achieve the treated domestic effluent standard for the parameter BOD- 10 mg/lit within 6 months period and PP shall install online monitoring system for parameters BOD, TSS; flow at the outlet of STP and shall be connected to MPCB Server.
- 4) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 5) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.

6) The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution )Act, 1974 and as amended, and other provisions as contained in the said act.

1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	113
2. 3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

M/s. K. Raheja Pvt. Ltd/UAN 0000028220

Page 4 of 8

#### Schedule-II

## Terms & conditions for compliance of Air Pollution Control:

 As per your application, you have proposed to installed the Air pollution control (APC) system and also erected following stack (s) and to observe the following fuel pattern-

Sr. No.	Stack Attached To	APC System	Height in Mtrs.	Type of Fuel	Quantity & UoM
	DG set ( 2000 KVA)	Acoustic Enclosure	10.0*	Diesel	505 Ltr/Hr
02.	DG set ( 500 KVA)	Acoustic Enclosure	10.0*	Diesel	125 Ltr/Hr

^{*} Above roof of the building in which it is installed.

The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Particulate matter	Not to exceed	150 mg/Nm ³	
		7/	

- The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement alteration well before its life come to an end or erection of new pollution control equipment.
- 4. The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

  **The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

  **The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

  **The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

  **The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

  **The Board reserves its rights to vary all or any other in the consent of the condition of the conditi

# Schedule-III Details of Bank Guarantees

### Project Proponent shall extend the Bank Guarantee as below:

Sr. No.	Consent (Renewal Of C to O)	Amt BG Impos	of ed	Submission Period**	Purpose of 8G #	Compliance Period	Validity
1	Consent to establish for expansion and amalgamation with existing Consent to Establish.	Rs. Lakh*	25	Extend existing BG of Rs, 25 Lakh	Towards compliance of EC and C to E Condition.	COU or 28.2.2022 whichever is earlier	Validity of Consent+ 4 months

- * The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.
- ++ The Bank Guarantee(s) shall be valid for a period upto: Validity of consent + 4 months

Mahahashtra Pollitil

# Existing BG obtained for above purpose if any may be extended for period of validity as above.

#### Schedule-IV

Conditions during construction phase:

3	During construction phase, applicant shall provide temporary sewage disposal and MSW facility for staff and worker quarters.
b	During construction phase, the ambient air and noise quality should be closely monitored to achieve Ambient Air Quality Standards and Noise by the project proponent through MoEF approved laboratory.
c	Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

#### General Conditions:

- The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2) The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act,1981 and Environmental Protection Act 1986 and Municipal Solid Waste (Management & Handling) Rule 2000, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011.
- 3) Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4) Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5) Conditions for D.G. Set
  - Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
  - b) Applicant should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
  - Applicant should make efforts to bring down noise level due to DG set, outside their premises, within ambient noise requirements by proper sitting and control measures.
  - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
  - A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
  - D.G. Set shall be operated only in case of power failure.
  - The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
  - The applicant shall comply with the notification of MoEF dated 17.05.2002 regarding noise limit for generator sets run with diesel.
- 6) Solid Waste The applicant shall provide onsite municipal solid waste processing system & shall comply with Municipal Solid Waste (Management & Handling) Rule 2000 & E-Waste (M & H) Rule 2011.
- Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.

Im

- Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- The treated sewage shall be disinfected using suitable disinfection method.
- 10) The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.

11) The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.

Maharashtra Pollution Control Boat



# Maharashtra Pollution Control Board

# 5de7464e0605292ea96e95ec

**ANNEXURE VIII E** 

# MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437 Fax: 24023516 Website: http://mpcb.gov.in Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and 4th floor, Opp. Cine Planet Cinema, Near Sion Circle, Sion (E), Mumbai-400022

No:- Format1.0/CAC-CELL/UAN No.0000076911/CE 1912000103

Date: 04/12/2019

To,

M/s K. Raheja Pvt. Ltd.,

CS Nos. 2/1629 & 1A/1629 of Lower Parel division,

Plot Nos. 249, 249-A & 248-B of Worli Estate Scheme No. 52, Worli, Mumbai.

Sub: Grant of Consent to Establish for expansion of Residential & Commercial Building construction project with Public Parking Lot under Red Category

- Consent to Establish accorded by Board vide No. Format 1.0/BO/CAC-Cell/UAN No. 0000028220/CE(Exp) & Amalgamation/CAC-1808000657 dtd. 16/08/2018.
  - Environment Clearance accorded by Env. Dept GoM vide No. SEIAA-EC-0000001926 dtd. 03/08/2019.
  - Consent to Operate (Part-I) accorded by Board vide No. BO/CAC-Cell/CR(part)/CAC-1702000515 dtd. 10/02/2017.
  - Minutes of Consent Appraisal Committee meeting held on 07/11/2019.

Your application No.MPCB-CONSENT-0000076911 Dated 18.07.2019

For: grant of Consent to Establish under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundry Movement) Rules 2016 is considered and the Consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I, II, III & IV annexed to this order:

- The Consent to Establish is granted for a period upto commissioning of project or upto 30-11-2024 whichever is earlier.
- The capital investment of the project is Rs.201.24 Crs. (As per undertaking submitted by pp).
- 3. The Consent to Establish is valid for expansion of Residential & Commercial Building construction project with Public Parking Lot of M/s K. Raheja Pvt. Ltd. at plot bearing C5 Nos. 2/1629 & 1A/1629 of Lower Parel division, Plot Nos. 249, 249-A & 248-B of Worli Estate Scheme No. 52, Worli, Mumbai on total plot area 20,117.24 sq. mtrs. for Increase in total construction BUA from 1,59,739.22 sq. mtrs. to 1,78,767.03 sq. mtrs. i.e. additional construction BUA of 19,027.81 sq. mtrs. as per Environment Clearance and construction permission issued by Local Body including utilities and services.

Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)
1	Environment Clearance	20117.24	178767.03
2	Consent to Establish	20117.24	159739.22
3	Consent to Operate (Part-I)	20117.24	33119.24

4. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	NA	NA
2.	Domestic effluent	150	As per Schedule - I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, airconditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to local body sewer line.

5. Conditions under Air (P& CP) Act, 1981 for air emissions:

M/s. KRaheja Pvt. Ltd/CE/UAN No.MPCB-CONSENT-0000076911

Page 1 of 6



# Maharashtra Pollution Control Board

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Stack No.	Description of stack / source	Number of Stack	Standards to be achieved	
S-1 to S-3	DG Sets (2x250 & 2250 KVA)	3	As per Schedule -II	

6. Conditions under Solid Waste Rules, 2016:

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Biodegradable waste	408 Kg/Day	OWC followed by composting	Used as manure for gardening
2	Non-Biodegradable waste	322 Kg/Day	Segregation	To be hand over to Local Recyclers for recycling
3	STP sludge	8 Kg/Day	Drying	Used as manure for gardening

 Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for treatment and disposal of hazardous waste:

Sr No	Category No.	Quantity	<b>UoM Treatment</b>	Disposal
1	5.1 Used or spent oil	10	Ltr/M	Sale to Auth. Party/ Re-processessor

- 8 This Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- 9 This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government agencies.
- 10 PP shall provide/ operate STP so as to achieve the treated domestic effluent standard for the parameter BOD-10 mg/lit.
- 11 The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to local body sewer line.
- 12 PP shall install/ operate organic waste digester along with composting facility/bio-digester (biogas) with composting facility for the treatment of wet garbage.
- PP shall obtain NOC from MCGM for disposal of construction debris at specific site inspected and approved by Municipal Corporation.
- 14 PP shall extend existing BG of Rs. 25 Lakhs towards compliance of EC and Consent to Establish conditions.
- 15 Consent is issued without prejudice to the order passed as may be passed by the Hon'ble Supreme Court of India in special leave petition Civil No. D23708/2017.

For and on behalf of the Maharashtra Pollution Control Board.

> (E. Ravendiran IAS), Member Secretary

#### Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	402480.00	TXN1907001546	18/07/2019	Online Payment

#### Copy to:

- 1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai I
- They are directed to ensure the compliance of the consent conditions.
- They are directed to forfeit the proportionate bank guarantee, in case, if the JVS results exceeds Consented limits.
- 2. Cheif Accounts Officer, MPCB, Sion, Mumbai
- CC-CAC Desk- for record & website updating purpose



# Maharashtra Pollution Control Board

# 5de7464e0605292ea96e95ec

# SCHEDULE-I Terms & conditions for compliance of Water Pollution Control:

- A) As per your application, you have proposed to provide SBR based Sewage Treatment Plants (STPs) of combined capacity 195 CMD for treatment of domestic effluent of 150 CMD.
  - B] The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr. No.	Parameters	Standards prescribed by Board	
		Limiting Concentration in mg/l, except for pH	
1.	BOD (3 days 27o C)	10	
2.	Suspended Solids	20	
3.	COD	50	
4.	Residual Chlorine	1ppm	

- C] The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, fire-fighting etc. and remaining shall be utilized on land for gardening and connected to local body sewer line. In no case, effluent shall find its way outside Project's premise.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act, 1974 and as amended, and other provisions as contained in the said act.

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	159.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

 The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.

Page 3 of 6



### 5de7464e0605292ea96e95ec

### SCHEDULE-II Terms & conditions for compliance of Air Pollution Control:

 As per your application, you have proposed to provide the Air pollution control (APC)system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Stack No. Stack Attached To		APC System	Height in Mtrs.	Type of Fuel	Quantity & UoM	
5-1 & 5-2	DG Sets (2x250 KVA)	Acoustic Enclosure/ Stack	5	HSD	125 Kg/Hr	
S-3	DG Set (2250 KVA)	Acoustic Enclosure/ Stack	10	HSD	562.5 Kg/Hr	

 The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm3

- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacemenalteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) Conditions for utilities like Kitchen, Eating Places, Canteens:-
  - a) The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
  - b) The toilet shall be provided with exhaust system connected to chimney through ducting.
  - c) The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
  - d) The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nulsance is caused to neighbors.



## Maharashtra Pollution Control Board **5de7464e0605292ea96e95ec**

### SCHEDULE-III Details of Bank Guarantees:

Sr. No.	Consent(C2E/C2O/C2R)	Amt of BG Imposed		Purpose of BG	Compliance Period	Validity Date
1	C2E (Expansion)	2500000	Existing	Towards compliance of the Environmental Clearance & Consent to Establish conditions	30.11.2024	31.03.2025

** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent. # Existing BG obtained for above purpose if any may be extended for period of validity as above.

#### **BG Forfeiture History**

Srno.	Consent (C2E/C2O/C2R)	Amount of BG imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	BG
			NA			

M/s. KRaheja Pvt. Ltd/CE/UAN No.MPCB-CONSENT-0000076911

Page 5 of 6



### 5de7464e0605292ea96e95ec

#### SCHEDULE-IV

#### Conditions during construction phase

А	During construction phase, applicant shall provide temporary sewage disposal and MSW facility for staff and worker quarters.
В	During construction phase, the ambient air and noise quality should be closely monitored to achieve Ambient Air Quality Standards and Noise by the project proponent through MoEF approved laboratory.
с	Noise should be controlled to ensure that it does not exceed the prescribed standards.  During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

#### General Conditions:

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act,1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011.
- Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during nonpeak hours.
- 5 Conditions for D.G.Set
  - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
  - b) Applicant should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
  - c) Applicant should make efforts to bring down noise level due to DG set, outside their premises, within ambient noise requirements by proper sitting and control measures.
  - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
  - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
  - f) D.G. Set shall be operated only in case of power failure.
  - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
  - h) The applicant shall comply with the notification of MoEF dated 17.05.2002 regarding noise limit for generator sets run with diesel.
- Solid Waste The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11 The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.

M/s. KRaheja Pvt. Ltd/CE/UAN No.MPCB-CONSENT-0000076911

Page 6 of 6



### 5efc629299513b24b0caeda1

ANNEXURE VIII F

### MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437 Fax: 24023516 Website: http://mpcb.gov.in Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and 4th floor, Opp. Cine Planet Cinema, Near Sion Circle, Sion (E), Mumbai-400022

No:- Format1.0/CAC-CELL/UAN No.0000083236/CO - 2007000074

M/s K. Raheja Private Ltd., C.S. Nos. 2/1629, 1A/1629 of Lower Parel Division, Plot Nos. 249 & 249A , 248B of Worli Estate Scheme No. 52, Worli, Mumbai.

Sub: Grant of Consent to 1st Operate (Part-II) for Residential Tower "Artesia" under Red Category

Ref: 1. Environment Clearance accorded by Env. Dept., GoM vide No. SEIAA-EC-0000001926 dtd. 03/08/2019.

- Consent to Establish accorded by the Board vide No. Format 1.0/BO/CAC-Cell/UAN No. 0000028220/CE(Exp) & Amalgamation/CAC-1808000657 dtd.
- Minutes of Consent Appraiisal Committee meeting held on 03 & 04/03/2020.

Your application NO. MPCB-CONSENT-0000083236

For: grant of Consent to Operate under Section 26 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundry Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

- The 1st Consent to Operate is granted for a period up to 31.03.2021
- The capital investment of the project is Rs.1309.67 Crs. (As per C.A Certificate submitted by industry).
- The Consent to 1st Operate (Part-II) is valid for Residential Tower "Artesia" of M/s K. Raheja Private Ltd. at plot bearing C.S. Nos. 2/1629, 1A/1629 of Lower Parel Division, Plot Nos. 249 & 249A, 248B of Worli Estate Scheme No. 52, Worli, Mumbai on total plot area 20,117.27 sq. mtrs. for construction BUA 69,400.89 sq. mtrs. out of total construction BUA 1,78,767.03 sq. mtrs. as per Environment Clearance granted dtd. 03/08/2019 and construction permission issued by Local Body including utilities and services.
- Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr	Description	Permitted (in CMD)	Standards to	Disposal
	Trade effluent	Nil	NA	NA
	Domestic effluent	51	-1	60% recycle for secondary purposes and remaining for construction activity and/ or on land for gardening

K.RAHEJA PRIVATE LTD/CO/UAN No.MPCB-CONSENT-0000083236

Page 1 of 7



## Maharashtra Pollution Control Board **5efc629299513b24b0caeda1**

Conditions under Air (P& CP) Act, 1981 for air emissions:

Stack No.	Description of stack /	Number of	Standards to be
	source	Stack	achieved
S-1	DG Set (2250 KVA)	1	As per Schedule -II

6. Conditions under Solid Waste Rules, 2016:

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Biodegradabel waste	139 Kg/Day	OWC followed by composting	Used as Manure
2	Non-Biodegradable waste	209 Kg/Day	Segregation	Auth. Vendor/ Local Body
3	STP Sludge	11 Kg/Day	Dewatering	Used as Manure

 Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for treatment and disposal of hazardous waste:

Sr No	Category No.	Quantity	<b>UoM Treatmen</b>	t Disposal
1	5.1 Used /spent oil	100	Ltr/A Recycle	Sale to Auth. Party/ Recycler

- 8 The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- 9 This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
- 10 PP shall submit undertaking in Board's prescribed format within 15 days towards compliance of conditions of Environmental Clearance (EC) and Consent to Operate conditions.
- PP shall submit the undertaking within 15 days in the prescribed format towards the part of the built-up area/ building for which application for 1st Consent to Operate(Part-II) is made and that the same is included in the Environmental Clearance.
- 12 PP shall operate STP to achieve the treated domestic effluent standard for the parameter BOD- 10 mg/lit.
- 13 The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilised for construction activity and on land for gardening.
- 14 PP shall operate organic waste converter followed by composting facility and obtained compost shall be used as manure in their own garden/ plantation.
- 15 PP shall extend the existing BGs of Rs. 25 Lacs towards O & M of pollution control system & compliance of consent to operate.
- PP shall provide bus transport for residents/ employee to the extent possible directly or indirectly through the operator to reduce traffic congestion and resultant in reduction of air pollution.
- 17 PP will be responsible for proper operation & maintenance of pollution control systems for initial period of five years after Society formation and afterwards handover the facility to the Society for its further operation in good and working conditions.

For and on behalf of the Maharashtra Pollution Control Board.

> (E. Ravendiran IAS), Member Secretary

K.RAHEJA PRIVATE LTD/CO/UAN No.MPCB-CONSENT-0000083236

Page 2 of 7



## Maharashtra Pollution Control Board **5efc629299513b24b0caeda1**

# Received Consent fee of -Sr.No Amount(Rs.) Transaction/DR.No. Date 26/11/2019 Online Payment 1 | 2619340.00 | TXN1911002014 Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai I They are directed to ensure the compliance of the consent conditions. Chief Accounts Officer, MPCB, Sion, Mumbai CAC-Cell-for record purpose.

K.RAHEJA PRIVATE LTD/CO/UAN No.MPCB-CONSENT-0000083236

Page 3 of 7



### 5efc629299513b24b0caeda1

#### SCHEDULE-I Terms & conditions for compliance of Water Pollution Control:

- A] As per your application, you have provided MBBR based Sewage Treatment Plants (STPs) of combined capacity 150 CMD for treatment of domestic effluent of 51 CMD.
  - B) The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr. No.	Parameters	Standards prescribed by Board
		Limiting Concentration in mg/l, except for pH
1.	BOD (3 days 27o C)	10
2.	Suspended Solids	20
3.	COD	50
4.	Residual Chlorine	1ppm

- C] The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilised for construction activity and/ or on land for gardening. In no case, effluent shall find its way outside Project's premise.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act,1974 and as amended, and other provisions as contained in the said act.

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	57.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.



Page 4 of 7



### 5efc629299513b24b0caeda1

### SCHEDULE-II Terms & conditions for compliance of Air Pollution Control:

 As per your application, you have provided the Air pollution control (APC)system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Stack	Stack Attached	APC System	Height in	Type of	Quantity &	
No.	To		Mtrs.	Fuel	UoM	
S-1	DG Set (2250 KVA)	Acoustic Enclosure/ Stack	22	HSD	388 Kg/Hr	

 The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm3
	asias permission for prov	iding additional contro

- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacemenalteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) Conditions for utilities like Kitchen, Eating Places, Canteens:-
  - a) The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
  - b) The toilet shall be provided with exhaust system connected to chimney through ducting.
  - c) The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
  - d) The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.



K.RAHEJA PRIVATE LTD/CO/UAN No.MPCB-CONSENT-0000083236

Page 5 of 7



## Maharashtra Pollution Control Board **5efc629299513b24b0caeda1**

#### SCHEDULE-III Details of Bank Guarantees:

Sr. No.	Consent(C2E/C 20/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	C2O (Part-II)	2500000	Existing	Towards O & M of pollution control system & compliance of consent to operate	31.03.2021	31.07.2021

** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent. # Existing BG obtained for above purpose if any may be extended for period of validity as above.

#### **BG Forfeiture History**

Srno.	Consent (C2E/C2O/C2R)	Amount of BG imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	Reason of BG Forfeiture
			NA			



Page 6 of 7

K.RAHEJA PRIVATE LTD/CO/UAN No.MPCB-CONSENT-0000083236



### 5efc629299513b24b0caeda1

#### SCHEDULE-IV

#### **General Conditions:**

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act,1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011.
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
  - Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
  - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
  - Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper sitting and control measures.
  - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
  - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
  - f) D.G. Set shall be operated only in case of power failure.
  - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
  - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.
- 6 Solid Waste The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11 The applicant shall make an application for renewal of the consent at least 60 days before date of the expiry of the consent.

K,RAHEJA PRIVATE LTD/CO/UAN No.MPCB-CONSENT-0000083236

Page 7 of 7



Annexure VIII (G)

#### MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437

Fax: 24023516

Website: http://mpcb.gov.in Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and 4th floor, Opp. Cine Planet Cinema, Near Sion Circle, Sion (E), Mumbai-400022

No:- Format1.0/CAC-CELL/UAN No.0000092970/CE - 2011000702

Date: 11 11 2020

To,

K. Raheja Pvt Ltd., Plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249A, 248B of Worli estate scheme No. 52, Worli, Mumbai.

Sub: Consent to Establish for Expansion in existing Residential project under L.S.I Red Category

Ref: 1. Consent to Establish accorded by the Board vide letter BO/RO(P&P)/648 dtd 28/09/2006.

- Environment Clearance accorded by MoEF GoI vide 21-413/2006-IA.III GoI, MoEF (IA-Division) dtd. 06/02/2007.
- 1st Consent to Operate (part) accorded by the Board vide letter BO/CAC-Cell/CR(part)/CAC-1702000515 dtd. 10/02/2017.
- Consent to Establish for expansion & amalgamation of existing C2E accorded by the Board vide letter No. Format 1.0/BO/CAC-Cell/UAN No. 0000028220/CE(Exp) & amalgamation)/CAC-1808000657 dtd. 16/08/2018.
- Environment Clearance for expansion accorded by Env. Dept, GoM vide letter SEIAA-EC-0000001926 dtd. 03/08/2019.
- Consent to Establish for expansion accorded by the Board vide letter Format 1.0/CAC-CELL/UAN No. 0000076911/CE-1912000103 dtd. 04/12/2019.
- Environment Clearance for expansion accorded by Env. Dept, GoM vide letter SIA/MH/MIS/42830/2018 dtd. 31/03/2020
- Minutes of Consent Appriasal Committee meeting held on 07/09/2020 & 11/09/2020.

Your application NO. MPCB-CONSENT-0000092970

For: Grant of Consent to Establish for expansion under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal ofAuthorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundry Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

- The Consent to Establish is granted for a period upto commissioning of project
- The capital investment of the project is Rs.66.23 Crs. (As per C.A Certificate submitted by industry).
- 3. The Consent to Establish for expansion is valid for Residential project named as K. Raheja Pvt Ltd., Plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249A, 248B of Worli estate scheme No. 52, Worli, Mumbai. on Total Plot Area of 20,117.24 SqMtrs for construction BUA of 38,143.17 SqMtrs out of Total Construction BUA of 2,16,910.20 SqMtrs

M/s K Raheja Pvt. Ltd/CE/UAN No.MPCB-CONSENT-0000092970

Page 1 of 8



### 5fabd2b0ecca0968bddd5c5f

(i.e. existing 1,78,767.03 Sq.m + proposed 38,143.17 Sq.m) as per EC granted dated 31/03/2020 including utilities and services

Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)
1	C to E - dtd. 28/09/2006	14638.91	42094.00
2	EC- dtd. 06/02/2007	14638.91	42094.00
3	1st C to O (part) - dtd. 10/02/2017	14638.91	33119.24
4	C to E (exp + amlg) - dtd. 16/0/2018	20117.27	159739.22
5	EC for exp - dtd. 03/08/2019	20117.24	178767.03
6	C to E for exp - dtd. 04/12/2019	20117.24	178767.03
7	EC for exp - dtd. 31/03/2020	20117.24	216910.20

4. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	Nil	Nil
2.	Domestic effluent	223	As per Schedule - I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be connected to the sewerage system provided by local body

5. Conditions under Air (P& CP) Act, 1981 for air emissions:

Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
S-1	DG Set 2250 KVA	01	As per Schedule -II
S-2, S-3	DG Sets 1250 KVA x 2	02	As per Schedule -II
S-4	DG Set 250 KVA	01	As per Schedule -II

6. Conditions under Solid Waste Rules, 2016:

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Biodegradable Waste	561 Kg/Day	Organic waste converter followed by Composting facility.	Used as Manure.
2	Non-Biodegradable Waste	653 Kg/Day	Segregation	By Sale to Auth. Vendor
3	STP Sludge	25 Kg/Day	SDB	Used as Manure.

 Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for treatment and disposal of hazardous waste:

Sr No	Category No.	Quantity	UoM	Treatment	Disposal
	5.1 Used /spent oil	100	Ltr/A	Stored in drum	By sale to Auth. reprocessor.

M/s K Raheja Pvt. Ltd/CE/UAN No.MPCB-CONSENT-0000092970

Page 2 of 8



- 8 This Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- 9 This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government agencies.
- 10 PP shall provide STP so as to achieve the treated domestic effluent standard for the parameter BOD-10 mg/lit.
- 11 The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening.
- 12 PP shall install online monitoring system for BOD, TSS and flow at the outlet of STP with connectivity to MPCB Server.
- 13 PP shall submit BG of Rs. 25 Lakhs towards compliance of EC and Consent to Establish conditions.
- 14 PP shall install organic waste digester along with composting facility/biodigester (biogas) with composting facility for the treatment of wet garbage.
- 15 PP shall submit Board Resolution within 15 days stating that they have violated Consent condition by continuing construction work without obtaining re-validation of Consent to Establish and they will not do so in future. PP shall furnish BG of Rs. 2 Lakh towards compliance of this condition (ie. if PP started construction without obtaining consent to Establish from Board and PP has Environment Clearance for said project).
- 16 This consent is issued without prejudice to the order passed or may be passed by the Hon'ble Supreme Court of India in special leave petition (Civil No. D23708/2017) (if construction in Mumbai region-)
- 17 PP shall not take effective steps without obtaining EC from the Competent Authority (if EC not procured) PP shall comply conditions stipulated Environment Clearance accorded by Environment Department, GoM vide. SEAC 2013/CR-350/TC-1 dtd 31.5.2014.
- 18 PP has obtained approval from MCGM vide No. SWM/000907/2018/G/S/CTY dated 21.6.2018 for transportation of construction & demolition waste from construction site to the designated filling & leveling site.

For and on behalf of the Maharashtra Pollution Control Board.

> (Ashok Shingare IAS), Member Secretary

#### Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	100000.00	MPCB-DR-0544	28/06/2020	RTGS

#### Copy to:

- 1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai I
- They are directed to ensure the compliance of the consent conditions.
- 2. Chief Accounts Officer, MPCB, Sion, Mumbai



## SCHEDULE-I Terms & conditions for compliance of Water Pollution Control:

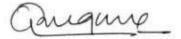
- A] As per your application, you have proposed to provide MBBR Technology based Sewage Treatment Plants (STPs) of combined capacity 295 CMD for treatment of domestic effluent of 223 CMD.
  - B] The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr. No.	Parameters	Standards prescribed by Board
		Limiting Concentration in mg/l, except for pH
1.	BOD (3 days 27o C)	10
2.	Suspended Solids	20
3.	COD	50
4.	Residual Chlorine	1ppm

- C] The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to the sewerage system provided by local body.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act,1974 and as amended, and other provisions as contained in the said act.

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	238.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

 The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.





### SCHEDULE-II Terms & conditions for compliance of Air Pollution Control:

 As per your application, you have proposed to provide the Air pollution control (APC)system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Stack No.	Stack Attached To	APC System	Height in Mtrs.	Type of Fuel	Quantity & UoM
S-1	DG Set 2250 KVA	Acoustic enclosure	9.49	HSD	388 Ltr/Hr
S-2, S-3	DG Sets 1250 KVA x 2	Acoustic enclosure	7.07	HSD	621 Ltr/Hr
S-4	DG Set 250 KVA	Acoustic enclosure	3.16	HSD	62.5 Ltr/Hr

 The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm3
Total Farticular Illatter	INDE TO SUCCES	and migration

- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacemenalteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) Conditions for utilities like Kitchen, Eating Places, Canteens:
  - a) The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
  - b) The toilet shall be provided with exhaust system connected to chimney through ducting.
  - The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
  - d) The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.





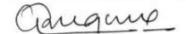
### SCHEDULE-III Details of Bank Guarantees:

Sr. No.	Consent(C2E/C2O /C2R)	Amt of BG Imposed	Dariad	n Purpose of C BG	Compliance Period	Validity Date
1	Consent to Establish for Expansion	25 Lakh	15 days	Towards Compliance of Environment Clearance and Consent conditions.	COU	Up to Commissioning of the project or 5 years whichever is earlier.

^{**} The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent. # Existing BG obtained for above purpose if any may be extended for period of validity as above.

#### **BG Forfeiture History**

Srno.	Consent (C2E/C2O/C2R)	Amount of BG imposed	Submission Period	Purpose of BG	The state of the s	Reason of BG Forfeiture
			NA			





#### SCHEDULE-IV

#### Conditions during construction phase

- A During construction phase, applicant shall provide temporary sewage and MSW treatment and disposal facility for the staff and worker quarters.
- During construction phase, the ambient air and noise quality shall be maintained and should be closely monitored through MoEF approved laboratory.
- Noise should be controlled to ensure that it does not exceed the prescribed standards. During night time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

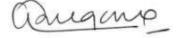
#### **General Conditions:**

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act,1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011.
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
  - Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
  - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
  - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper sitting and control measures.
  - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
  - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
  - f) D.G. Set shall be operated only in case of power failure.
  - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
  - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.

adrigano



- 6 Solid Waste The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11 The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.





Annexure VIII (H)

#### MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437 Fax: 24023516 Website: http://mpcb.gov.ln

Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and 4th floor, Opp. Cine Planet Cinema, Near Sion Circle, Sion (E), Mumbai-400022

Date: 22[11

Infrastructure/RED/L.S.I No:- Format1.0/CAC-CELL/UAN No.0000109931/CD - 211(0008/2-

To, K. Raheja Pvt Ltd., Plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249A, 248B of Worli estate scheme No. 52, Worli, Mumbai.



Sub: Consent to Operate (Part) including BUA of existing Consent to Operate (Part-II) for Commercial & Residential Building project under Red/LSI category.

Ref: 1. Environmental Clearance for expansion accorded by Env. Dept. GoM vide letter No SIA/MH/MIS/42830/2018 dtd. 31/03/2020.

- 1st Consent to Operate (Part-II) accorded by the Board vide letter Format1.0/CAC-CELL/UAN No. 0000083236/CO-2007000074 dtd. 01/07/2020.
- Consent to Establish for Expansion accorded by the Board vide letter Format1.0/CAC-CELL/UAN No. 0000092970/CE-2011000702 dtd. 11/11/2020.
- Minutes of Consent Appraisal Committee meeting held on 23/06/2021.

Your application NO. MPCB-CONSENT-0000109931

For: Grant of Consent to Operate (Part) under Section 26 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundry Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

- The 1st Consent to Operate is granted for a period up to 31.03.2022
- The capital investment of the project is Rs.2047.82 Cr. (As per C.A Certificate submitted by industry).
- 3. The Consent to Operate (Part) is valid for Commercial & Residential Building project named as K. Raheja Pvt Ltd., Plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249A, 248B of Worli estate scheme No. 52, Worli, Mumbai on Total Plot Area of 20,117.24 SqMtrs for Construction BUA of 1,41,069.75 SqMtrs out of Total Construction BUA of 2,16,910.20 SqMtrs as per EC granted dated 31/03/2020 including utilities and services

Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)
1	EC- dtd. 31/03/2020	20117.24	216910.20
2	1st C to O (Part-II)- dtd. 01/07/2020	20117.24	69400.89
3	C to E for Exp - dtd. 11/11/2020	20117.24	38143.17

4. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr No	o Description	Permitted (in CMD)	Standar	ds to Disposal
1.	Trade effluent	Nil	Nil	Nil

E. RAHEJA PRIVATE LTD:CO/UAN No. HPCB-CONSENT-0000109651 (26-10-2021 02:30:00 pm) /QME.POS_F02/00

Page 1 of 7



Sr No	Description	Permitted	Standards to	Disposal
2.	Domestic effluent	110	As per Schedule - I	The treated effluent shall be 60% recycled for secondary purposes and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.

5. Conditions under Air (P& CP) Act, 1981 for air emissions:

Stack No.	Description of stack /	Number of	Standards to be
	source	Stack	achieved
S-1 & S-2	DG Sets of 250 kVA x 2	02	As per Schedule -II

6. Conditions under Solid Waste Rules, 2016:

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Bio-degradable Waste	313 Kg/Day	OWC followed by composting facility	Used as Manure.
2	Non-biodegradable Waste	209 Kg/Day	Segregation	Handed over to Auth. Vendor.
3	STP Sludge	8 Kg/Day	Drying	Used as Manure.

 Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for treatment and disposal of hazardous waste:

Sr No	Category No.	Quantit	y UoM Treatment	Disposal
1	5.1 Used or spent oil	100	Ltr/A Recycle	By Sale to Auth. recycler.

- The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
- PP shall properly operate STP to achieve the treated domestic effluent standard for the parameter BOD-10 mg/lit including disinfection facility to the treated sewage.
- The treated sewage shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.
- PP shall properly operate organic waste digester along with composting facility/biodigester (biogas) for the treatment of wet garbage.
- PP shall make provision of charging ports for electric vehicles at least10% of total available parking slots.
- PP shall extend existing BG of Rs. 25 Lakh towards O & M of Pollution Control Systems and compliance of Consent conditions.

For and on behalf of the Maharashtra Pollution Control Board.

> (Ashok Shingare IAS), Member Secretary

E.RAHEJA PRIVATE LTD/CO/UAN No. MPCB-CONSENT-0000109931 (26-10-2021 02:36:00 pm) /QMS.PO6_F02/00

Page 2 of 7



#### Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	4095640.00	TXN2103001103	09/03/2021	Online Payment

#### Copy to:

- 1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai I
- They are directed to ensure the compliance of the consent conditions.
- 2. Chief Accounts Officer, MPCB, Sion, Mumbai





## SCHEDULE-I Terms & conditions for compliance of Water Pollution Control:

- A] As per your application, you have provided SBR based Sewage Treatment Plants (STPs) of combined capacity 150 CMD for treatment of domestic effluent of 110 CMD.
  - B) The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr.No Parameters		Limiting concentration not to exceed in mg/l, except for pH
1	рН	5.5-9.0
2	BOD	10
3	COD	50
4	TSS	20
5	NH4 N	5
6	N-total	10
7	Fecal Coliform	less than 100

- C] The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act,1974 and as amended, and other provisions as contained in the said act.

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	117.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

 The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.



### 619b36c4219b594cc8141c7e

### SCHEDULE-II Terms & conditions for compliance of Air Pollution Control:

 As per your application, you have provided the Air pollution control (APC)system and erected following stack (s) and to observe the following fuel pattern-

Stack	Stack Attached	APC System	Height in	Type of	Quantity &
No.	To		Mtrs.	Fuel	UoM
S-1 & S-2	DG Sets of 250 kVA x 2	Acoustic enclosure	3.16	HSD	125 Ltr/Hr

The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm3

- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacemenalteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) Conditions for utilities like Kitchen, Eating Places, Canteens:
  - a) The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
  - b) The toilet shall be provided with exhaust system connected to chimney through ducting.
  - c) The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
  - d) The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.

### SCHEDULE-III Details of Bank Guarantees:

Sr. No.	Consent(C2E/C 2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	1st Consent to Operate (Part)	25 Lakh	Extension of existing BG	Towards O & M of Pollution Control Systems and Compliance of Consent conditions.	Monthly	30/09/2022



Sr. (C2E/ Amt of BG Submission Purpose o No. C2O Imposed Period BG /C2R)	of Compliance Validity Period Date	1
--------------------------------------------------------------------------------	---------------------------------------	---

^{**} The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.

#### **BG Forfeiture History**

Srno.	Consent (C2E/C2O/C2R)	Amount of BG imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	BG
			NA			

#### **BG Return details**

Srno. Consent (C2E/C2O/C2R)	BG imposed Purpose of BG	Amount of BG Returned
	NA	

#### SCHEDULE-IV

#### **General Conditions:**

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act,1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011.
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
  - Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
  - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
  - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper sitting and control measures.
  - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.

K.RAHEJA PRIVATE LTD/CO/UAN No. MPCB-CONSENT-0000109931 (26-10-2021 02:36:00 pm) /QMS.PO6_F02/00

Page 6 of 7

[#] Existing BG obtained for above purpose if any may be extended for period of validity as above.



- e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
- f) D.G. Set shall be operated only in case of power failure.
- g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
- h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.
- 6 Solid Waste The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 11 The applicant shall make an application for renewal of the consent at least 60 days before date of the expiry of the consent.

For and on behalf of the Maharashtra Pollution Control Board.

> (Ashok Shingare IAS), Member Secretary



#### MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437

Fax: 24023516

Website: http://mpcb.gov.in Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and 4th floor, Opp. Cine Planet Cinema, Near Sion Circle, Sion (E), Mumbai-400022

Date: 08/10/2023

Infrastructure/RED/L.S.I

No:- Format1.0/CAC-CELL/UAN No.0000132222/CR/2310000492

To, K. Raheja Pvt Ltd., Plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249A, 248B of Worli Estate Scheme No. 52, Worli, Mumbai.



Sub: Grant of Renewal of Consent to Operate (Part-I & II) Residential & Commercial Construction project under Red/LSI Category.

Your application NO. MPCB-CONSENT-0000132222

For: Grant of Renewal of Consent to Operate (Part-I & II) under Section 26 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundry Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

- 1. The Renewal of Consent to Operate (Part-I & II) is granted for a period up to 31/03/2024.
- 2. The capital investment of the project is Rs.2116.68 Cr. (As per C.A Certificate submitted by industry).
- 3. The Renewal of Consent to Operate (Part-I & II) is valid for Residential & Commercial Construction project named as K. Raheja Pvt Ltd., Plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249A, 248B of Worli Estate Scheme No. 52, Worli, Mumbai on Total Plot Area of 20,117.24 SqMtrs for Construction BUA of 1,41,459.76 SqMtrs out of Total Construction BUA of 2,16,910.20 SqMtrs as per EC granted dated 31/03/2020 including utilities and services

Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)
1	EC- dtd. 31/03/2020	20117.24	216910.20
2	C to O (Part-I & II) - dtd. 22/11/2021	20117.24	141069.75
3	1st C to O (Part)- dtd. 01/07/2021	28328.79	24792.77

4. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	Nil	Nil
2.	Domestic effluent	110	Schedule - I	The treated sewage shall be 60% recycled for secondary purposes and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.

5. Conditions under Air (P& CP) Act, 1981 for air emissions:

Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
S-1	DG Set of 2250 kVA	01	As per Schedule -II

6. Conditions under Solid Waste Rules, 2016:

Sr No	Type Of Waste Quantity & UoM		Treatment	Disposal
1	Biodegradable Waste		OWC followed by composting facility.	Used as Manure.
	Non- Biodegradable Waste	209 Kg/Day	ISAGRAGATION	Handed over to Auth. Vendor.
3	STP Sludge	08 Kg/Day	Drying	Used as Manure.

 Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for Collection, Segregation, Storage, Transportation, Treatment and Disposal of hazardous waste:

Sr No	Category No.	Quantity	UoM	Treatment	Disposal
1	5.1 Used or spent oil	100	Ltr/A	ikecvcie	Handed over to Auth. reprocessor.

- 8. The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- 9. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
- 10. PP shall operate STP scientifically to achieve the treated domestic effluent standard for the parameter BOD-10 mg/lit including disinfection facility to the treated sewage.
- 11. The treated sewage shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.
- 12. PP shall properly operate organic waste digester along with composting facility/bio-digester (biogas) for the treatment of wet garbage.
- 13. PP shall make provision of charging ports for electric vehicles at least 30% of total available parking slots.
- 14. PP shall extend existing BG of Rs. 25 Lacs towards O & M of Pollution Control Systems and compliance of Consent conditions.

#### **Received Consent fee of -**

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	8466720.00	MPCB-DR-10586	25/02/2022	RTGS

#### Copy to:

- 1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai I
- They are directed to ensure the compliance of the consent conditions.
- 2. Chief Accounts Officer, MPCB, Sion, Mumbai



#### **SCHEDULE-I**

#### Terms & conditions for compliance of Water Pollution Control:

- 1) A] As per your application, you have provided SBR based Sewage Treatment Plants (STPs) of combined capacity **160 CMD for treatment of domestic effluent of 110 CMD.** 
  - B] The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr.No	Parameters	Limiting concentration not to exceed in mg/l, except for pH
1	рН	5.5-9.0
2	BOD	10
3	COD	50
4	TSS	20
5	NH4 N	5
6	N-total	10
7	Fecal Coliform	less than 100

- C] The treated sewage shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.
- The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act,1974 and as amended, and other provisions as contained in the said act.

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	142.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.

#### **SCHEDULE-II**

#### Terms & conditions for compliance of Air Pollution Control:

1) As per your application, you have provided the Air pollution control (APC)system and erected following stack (s) and to observe the following fuel pattern-

Stack No.	Source	APC System provided/proposed	Stack Height(in mtr)	Type of Fuel	Sulphur Content(in %)	Pollutant	Standard
	DG set of 2250 kVA	Acoustic Enclosure	30.00	HSD 461.36 Ltr/Hr	1	SO2	221.45 Kg/Day

2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm3
-------------------------	---------------	------------

- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacemenalteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

### SCHEDULE-III Details of Bank Guarantees:

Sr. No.	Consent(C2E/C 2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	Renewal of Consent to Operate (Part-I & II)	Rs. 25 Lacs	Extension of existing BG	Towards O & M of Pollution Control Systems and Compliance of Consent conditions.	Monthly	30/09/2024

^{**} The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent. # Existing BG obtained for above purpose if any may be extended for period of validity as above.

#### **BG Forfeiture History**

Srno.	Consent (C2E/C2O/C2R)		Submission Period	of RG	Amount of BG Forfeiture	BG
NA						

#### **BG Return details**

Srno.	Consent (C2E/C2O/C2R)	BG imposed	Purpose of BG	Amount of BG Returned
		NA		

#### **SCHEDULE-IV**

#### **General Conditions:**

- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act,1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011.
- Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
  - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
  - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
  - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper sitting and control measures.
  - d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
  - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
  - f) D.G. Set shall be operated only in case of power failure.
  - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
  - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.
- Solid Waste The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9 The treated sewage shall be disinfected using suitable disinfection method.
- 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.

l1	The applicant shall make an application for renewal of the consent at least 60 days before date of the expiry of the consent.
	This certificate is digitally & electronically signed.
	महाराष्ट्र

#### MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437

Fax: 24023516

Website: http://mpcb.gov.in Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and 4th floor, Opp. Cine Planet Cinema, Near Sion Circle, Sion (E), Mumbai-400022

Date: 11/01/2024

Infrastructure/RED/L.S.I

No:- Format1.0/CAC-CELL/UAN No.0000180774/CE/2401001498

To, K. Raheja Pvt Ltd., Plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249A, 248B of Worli Estate Scheme No. 52, Worli, Mumbai.



Sub: Grant of Consent to Establish for Expansion of Residential & Commercial Construction project under Red/LSI Category.

Ref:

- Environmental Clearance for Expansion of proposed Residential tower building, Multi storied public parking lot building, office building & residential building project accorded by Env. Dept, GoM vide SIA/MH/MIS/42830/2018 dtd. 31/03/2020.
- 2. Consent to Operate (Part-I & II) accorded by the Board vide Format 1.0/CAC-CELL/UAN No. 0000109931/CO-2111000812 dtd.22/11/2021.
- 3. 1st Consent to Operate rehab building B & C and Renewal of Consent to Operate for Rehab Building A & J and amalgamation of both vide letter Format 1.0/CAC-CELL/UAN No.0000043288/CO-2107000002 dtd. 01/07/2021.
- Environmental Clearance for proposed Expansion of Residential & Commercial Construction project accorded by Env, Dept, GoM vide letter No. SIA/MH/INFRA2/417166/2023 dtd. 26/05/2023.
- 5. Minutes of Consent Appraisal Committee meeting held on 05/12/2023.

Your application NO. MPCB-CONSENT-0000180774

For: Grant of Consent to Establish for Expansion under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundry Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

- 1. The Consent to Establish for Expansion is granted for a period up to Commissioning of the project or up to 5 years whichever is earlier.
- 2. The capital investment of the project is Rs.34.37 Cr. (As per undertaking submitted by pp).
- 3. The Consent to Establish for Expansion is valid for Residential & Commercial Construction project named as K. Raheja Pvt Ltd., Plot bearing CS No. 2/1629 & 1A/1629 of Lower Parel Division, Plot No. 249 & 249A, 248B of Worli Estate Scheme No. 52, Worli, Mumbai on Total Plot Area of 20,117.24 SqMtrs for additional Construction BUA of 7893.36 SqMtrs out of Total Construction BUA of 2,24,400.49 SqMtrs as per specific condition No. B(5) EC granted dated 26/05/2023 including utilities and services

Sr.No	Permission Obtained	Plot Area (SqMtr)	BUA (SqMtr)
1	EC- dtd. 31/03/2020	20117.24	216910.20
2	C to O (Part- I & II) - dtd. 22/11/2021	20117.24	141069.75
3	1st C to O (Part-III)- dtd. 01/07/2021	28328.79	24792.77
4	EC for Exp- dtd. 26/05/2023	20117.24	224400.49

4. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr No	Description	Permitted (in CMD)	Standards to	Disposal
1.	Trade effluent	Nil	Nil	Nil
2.	Domestic effluent	270	Schedule - I	The treated sewage shall be 60% recycled for secondary purposes and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.

5. Conditions under Air (P& CP) Act, 1981 for air emissions:

Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
S-1	DG Set of 500 kVA	01	As per Schedule -II
S-2 to S-3	DG Sets of 1500 kVA x 02	02	As per Schedule -II
S-4	DG Set of 2250 kVA	01	As per Schedule -II

6. Conditions under Solid Waste Rules, 2016:

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Bio-degradable Waste		OWC followed by composting facility.	Used as Manure.
2	Non-biodegradable Waste	937 Kg/Day	ISAMPATIAN	Handed over to Auth. Vendor.
3	STP Sludge	13.50 Kg/Day	Drying	Used as Manure.

7. Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for Collection, Segregation, Storage, Transportation, Treatment and Disposal of hazardous waste:

Sr Vo	Category No.	Quantity	UoM	Treatment	Disposal
1	5.1 Used or spent oil	100	Ltr/A	IKecvcie	Handed over to Auth. reprocessor.

8. Conditions under E-Waste Management:

Sr No	Type of Waste	Quantity	UoM	Disposal Path
1	E-Waste	4.50	Ton/Y	Handed over to Auth. Vendor.

- 9. This Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- 10. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government agencies.
- 11. PP shall provide STP of adequate capacity to achieve the treated domestic effluent standard for the parameter BOD-10 mg/lit including disinfection facility.

- 12. The treated sewage shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.
- 13. PP shall provide organic waste digester along with composting facility/bio-digester (biogas) for the treatment of wet garbage.
- 14. PP shall make provision of charging ports for electric vehicles at least 30% of total available parking slots.
- 15. PP shall submit BG of Rs. 25 Lacs towards compliance of EC and Consent conditions.

#### **Received Consent fee of -**

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	75000.00	TXN2309001012	07/09/2023	Online Payment

#### Copy to:

- 1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai I
- They are directed to ensure the compliance of the consent conditions.
- 2. Chief Accounts Officer, MPCB, Sion, Mumbai

#### **SCHEDULE-I**

## Terms & conditions for compliance of Water Pollution Control:

- A] As per your application, you have proposed to provide MBBR based Sewage Treatment Plants (STPs) of combined capacity 320 CMD for treatment of domestic effluent of 270 CMD.
  - B] The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr.No	Parameters	Limiting concentration not to exceed in mg/l, except for pH
1	рН	5.5-9.0
2	BOD	10
3	COD	50
4	TSS	20
5	NH4 N	5
6	N-total	10
7	Fecal Coliform	less than 100

- C] The treated sewage shall be 60% recycled for secondary purposes such as toilet flushing, air-conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and/ or connected to local body sewer line with water metering system.
- The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act,1974 and as amended, and other provisions as contained in the said act.

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	326.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.

#### **SCHEDULE-II**

## **Terms & conditions for compliance of Air Pollution Control:**

1) As per your application, you have proposed to provide the Air pollution control (APC)system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Stack No.	Source	APC System provided/proposed	Stack Height(in mtr)	Type of Fuel	Sulphur Content(in %)	Pollutant	Standard
S-1	DG Set of 500 kVA	Acoustic Enclosure	4.47	HSD 104 Ltr/Hr	1	SO2	49.92 Kg/Day
S-2 to S-3	DG Sets of 1500 kVA x 02	Acoustic Enclosure	7.75	HSD 624 Ltr/Hr	1	SO2	299.52 Kg/Day
S-4	DG Set of 2250 kVA	Acoustic Enclosure	9.49	HSD 468 Ltr/Hr	1	SO2	224.64 Kg/Day

2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm3
-------------------------	---------------	------------

- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacemenalteration well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) Conditions for utilities like Kitchen, Eating Places, Canteens:
  - a) The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
  - b) The toilet shall be provided with exhaust system connected to chimney through ducting.
  - c) The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
  - d) The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.

## **SCHEDULE-III**

## **Details of Bank Guarantees:**

Sr. No	Consent(C2E/C2 O/C2R)	Amt of BG Imposed	Submission	Purpose of BG	Compliance Period	Validity Date
1	Consent to Establish for Expansion	Rs. 25 Lacs	15 days	Towards Compliance of EC & C to E conditions.	Commissioning of the project or 5 years whichever is earlier.	Commissioning of the project or 5 years whichever is earlier.

^{**} The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent. # Existing BG obtained for above purpose if any may be extended for period of validity as above.

## **BG Forfeiture History**

Srno.	Consent (C2E/C2O/C2R)	Amount of BG imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	BG
			NA			

#### **BG** Return details

Srno. Consent (C2E/C2O/C2R)	BG imposed Purpose of BG	Amount of BG Returned
	NA	



#### **SCHEDULE-IV**

### Conditions during construction phase

- A During construction phase, applicant shall provide temporary sewage and MSW treatment and disposal facility for the staff and worker quarters.
- **B** During construction phase, the ambient air and noise quality shall be maintained and should be closely monitored through MoEF approved laboratory.
- Noise should be controlled to ensure that it does not exceed the prescribed standards. During night time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

#### **General Conditions:**

- Consumers or bulk consumers of electrical and electronic equipment listed in Schedule I shall ensure that e-waste generated by them is channelised through collection centre or dealer of authorised producer or dismantler or recycler or through the designated take back service provider of the producer to authorised dismantler or recycler
- 2. Bulk consumers of electrical and electronic equipment listed in Schedule I shall maintain records of e-waste generated by them in Form-2 and make such records available for scrutiny by the concerned State Pollution Control Board
- 3. Consumers or bulk consumers of electrical and electronic equipment listed in Schedule I shall ensure that such end-of-life electrical and electronic equipment are not admixed with e-waste containing radioactive material as covered under the provisions of the Atomic Energy Act, 1962 (33 of 1962) and rules made there under;
- 4. Bulk consumers of electrical and electronic equipment listed in Schedule I shall file annual returns in Form-3, to the concerned State Pollution Control Board on or before the 30th day of June following the financial year to which that return relates. In case of the bulk consumer with multiple offices in a State, one annual return combining information from all the offices shall be filed to the concerned State Pollution Control Board on or before the 30th day of June following the financial year to which that return relates.
- 5 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act,1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011.
- 7 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 9 Conditions for D.G. Set
  - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.

- b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
- c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper sitting and control measures.
- d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
- e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
- f) D.G. Set shall be operated only in case of power failure.
- g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
- h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.
- 10 Solid Waste The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
- 11 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 12 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
- 13 The treated sewage shall be disinfected using suitable disinfection method.
- 14 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 15 The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.

This certificate is digitally & electronically signed.



## Maharashtra Pollution Control Board

# महाराष्ट्र प्रदूषण नियंत्रण मंडळ

## **Application for Consent/ Authorisation**

Sir, I/We hereby apply for*

- 1. Consent to Establish/Operate/Renewal of consent under section 25 and 26 of the Water (Prevention & Control of Pollution) Act, 1974 as amended
- 2. Consent to Establish/Operate/Renewal of consent under Section 21 of the Air (Prevention and Control of Pollution) Act, 1981, as amended.
- 3. Authorization/renewal of authorization under Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 in connection with my/our/existing/proposed/altered/ additional manufacturing/processing activity from the premises as per the details given below.

#### **Consent Information**

UAN No: Application submitted on:

MPCB-CONSENT-0000197389 05-02-2024

**Industry Information** 

EC Reqd.

EC Ref. No.

Consent To: IIN No.: Submit to:
Operate SRO - Mumbai I

EC Obtained

Date of issue of EC

Type of institution: Industry Type: Category: Scale:

Other Planning Authority O21 Building and construction Orange project more than 20,000 sq. m

built up area

Location of Name of Local Body: industry/activity/etc:

Local Body MCGM

Yes EC Obtained

**Parivesh Proposal Number** 

L.S.I

MoEFCC/SEIAA File Number

SIA/MH/INFRA2/417166/2023

SIA/MH/INFRA2/417166/2023

dated 6th February 2007 • Amended letter SEAC 2010/CR.323/TC.2 dated 22nd July 2011 • Amended letter SEAC 2010/CR.323/TC.2 dated 11th June 2014 • Amendment letter SEAC-2016/CR424/TC-1 dated 12th May 2017 •

Expansion in Environmental Clearance vide letter SEIAA-EC-000001926 dated 3rd August 2019 • Expansion in Environmental Clearance vide letter SIA/MH/MIS/42830/2018 dated 31st March 2020. • Expansion in Environmental Clearance vide letter SIA/MH/INFRA2/417166/2023 dated 26th May 2023

Whether construction-buildup area is more than 20,000 sq.mtr.(Existing Expansion Unit)

Yes

#### **General Information**

1. Name, designation, office address with Telephone/Fax numbers, e-mail of the Applicant Occupier/Industry/Institution / Local Body.

Name **Address** 

Nikhil Mehta C S No 2/1629 of Lower Parel division, Plot No 249 & 249A of Worli.

Mumbai,

Designation Taluka Vice President Kurla Area **District** 

Kurla (West) Mumbai Suburban

Telephone Fax

9167755305

Pan Number

**Email** AAACK1949H MetalboxMPCB@kraheja.com

2. (a) Name and location of the industrial unit/premises for which the application is made (Give revenue Survey Number/Plot number name of Taluka and District, also telephone and fax number)

#### Industry name

M/s. K. RAHEJA PRIVATE LTD

Location of Unit

Residential Tower (Part) on land bearing at CS No 2/1629 & 1A/1629 of Lower Parel division, Plot No. 249 & 249 A, 248B of

Worli estate scheme no. 52, Worli, Mumbai.

Survey number/Plot Number

C.S. No.2/1629, 1A/1629 & Plot No.249 & 249A, 248B

Taluka District Mumbai Mumbai city

(b) Details of the planning permission obtained from the local body/Town and Country Planning authority/Metropolitan Development authority/ designated Authority.

Planning permission

**Planning Authority** 

Municipal Corporation of Greater Mumbai (MCGM)

Municipal Corporation of Greater Mumbai (MCGM)

Name of the local body under whose jurisdiction the unit is located and Name of the licence issuing authority

Name of Local Body

Name of the licence issuing authority

Municipal Corporation of Greater Mumbai (MCGM)

Municipal Corporation of Greater Mumbai (MCGM)

3. Names, addresses with Telephone and Fax Number of Managing Director / Managing Partner and officer responsible for matters connected with pollution control and/or Hazardous waste disposal. Name of Managing Director

Mr. Raman Sapru (Director - Design & Engineering) Fax number

02226564604

4. (a.) Are you registered Industrial unit?

17018/1973-74

Registration number

Telephone number

09167779454

Officer responsible for day to day business

Mr. Vaibhay Samarth

Yes

Date of registration

Apr 3, 1982

5. Gross capital investment of the unit without depreciation till the date of application (Cost of building, land, plant and machinery). (To be supported by an affidavit/undertaking on Rs.20/- stamp paper, annual report or certificate from a Chartered Accountant for proposed unit(s), give estimated figure)

Gross capital (in Lakh) 298356.00

* Verified **CA Certificate**  * Terms 1

* Consent Fee

5967120.00

6. If the site is located near sea-shore/river bank/other water bodies/Highway, Indicate the crow fly distance and the name of the water body, if any.

<b>Distance From</b> SH/NH	Distance(Km) 4.56	* <b>Name</b> National Highway8
River	0.00	NA
Human Habitation	1.00	
Religious Place	1.00	
Historical Place	0.00	NA
Creek/Sea	1.50	Creek/Sea
,		

6b. Enter Latitude and Longitude details of site

Latitude Longitude 190033.2 724910.08

7. Does the location satisfy the Requirements Under relevant Central/State Govt. Notification such as Coastal Regulation Zone. Notification on Ecologically Fragile Area, Industrial Location policy, etc. If so, give details.

Location	Approved Industry Area	Sensitive Area	If Yes, Name Of Area	Industry Location with Reference to CRZ
Not Applicable	No	No	Not Applicable	

8. If the site is situated in notified industrial estate,

**Details** 

(a) Whether effluent collection, treatment and disposal system has been provided by the authority. (b) Will the applicant utilize the system, if provided.

No

No

(c) If not provided, details of proposed

STP of capacity 160 KLD (SBR based) is installed.

arrangement.

9.

(a) Total plot area (in squear meter)

(b) Built up area and (in squear meter)

(c) Area available for the use of treated sewage/ trade effluent for gardening/irrigation. (in squear meter) 144863.93 Sq.m.(FSI: 62993.62 Sq.m. + Non FSI: 81870.31 Sq.m.) out of total BUA

224803.56 sq.m.

10. Month and year of commissioning of the Unit.

2020-01-01

11. Number of workers and office staff

Workers staff Hrs. of shift Weekly off

182 0 9 1

12.

(a) Do you have a residential No colony Within the premises in respect of Which the present application is Made

BUA of 1,44,863.93 sq. mtrs. W

5811.61 sq.m

The present application is for an entire Residential building having

(b) If yes, please state population staying

Number of person staying Water consumption Sewage generation Whether is STP provided?

Not Applicable Not Applicable No

(c) Indicate its location and distance with reference to plant site.

Number of person staying Water consumption

Not Applicable Not Applicable

13. List of products and by-products Manufactured in tonnes/month, Kl/month or numbers/month with their types i.e.Dyes, drugs etc. (Give figures corresponding to maximum installed production capacity

### **Products Name and Quantity**

Product Name	UOM	Product Name	Existing	Consented	Proposed Revision	Total	Remarks
OTHERS	Sq.M	Building construction project	0	0	144863.93	144863.93	The present application is for an entire Residential building havin BUA of 1,44,863.93 s mtrs. We have already been granted Renewal of Consent to Operate (Part& II) for Residential Bldg having BUA of 1,41,459.76 SqMtrs for period up to 31/03/2024

#### **Products Name and Quantity**

Product Name	UOM	Quantity	Remarks
Not Applicable	NA	0	Not applicable

14. List of raw materials and process chemicals with annual consumption corresponding to above stated production figures, in tonnes/month or kl/month or numbers/month.

Name of Raw Material	иом	Quantity	Hazardous Waste	Hazardous Chemicals	Remarks
Not Applicable	NA	0	No	No	Not applicable

15. Description of process of manufacture for each of the products showing input, output, quality and quantity of solid, liquid and gaseous wastes, if any from each unit process.

NA

## Part B: Waste Water aspects

16. Water consumption for different uses (m3/day)

zor water consumpti	on for amerene ase	.s (1115/day)				
Purpose	Consumption	Effluent Generation	Treatment	Remarks	Disposal	Remarks
Domestic Pourpose	142	110	STP	STP of capacity 160 CMD with SBR based Technology is provided to treat sewage generated.	Recycle	Treated water will be used for flushing & gardening.
Water gets Polluted & Pollutants are Biodegradable	Nil	0	NA	Not applicable	NA	Not applicable
Water gets Polluted,Pollutants are not Biodegradable & Toxic	Nil	0	NA	Not applicable	NA	Not applicable
Industrial Cooling,spraying in mine pits or boiler feed	Nil	0	NA	Not applicable	NA	Not applicable
Others	Gardening- 30 CMD (R)					

# 17. Source of water supply, Name of authority granting permission if applicable and quantity permitted.

Source of water supply	Name of Local Body	Name of authority granting permission	Qauntity permitted
Local Body	Municipal Corporation of Greater Mumbai (MCGM)	Municipal Corporation of Greater Mumbai (MCGM)	117

## 18. Quantity of waste water (effluent) generated (m3/day)

Domastic	Boiler Blowdown	Industrial	Cooling water blowdown
110	0	0	0
Process	DM Plants/Softening	Washing	Tail race discharge from
0	0	0	0

^{* 19.} Water budget calculations accounting for difference between water consumption and effluent generated.

32

20. Present treatment of sewage/canteen effluent (Give sizes/capacities of treatment units).

Treatment unit Size (mxm) Retention time (hr) SBR based Sewage Treatment 160 Plant with capacity of 160 CMD is provided to treat sewage generated. 21. Present treatment of trade effluent (Give sizes/capacities of treatment units) (A schematic diagram of the treatment scheme with inlet/outlet characteristics of each unit operation/process is to be provided. Include details of residue Management system (ETP sludges) Capacity of ETP (m3/day) Treatment unit Size (mxm) Retention time (hr) Not applicable as no generation of trade effluent 22. (i) Are sewage and trade effluents mixed together? No If yes, state at which stage-Whether before, intermittently or after treatment. No, Not applicable as no generation of trade effluent 23. Capacity of treated effluent sump, Guard Pond if any. Capacity of treated effluent sump (m3) Not applicable Effluent sump/Guard pond details No Not applicable If yes, state at which stage-Whether No Not applicable before, intermittently or after treatment. 24. Mode of disposal of treated effluent With respective quantity, m3/day (i) into stream/river (name of 0 (ii) into creek/estuary (name river) of Creek/estuary) (iii) into sea 0 (iv) into drain/sewer (owner 30 of sewer) (v) On land for irrigation on (vi) Connected to CETP 0 0 owned land/ase land. Specify cropped area. (vii) Quantity of treated 99 effluent reused/ recycled, m3/day Provide a location map of disposal arrangement indicating the outler(s) for sampling. Treated effluent reused / recycled (m3/day) 25. (a) Quality of untreated/treated effluents (Specify pH and concentration of SS, BOD, COD and specific pollutants relevant to the industry. TDS to be reported for disposal on land or into stream/river. **Untreated Effluent** pН 6.68 SS (mg/l) 28 BOD (mg/l) 75 COD (mg/l) 210 TDS (mg/l)

Value

Specific pollutant if

any

Name

### **Treated Effluent**

рH	6.55	
SS (mg/l)	8	
BOD (mg/l)	9.6	
COD (mg/l)	30	
TDS (mg/l)		
Specific pollutant if any	Name	Value
1	Total Ammoniacal Nitrogen as NH3	< 0.56

(b) Enclose a copy of the latest report of analysis from the laboratory approved by State Board/ Committee/Central Board/Central Government in the Ministry of Environment expected characteristics of the untreated/treated effluent

STP monitoring report enclosed.

#### 26. Fuel consumption

Fuel Type	UOM	Fuel Consumption TPD/LKD	Calorific value
HSD	Kg/Hr	461.36	10800
Ash content	Sulphur content	Quantity	Other (specify)

## 27. (a) Details of stack (process & fuel stacks: D. G. )

(a) Stack number(s)	(b) Stack attached to DG Set (1 Nos.)	(c) Capacity 2250 KVA x 1 Nos	(d) Fuel Type HSD
(e) Fuel quantiy (Kg/hr.)	(f) Material of construction	(g) Shape (round/rectangular)	(h) Height, m (above ground level)
461.36	MS	Round	22 m
(i) Diameter/Size, in meters 0.45	(j) Gas quantity, Nm3/hr. 525	(k) Gas temperature °C 475	(I) Exit gas velocity, m/sec. 14.85
(m) Control equipment preceding the stack	(n) Nature of pollutants likely to present in stack gases such as CI2, Nox, Sox TPM etc.	(o) Emissions control system provided	(p) In case of D.G. Set power generation capacity in KVA
Not Applicable	SPM, SO2, NOx	Adequate stack height as per CPCB norms to achieve satisfactory dilution	2250 KVA x 1 No. (DG Set will be used as power back up)

27. (B) Whether any release of odoriferous compounds such as Mercaptans, Phorate etc. Are coming out from any storages or process house.

No

28. Do you have adequate facility for collection of samples of emissions in the form of port holes, platform, ladder\etc. As per Central Board Publication "Emission regulations Part-III" ( December, 1985 )

Poart hole	Yes	Details	Yes, Port holes are provided as per CPCB guidelines.
Platform	Yes	Details	Yes, Platforms are provided as per CPCB guidelines.
Ladder	Yes	Details	Yes, Ladders are provided as per CPCB guidelines.

Sr.	Stack attached to	<b>Parameter</b>	Concentration mg/Nm3	flow (Nm3/hr)
No				

1 Not Applicable Not Applicable 0 0

(Specify concentration of criteria pollutants and industry/process-specific pollutants stack-wise. Enclose a copy of the latest report of analysis from the laboratory approved by State Board/Central Board/Central Government in the Ministry of Environment & Forests. For proposed unit furnish expected characteristics of the emissions..

DG Monitoring report enclosed

#### Part - D: Hazardous Waste aspect

30. Information about Hazardous Waste Management as defined in Hazardous Waste (Management & Handling) Rules, 1989 as amended in Jan., 2000. Type/Category of Waste as per

Waste (Annually) Schedule I

 Cat No
 Type
 Qty
 UOM

 5.1
 5.1 Used or spent oil
 100
 Ltr/A

Max Method of collection Method of reception Method of storage

As per norms Not Applicable As per norms

Method of transport Method of treatment Method of disposal

As per norms Not Applicable As per norms

#### Waste (Annually) Schedule II

31. Details about use of hazardous waste

Name of hazardous waste/Spent chemical	Quantity used/month	Party from whom purchased	Party to whom sold
Not applicable	0	Not applicable	Not applicable

32.

- a. Details about technical capability and equipments available with the applicant to handle the Hazardous Waste Not applicable
- b. Characteristics of hazardous waste(s) Specify concentration of relevant pollutants. Enclose a copy of the latest report of analysis from the laboratory approved by State Board/Central Board/Central Govt. in the ministry of Environment & Forests. For proposed units furnish expected characteristics

Not applicable

33.

Copy of format of manifest/record Keeping practiced by the applicant.

Not applicable

34.

Details of self-monitoring (source and environment system)

Not applicable

35.

Are you using any imported hazardous waste. If yes, give details.

Not applicable

Copy of actual user Registration/certificate obtained from State Pollution Control Board/Ministry of Environment & Forests, Government of India, for use of hazardous waste.  Not applicable
37.
Present treatment of hazardous waste, if any (give type and capacity of treatment units)  Not applicable
38. Quantity of hazardous waste disposal
(i) Within factory

 $\sim$ 

(ii) Outside the factory (specify location and enclose copies of agreement.)

)

(iii) Through sale (enclosed documentary proof and copies of agreement.)

100

(iv) Outside state/Union Territory, if yes particulars of (1 & 3 ) above.

n

(v) Other (Specify)

0

#### Part - E: Additional information

39.

a. Do you have any proposals to upgrade the present system for treatment and disposal of effluent/emissions and/or hazardous waste.

Not applicable

b. If yes, give the details with time- schedule for the implementation and approximate expenditure to be incurred on it. Not applicable

40.

Capital and recurring (O & M) expenditure on various aspect of environment protection such as effluent, emission, hazardous waste, solid waste, tree- plantation, monitoring, data acquisition etc. (give figures separately for items implemented/to be implemented).

Capital Cost: Rs. 208.14 Lakhs, and O & M cost: Rs. 41.61 Lakhs

41.

**To which of the pollution control equipment, separate meters for recording consumption of electric energy are installed?**STP

42.

Which of the pollution control items are connected to D.G. Set (captive power source) to ensure their running in the event of normal power failure

STP

43. Nature, quantity and method of disposal of non- hazardous solid waste generated separately from the process of manufacture and waste treatment. (Give details of area/capacity available in applicant's land)

Type Quantity UOM Treatment Disposal Other Details

Biodegradable Waste	313	Kg/Day	OWC followed by composting	Biodegradable Waste is treated in OWC & manure obtain will be used for Gardening.
Non- Biodegradable Waste	209	Kg/Day	Segregation	It is handedover to the authorized vendor/ Local Body.
STP Sludge	08	Kg/Day	Drying	Will be used as manure for Plantation/ Gardening.

#### 44. Hazardous Chemicals - Give details of Chemicals and quantities handled and Stored.

(i) Is the unit a Majot Accident Hazard unit as per Mfg.Storage Import Hazardous Chemicals Rules?

Not applicable

(ii) Is the unit an isolated storage as defined under the MSIHC Rules?

Not applicable

(iii) Indicate status of compliance of Rules 5,7,10,11,12,13 and 18 of the MSIHC Rules.

Not applicable

(iv) Has approval of site been obtained from the concerned authority?

Not applicable

(v) Has the unit prepared an off-site Emergency Plan? Is it updated?

Not applicable

(vi) Has information on imports of Chemicals been provided to the concerned authority?

Not applicable

(vii) Does the unit possess a policy under the PLI Act?

Not applicable

45. Brief details of tree plantation/green belt development within applicant's premises (in hectors)

Open Space AvailabilityPlantation Done OnNumber of Trees Planted4680.82 Square meter139 Square meter(3.0 %)26

46.

Information of schemes for waste Minimization, resource recovery and recycling - implemented and to be implemented, separately.

STP, OWC, RWH are provided. Rain Water Harvesting tank of 50 KL is within bldg.

47.

(a) The applicant shall indicate whether Industry comes under Public Hearing, if so, the relevant documents such as EIA, EMP, Risk Analysis etc. shall be submitted, if so, the relevant documents enclosed shall be indicated accordingly.

EC obtained

(b) Any other additional information that the applicants desires to give

The present application is for an entire Residential building having BUA of 1,44,863.93 sq. mtrs. We have already been granted Renewal of Consent to Operate (Part-I & II) for Residential Bldg having BUA of 1,41,459.76 SqMtrs for period up to 31/03/2024.

(c) Whether Environmental Statement submitted ? If submitted, give date of submission.

Environmental Statement (2022-2023) submitted, the same is enclosed.

48.

I/We further declare that the information furnished above is correct to the best of my/our knowledge.

I/We hereby submit that in case of any change from what is stated in this application in respect of raw materials, products, process of manufacture and

treatment and/or disposal of effluent, emission, hazardous wastes etc. In quality and quantity; a fresh application for Consent/Authorization shall be made and

until the grant of fresh Consent/Authorization no change shall be made.

50.

I/We undertake to furnish any other information within one month of its being called by the Board

Yours faithfully

Signature :

Name: Mr. Raman Sapru

Designation: Director - Design & Engineering

#### **Additional Information**

#### **Air Pollution**

Sr No. Air Pollution Source Pollutants APCS Provided Remark

1 DG Set ( 1 No) SPM, SO2, NOx Adequate stack height as per DG Set ( 2250 KVA x 1nos )

CPCB norms to achieve satisfactory dilution

Separate EM Provided No Other Emission Sources Not applicable

Measures Proposed Stack, Accoustic hood Foul Smell Coming Out No

Air Sampling Facility Details Port holes, Ladders, Platforms will be provided

#### **D.G. Set Details**

Description Capacity(KVA) Remarks

DG Set No, 1 2250 Stack, Accoustic hood & Port holes, Ladders,

Platforms will be provided

#### **Hazardous Waste Generation**

Hazardous Waste Quantity UOM Treatment Disposal Other Details

5.1 Used or spent oil 100 Ltr/A Recycle Handed over to Auth. N.A

reprocessor.

#### **CHWTSDF Details**

Member of CHWTSDF CHWTSDF Name Remarks

#### **Cess Details**

Cess Applicable Cess Paid If Yes, UpTo

No No Jan 1 1900 12:00:00:000AM

#### **Legal Actions**

Legal Legal Record Of Company Legal Action Details Remarks

Action Taken

No

Bank Guarantee Applicable:	Yes
Applicable against Consent:	Yes
• MPCB-BG-0000018834 (299871221000023)	
Applicable against Direction:	No

## **Annexure**



## Maharashtra Pollution Control Board

# महाराष्ट्र प्रदूषण नियंत्रण मंडळ

**FORM V** 

(See Rule 14)

Environmental Audit Report for the financial Year ending the 31st March 2023

**Unique Application Number** 

MPCB-ENVIRONMENT STATEMENT-0000057371

Submitted Date

12-09-2023

**PART A** 

**Company Information** 

Company Name Application UAN number

M/s. K. Raheja Pvt. Ltd.

**Address** 

C.S. No. 2/1629, Plot No. 249 & 249A of Worli Scheme No. 52, Lower Parel Division, G/S Ward, Worli,

Mumbai.

Plot no Taluka Village

Plot No. 249 & 249A Mumbai Lower Parel Division

Capital Investment (In lakhs)ScaleCity20124LSIMumbai

PincodePerson NameDesignation400025Mr. Vaibhav SamarthAVP-Engineering

Telephone Number Fax Number Email

9167779454 0 vsamarth@kraheja.com

Region Industry Category Industry Type

SRO-Mumbai I Red other

Last Environmental statement submitted online Consent Number Consent Issue Date

yes Format. 1.0/CAC-cell/UAN No. 04.12.2019 0000076911/CE 1912000103

Consent Valid Upto Establishment Year Date of last environment statement submitted

30.11.2024 1983 Sep 24 2022 12:00:00:000AM

Industry Category Primary (STC Code) &

Secondary (STC Code)

**Product Information** 

**By-product Information** 

Product Name Consent Quantity Actual Quantity UOM

0

0

MT/A

NA - Building construction project Built up area more than 20,000 sq.mt.

By Product Name Consent Quantity Actual Quantity UOM

NA - Building construction project Built up area more than 20,000 sq.mt. 0 0 MT/A

Part-B (Water & Raw Material Consumption)

1) Water Consumption in m3/day Water Consumption for Process		Consent Quantity in m3/day		<b>Actua</b> 0.00	Actual Quantity in m3/day 0.00			
Cooling	ooling 0.00		0.		0.00			
Domestic 159.00					135.85			
All others 0.00		0.00	1		60.56			
Total	159.00			196.41	6.41			
Particulars	ation in CMD / MLD ade effluent from the factor	ory	<b>Consent Quan</b> 0	<b>tity A</b>	ctual Qu	uantity	<b>UOM</b> CMD	
Daily Quantity of se	wage from the factory		150	1	49.03		CMD	
Daily Quantity of Treated effluent from factory			0	134.13			CMD	
2) Product Wise P process water per Name of Products	(Production)	tion (cubic meter of	<b>During the P financial Yea</b> 0		<b>During</b> <b>Financi</b> 0	the current al year	<b>иом</b> СМD	
3) Raw Material C unit of product) Name of Raw Mat	erials	tion of raw material per	<b>During the Previ</b> <b>financial Year</b> 0		ring the nancial y	current rear	<b>UOM</b> Ton/Tor	
4) Fuel Consumption Fuel Name HSD -(for DG Set - 2250 KVA* 1 No. & 250 KVA * 2 No)		A * 2 No.)	<b>Consent quantity</b> 4982		Actual Quantity 0.408		<b>UOM</b> KL/A	
	ned to environment/uni	t of output (Parameter :	as specified in the	consent iss	sued)			
[A] Water Pollutants Detail	Quantity of Pollutants discharged (kL/day) Quantity	Concentration of Polludischarged (Mg/Lit) Exc PH,Temp,Colour Concentration	tants Perce cept from stand	Percentage of variation from prescribed standards with reason wariation		Standard	Reason	
рН	0	7.19	NA			NA	NA	
TSS	0.96	6.41	28.78			20 mg/l	NA	
COD	3.18	21.35	57.30			50 mg/l	NA	
BOD	1.22	8.16	18.40			10 mg/l	NA	
[B] Air (Stack) Pollutants Detail	Quantity of Pollutants discharged (kL/day) Quantity	Concentration of Pollo discharged(Mg/NM3) Concentration	variati			Standard	Reasor	
DC (2250 KV/A) TDI		en en	70 <b>Varia</b> 50 45			150 mg/ Nm2		

DG (2250 KVA) - TPM 8.12

DG (2250 KVA) - SO2 5.57

62.33

42.69

58.45

NA

150 mg/ Nm3 NA

NA

DG (2250 KVA) - NOx 4.03	30.92		NA		NA
DG (2250 KVA) - CO 2.79	21.40		NA		NA
Part-D					
HAZARDOUS WASTES 1) From Process					
	During Previous Financial year	<b>Tot</b> 0.1	_	rent Financial year	UOM
5.1 Used or spent oil 0 Other Hazardous Waste 0		0.1	5		KL/A MT/A
2) From Pollution Control Fac			Fatal Duning of		
<b>Hazardous Waste Type</b> 0 0	otal During Previous Financial year	(	_	Current Financial year	<b>UOM</b> MT/A
· ·		·	,		,
Part-E					
SOLID WASTES					
1) From Process Non Hazardous Waste Type	Total During Previous Financial year	. To	otal During Cu	rrent Financial year	иом
	)		).27	,	MT/A
Non -Biodegradable (	)	2.!	52		MT/A
2) From Pollution Control Fac	ilities				
Non Hazardous Waste Type	Total During Previous Finance	ial year	Total Dur	ing Current Financial year	UOM
STP Sludge	0		0		MT/A
3) Quantity Recycled or Re-ut	ilized within the				
unit Waste Type	Total During Pi	revious	Financial To	otal During Current Financial	иом
71	year		ye	ear	
0	0		0		MT/A
Part-F					
	stics(in terms of concentration and question to both these categories of wa		) of hazardou	ıs as well as solid wastes and	d
<del></del>	nerated Qty of Hazardous Waste			Concentration of Hazardous	
5.1 Used or spent oil	0.15			Liquid - Sale to Authorised recy	/cier
Other Hazardous Waste	0		MT/A	Not Applicable	
2) Solid Waste	d Oty of Solid Works	UOM 4	Concontration	a of Colid Works	
<b>Type of Solid Waste Generate</b> Biodegradable	29.27			or of Solid Waste by composting. Used as manure	
Non Biodegradable	2.52			handed over to Local Body for re	ecyclina.
STP	0		Not Applicable		, - · · · · ·
Part-G		-	.,		

## Part-G

Impact of the pollution Control measures taken on conservation of natural resources and consequently on the cost of production.

Description	Reduction in Water Consumption (M3/day)	Reduction in Fuel & Solvent Consumption (KL/day)	Reduction in Raw Material (Kg)		Capital Investment(in Lacs)	Reduction in Maintenance(in Lacs)
	0.000	0.000	0.000	0.000	0.00	0.000

#### Part-H

Additional measures/investment proposal for environmental protection abatement of pollution, prevention of pollution.
[A] Investment made during the period of Environmental Statement

**Detail of measures for Environmental Protection** 

AMC for OWC, AMC for Environment Monitoring, AMC for STP, Environment Monitoring, Modification

Environmental Protection Capital Investment (Lacks)
-- 15.22

#### [B] Investment Proposed for next Year

Detail of measures for Environmental Protection

AMC for OWC, AMC for Environment Monitoring, AMC for STP, Environment Monitoring, Modification

Environmental Protection Capital Investment Measures (Lacks)

16.75

## Part-I

Any other particulars for improving the quality of the environment.

#### **Particulars**

Residential Building is designed as Green building. The company maintains green belt around the site. The company maintains a safe and healthy environment within the premises. 6th service floor casting in Progress for commercial building. The Company maintains a safe and healthy environment within the premises. Total Water Consumption = 196.41 cmd out of which 135.85 cmd Fresh water and 60.56 cmd is Recycled water from STP Total Sewage Generation = 149.03 cmd Total Recycled Water = 60.56 c

## Name & Designation

Mr. Vaibhav Samarth (AVP -Engineering)

#### **UAN No:**

MPCB-ENVIRONMENT_STATEMENT-0000057371

#### **Submitted On:**

12-09-2023